



**Town of Cornelius  
Architectural Review Board**

**Agenda  
April 26, 2018  
12:00 PM  
Cornelius Town Hall - Room 204**

- 1. Call To Order**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
  - A. January 26, 2018
  - B. February 23, 2018
- 4. Review And Recommendation On Agenda Items**
  - A. Starbucks - West Catawba Avenue
- 5. Old Business**
- 6. New Business**
- 7. Next Meeting**
- 8. Adjournment**

## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: April 26, 2018

**To:** Chair and ARB Members  
**From:** Summer Smigelski, Planning Admin.


**Action Requested:**

Approval of Minutes

**Manager's Recommendation:**

Approval

**ATTACHMENTS:**

| Name:   | Description:             | Type:           |
|---|--------------------------|-----------------|
|  <a href="#">ARB_Minutes_01262018-Draft-1.docx</a> | January 26, 2018 Minutes | Backup Material |

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**Minutes  
TOWN OF CORNELIUS  
ARCHITECTURAL REVIEW BOARD MEETING**

January 26, 2018

12:00 pm

**Members Present**

Teresa Hawkins  
David Eve, Chairman  
Joe Harris, Vice Chair  
Recah Harward

**Members Absent**

Rick Kamakaris

**Staff Present**

Wayne Herron, Planning Director  
Aaron Tucker, Planner

**VISITORS**

See Sign-In Sheet

**DETERMINATION OF QUORUM**

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:00 p.m. He stated that a quorum was present for all items.

**APPROVAL OF MINUTES**

Mr. Harris made a motion to approve the minutes from October 27, 2017. Ms. Hawkins second. All in favor and motion approved.

**In Favor:** Mr. Harris, Ms. Harward,  
Ms. Hawkins, Chairman Eve

**Opposed:** None

Mr. Harris made a motion to approve the minutes from December 08, 2017. Ms. Hawkins second. All in favor and motion approved.

**In Favor:** Mr. Harris, Ms. Harward,  
Ms. Hawkins, Chairman Eve

**Opposed:** None

**REZ 11-17 Vanderbilt Children's College**

Mr. Herron presented Vanderbilt Children's College for the second time. The property is located at 8715 Westmoreland Rd. The property is almost 4.7 acre tract on Westmoreland. Zoned neighborhood residential on the zoning map. The land use map designates it as to be determined (TBD). The applicants appeared before the Town Board and was approved with the condition to gain Architectural Review Board approval before the approval of construction documents.

Mr. Herron presented updated plans.

Mr. Herron: "There is a condition that if a fourth leg is acquired at the signal, they will reconfigure the drive."

Chairman Eve: "On the variances they requested, can you list what those variances are?"

Mr. Herron: "The main one they are requesting is on the windows. The ordinance requires 70 percent windows on the front elevation. The other variance is to lower the windows. There is also a couple site variances that the Town Board accepted. We do not normally encroach into the 170 foot setback, the Porte Cochere encroaches there just slightly. The trade off on that encroachment is to increase landscaping. The parking meets the code but there are some concerns that there would not be enough. Our belief is that most parents will not park and walk their children in. We also believe that it will not be two minutes drop off. That is why we asked for the expanded drive through here. We have talked to some of the other preschools that are in town and what we hear is it takes about seven to twelve minutes for a parent to drop off. The applicants have added some capacity. It is not like a normal school where everyone comes in at one time so that is why we feel that this will be adequate with this space."

After discussion the board requested the following:

- To see a table showing the percentage of glass, since they are asking for a variance.
- To lower the window sills for the windows, the applicants agreed. Unless there is a very good reason for them not to, that the sills should be no higher than 24" AFF.
- With the raised roof in the central portion of the building they should add transoms above all the windows in the section. This will help with proportion and will also increase their glass area, with no impact to the floor plan.
- Because of the large expanse of roof that you will see from West Moreland, we believe that gable ends facing the front of the building at the end of each classroom wing would help to break up this roofing mass.
- The board would like to see the Porte Cochere soffit like be raised, to give some hierarchy on the elevation. This will also help to break up the roof line on the front elevation.
- The board is concerned with the width of the drive under the Porte Cochere, they recommend 24 foot clear, plus the width of the walkway from the parking lot.
- The board requested that the bottom of the foundation not be exposed concrete.
- The downspouts be painted to match the gutters.
- The dumpster enclosure materials should match the building and be shown in the elevations.
- The board would like to see cut sheets for the site lighting.

The board made some landscaping suggestions

Under Evergreen Trees:

- Substitute *Prunus Caroliniana*- Carolina Cherry Laurel for the *Juniperus Virginiana*- Red Cedar (The red cedar is prone to bag worms).
- Substitute *Prunus Laurocerasus* 'Magnoliigolia' for *Thuja occidentalis*- American Arborvitae (The arborvitae is also subject to bag worms and heart rot).
- Substitute *Osmanthus americanus* for *Thuja plicata* 'Green Giant' Arborvitae (same comment as above regarding pests)

Under Shrubs:

- Substitute *Viburnum tinus* for *Myrica cerifera*-Wax Myrtle (more suitable for coastal NC than the piedmont)
- Substitute *Ilex cornuta* 'Burfordii Nana' for *Rhododendron catawbiense* (the rhododendron is more suited for the NC mountains than here in the piedmont and all rhododendrons are

subject to a myriad of pest and disease problems and are not considered a hard screen shrub in this area due to the increasing hot and dry summers)

Under Trees:

- After researching, the species as specified are fine. All of the substituted plan material will be the same size as specified in the plan schedule.

Mr. Harris made a motion to recommend changes as noted. Ms. Hawkins second. All in favor and motion approved.

**In Favor:** Mr. Harris, Ms. Harward,  
Ms. Hawkins, Chairman Eve

**Opposed:** None

### **Town Center Townhomes**

Mr. Herron presented the townhome modifications to the board. The applicants are requesting to remove all of the dormers.

After discussion the board agreed that it would be acceptable to remove the dormers.

Mr. Harris made a motion to recommend approval to remove the dormers. Ms. Hawkins second. All in favor and motion approved.

**In Favor:** Mr. Harris, Ms. Harward,  
Ms. Hawkins, Chairman Eve

**Opposed:** None

### **Quick Trip Building Modification**

Mr. Herron presented revised elevations to the board. QT has requested to downsize the store about a thousand square feet.

After discussion the board agreed the applicants will need to come back with a more site specific plan.

### **New Business**

Mr. Herron introduced Aaron Tucker to the board.

### **ADJOURNMENT**

The meeting ended at 12:58 p.m.

## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: April 26, 2018

**To:** Chair and ARB Members  
**From:** Summer Smigelski, Planning Admin.

**Action Requested:**

Approval of Minutes

**Manager's Recommendation:**

Approval

**ATTACHMENTS:**

| Name:   | Description:              | Type:           |
|---|---------------------------|-----------------|
|  <a href="#">ARB_Minutes_022018-Draft.docx</a> | February 23, 2018 Minutes | Backup Material |

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**Minutes  
TOWN OF CORNELIUS  
ARCHITECTURAL REVIEW BOARD MEETING**

February 23, 2018

12:00 pm

**Members Present**

David Eve, Chairman  
Joe Harris, Vice Chair  
Recah Harward  
Rick Kamakaris

**Members Absent**

Teresa Hawkins

**Staff Present**

Wayne Herron, Planning Director  
Aaron Tucker, Planner

**VISITORS**

See Sign-In Sheet

**DETERMINATION OF QUORUM**

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:00 p.m. He stated that a quorum was present for all items.

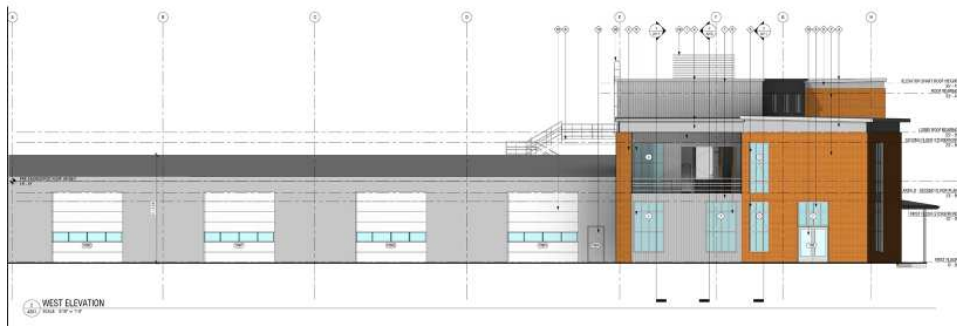
**Hirschfield Marketing Solutions Revised Elevations**

Mr. Herron presented Hirschfield Marketing Solution revised elevations to the board. The property is located at 10231 Bailey Road and is a 2.35 acre tract. Zoned Industrial Campus on the zoning map. The land use map designates it as Industrial. The HMS building is currently in building review with Mecklenburg County. The building plans recently submitted show elevations that are different than what was originally approved by this Board. Both the original building plans with elevations along with the newly submitted building plans with elevations have been included for your review.

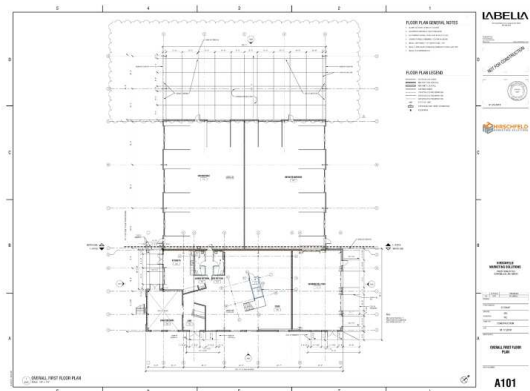
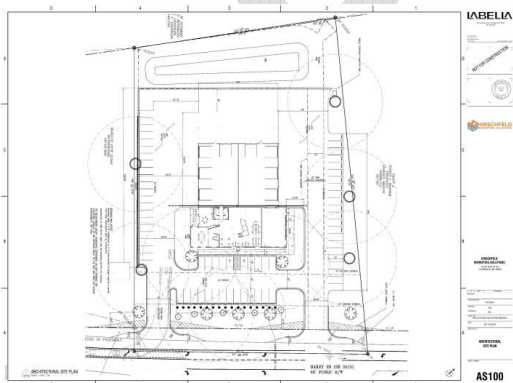
Mr. Herron presented the original plans:

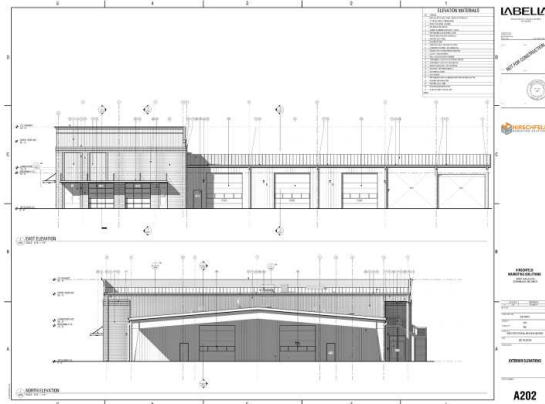
Original Approved Plans





Revised Plans:





Mr. Herron asked the board if they have any questions or comments.

Chairman Eve: "What is the parapet height and where are your mechanical units?"

Applicant: "Three foot six is the parapet height and the mechanical units are on top. The parapet does screen the unit."

Chairman Eve: My only concern is how well the parapet will screen from Bailey Road. I think the safe thing would be to have the parapet at or above those units, so you may have to raise the parapet."

Mr. Harris: "You have a nice building but what we would encourage you to make sure the parapet screens those units."

Mr. Herron: "What we can do is put a condition with a CO hold that the parapet covers the mechanical equipment."

Mr. Harris made a motion to recommend approval. Ms. Harward second. All in favor and motion approved.

**In Favor:** Mr. Kamakaris, Mr. Harris,  
Ms. Harward, Chairman Eve

**Opposed:** None

**QT Revised Elevations**

Mr. Herron presented QT's revised elevations to the board. The property is located at Catawba Avenue and Holiday Lane with a 3.6 acre tract. The new proposed elevations are of a smaller building footprint. The original approved building footprint was roughly 104' long while the new proposed footprint is roughly 92' long. I have provided the original approved elevations and site plan along with the two new proposed elevations and site plan showing the smaller building footprint. The applicant would like guidance on any changes that will be required. The applicant cannot be in attendance and is asking the ARB to provide detailed written recommendations that can be provided to the QT corporate architectural staff.

In the original approved plan there was to be a roundabout so the building was cornered to face the roundabout. After the Traffic Impact Analysis (TIA) was reviewed by NCDOT for QT, it was determined that the roundabout would not work.



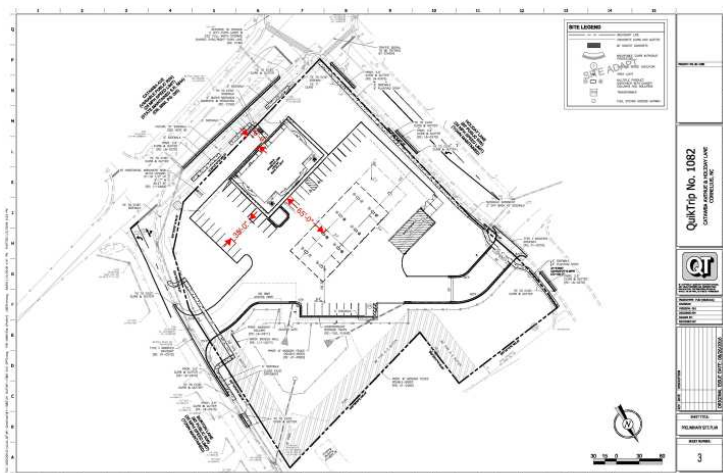
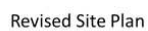
Mr. Herron presented the revised elevations to the board:

QT changed the site plan to show the front of the building facing Catawba.

The original approval did not have to have a door on the back. The language in the approval says that the side doors met the access to catawba. We still cannot require access on the back.

Revised Elevation 1

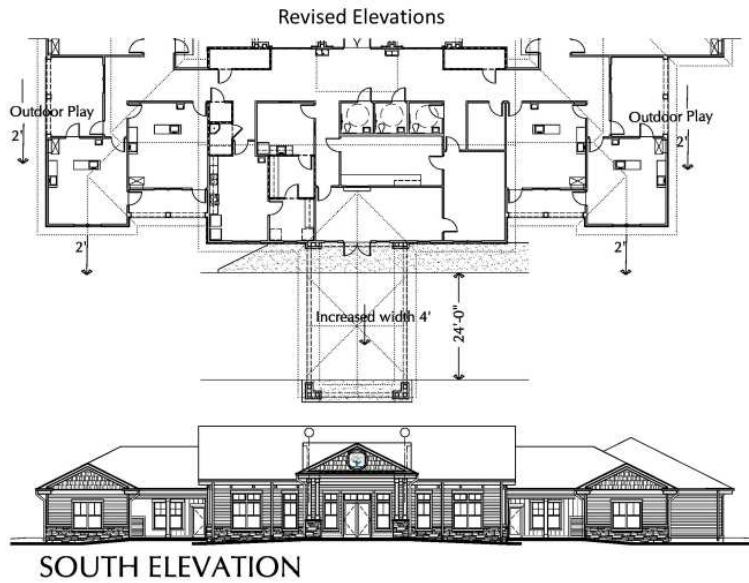




Mr. Herron: "They are not showing it on this plan but they will have to do that."

**Vanderbilt**

Mr. Herron presented the revised elevations to the board.



Revised Gables



Chairman Eve: "I think that it looks better but I do wish those gables were bigger."

After discussion the board agreed the applicants will need to make changes.

### **ADJOURNMENT**

The meeting ended at 12:29 p.m.

## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: April 26, 2018

To: Architectural Review Board

From: Aaron Tucker - Planner

**Action Requested:**


Starbucks is proposing to upfit the existing Pizza Hut facility located at 20300 West Catawba Avenue. Their plan includes an overall smaller building footprint and higher ceiling/roof. They also plan to retain the existing drive-through. Please review the attached site plan and elevations and provide feedback.

Due to the fact that this is an existing development, the Code allows Starbucks to utilize the site generally as is with minor upgrades for landscaping, etc. The only Code deficiency noted by Staff thus far is the front wall should contain a minimum 70% glass. This is an issue that will need to be vetted with the applicant.

**Manager's Recommendation:**

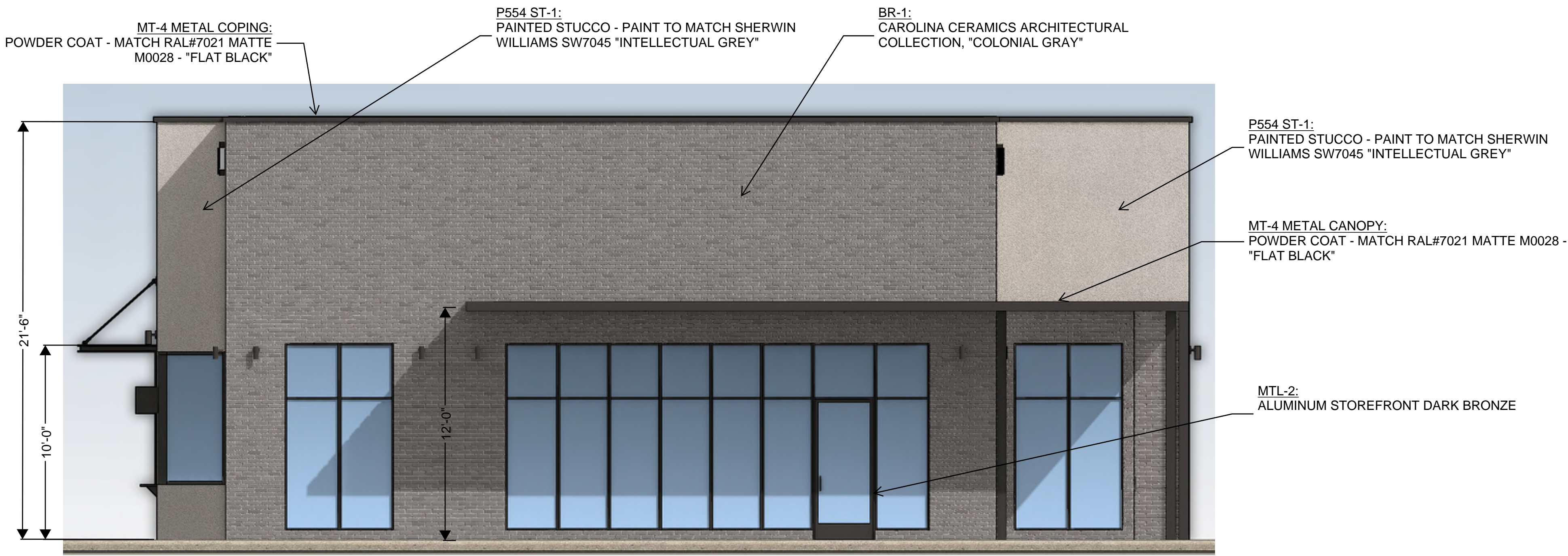
Review proposed Starbucks upfit elevations and provide feedback.

**ATTACHMENTS:**

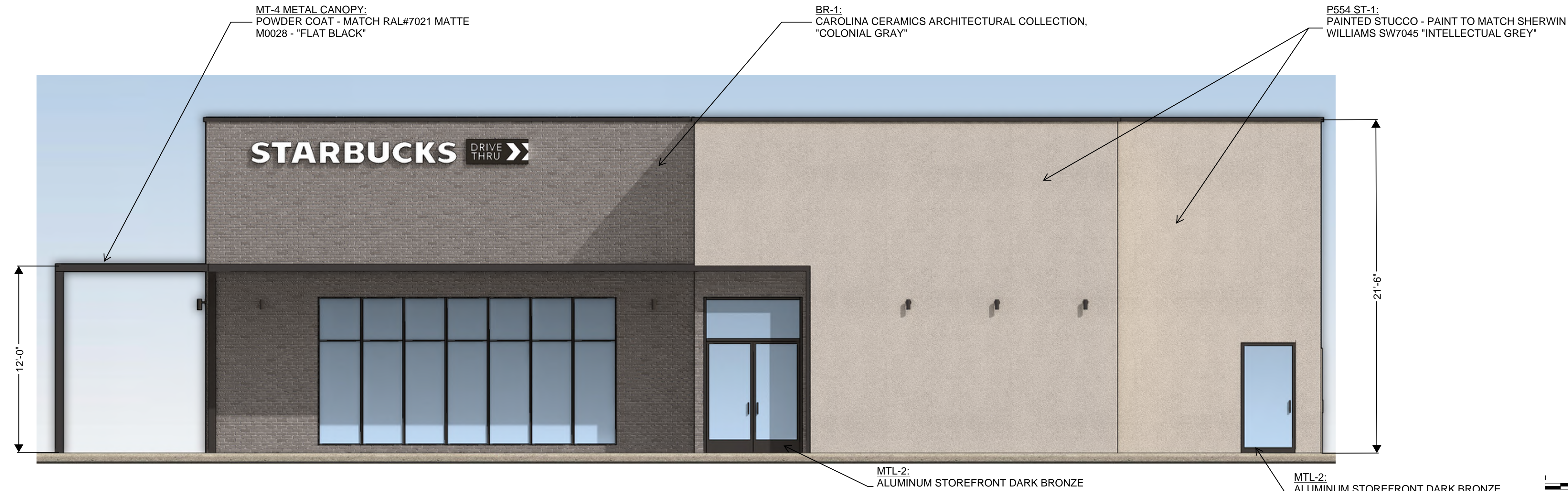
| Name:  | Description:             | Type:      |
|--|--------------------------|------------|
|  <a href="#">Starbucks_ARB_Submittal_PackageR.pdf</a> | Elevations and Site Plan | Cover Memo |

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4/12/2018 9:02:08 AM O:\2017\2017261\20 Catawba Ave & Liverpool Pkwy - Cornelius NC\Drawg\From Starbucks\18 04 04 Revit for ARB\03972-066 W Catawba Ave & Liverpool\_ND\_V4.rvt



2 NORTH ELEVATION  
Scale 1/4" = 1'-0"



1 WEST ELEVATION  
Scale 1/4" = 1'-0"

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P: 330-572-2100 F: 330-572-2101  
GPD PROJECT NO: 2017261.20

PROJECT NAME:  
CORNELIUS PROPOSED  
STARBUCKS

PROJECT ADDRESS:  
20300 WEST CATAWBA AVE  
CORNELIUS, NC 28031

STORE #:  
PROJECT #:  
ISSUE DATE:  
DESIGN MANAGER:  
LEED® AP:  
PRODUCTION DESIGNER:  
CHECKED BY:

2017261.20  
04/12/2018  
GPD GROUP

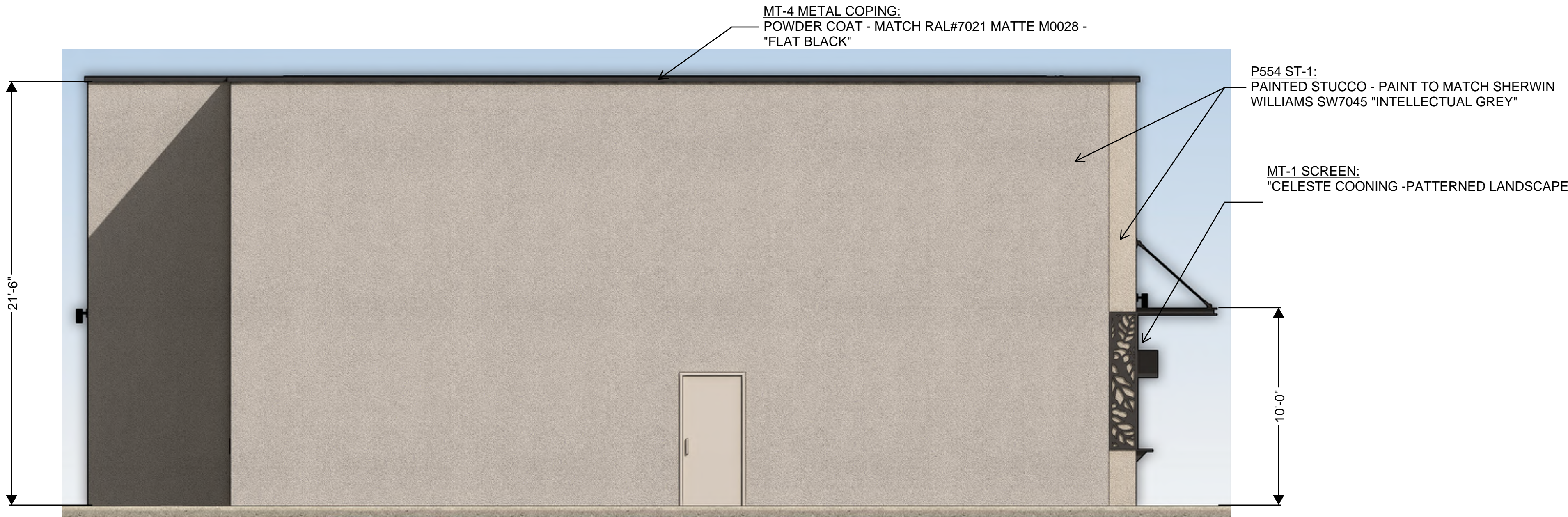
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| Rev               | Date | By | Description |
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SHEET TITLE:  
ELEVATIONS

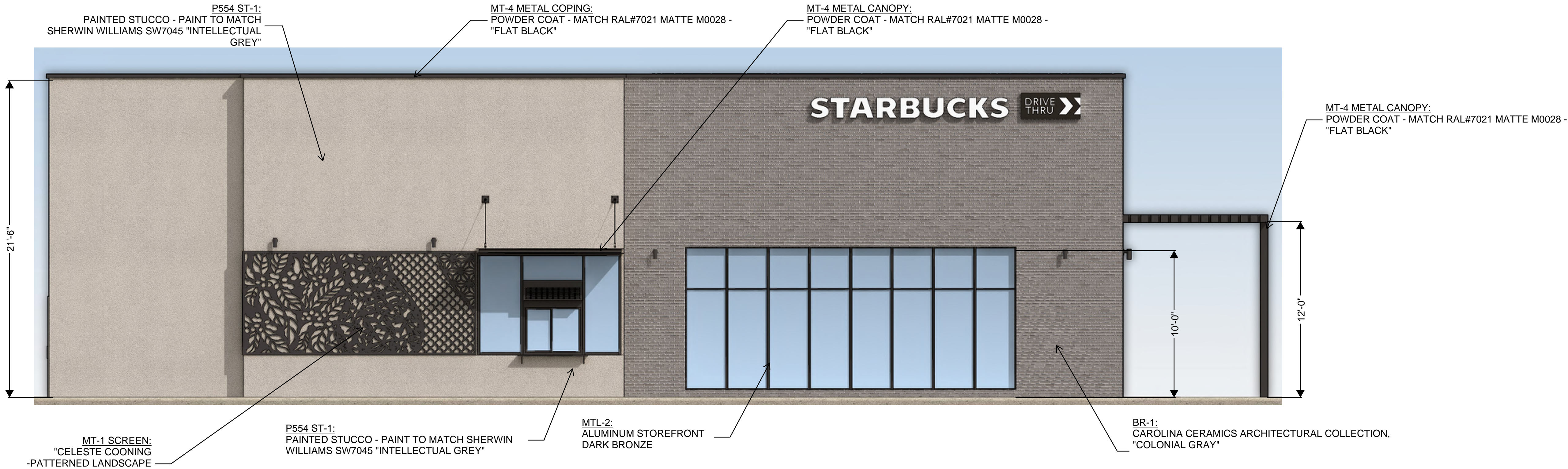
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SHEET NUMBER:  
EL-1

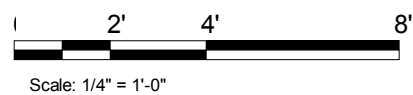
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2 SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE 1/4" = 1'-0"



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P: 330-572-2100 F: 330-572-2101  
GPD PROJECT NO: 2017261.20

PROJECT NAME:  
CORNELIUS PROPOSED  
STARBUCKS

PROJECT ADDRESS:  
20300 WEST CATAWBA AVE  
CORNELIUS, NC 28031

STORE #:  
PROJECT #: 2017261.20  
ISSUE DATE: 04/12/2018  
DESIGN MANAGER:  
LEED® AP:  
PRODUCTION DESIGNER: GPD GROUP  
CHECKED BY:

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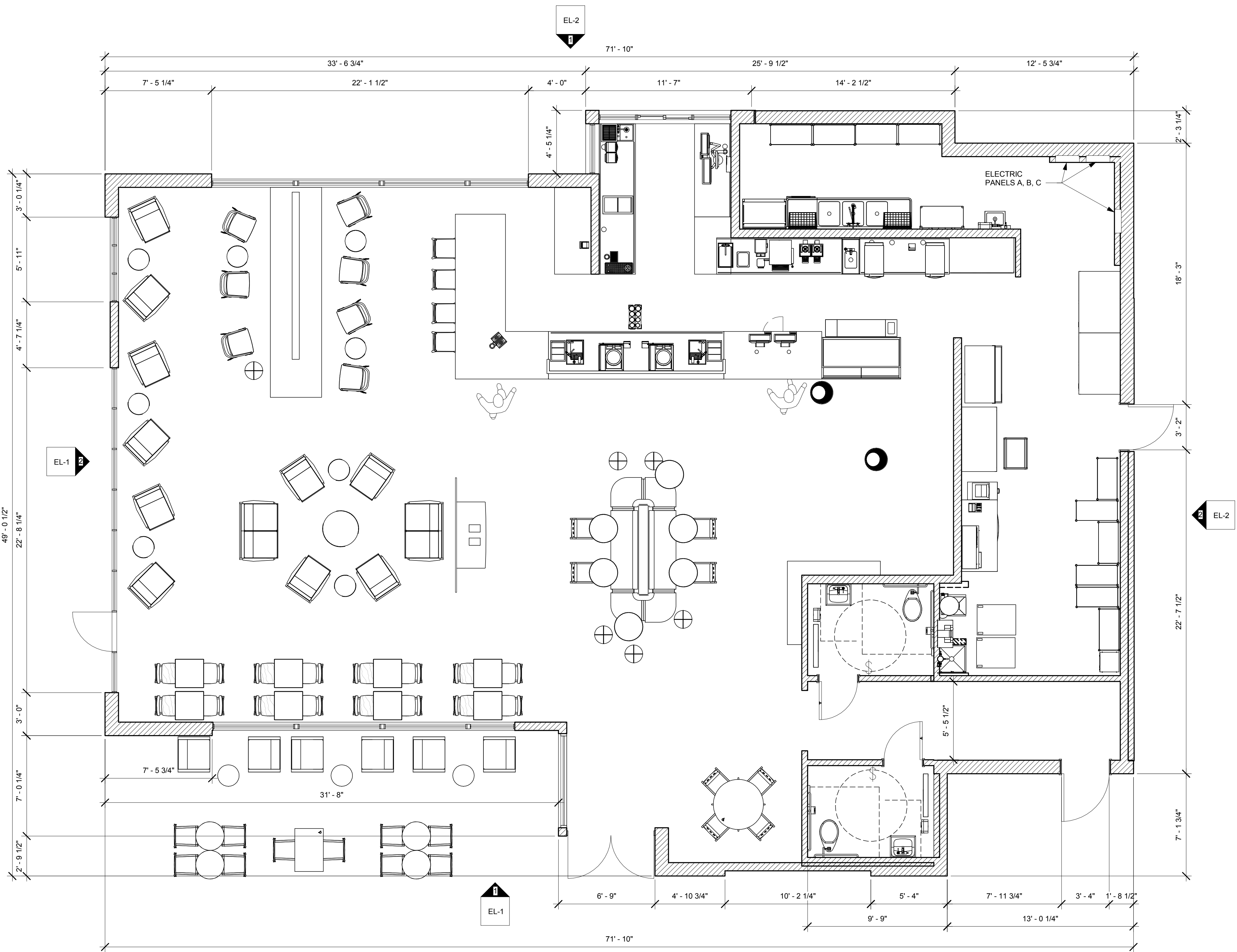
SHEET TITLE:  
ELEVATIONS

SCALE: AS SHOWN

SHEET NUMBER:  
EL-2


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1 1ST FLOOR - ARB FLOOR PLAN



|                       |       |
|-----------------------|-------|
| LEASABLE AREA (SSP):  | 3,005 |
| BUILDABLE AREA (SSP): | 3,237 |
| TOTAL SEATING COUNT:  | 73    |
| SOFT SEATING:         | 22    |
| CAFE SEATING:         | 35    |
| INDOOR SEATING:       | 57    |
| OUTDOOR SEATING:      | 16    |


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GPD PROJECT NO: 2017261.20

PROJECT NAME:  
**CORNELIUS PROPOSED  
STARBUCKS**

PROJECT ADDRESS:  
**20300 WEST CATAWBA AVE  
CORNELIUS, NC 28031**

STORE #:  
PROJECT #:

2017261.20

ISSUE DATE: 04/12/2018  
DESIGN MANAGER:  
LEED® AP:  
PRODUCTION DESIGNER: GPD GROUP  
CHECKED BY:

| Rev | Date | By | Description |
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SHEET TITLE:  
**FLOOR PLAN**

SCALE: AS SHOWN

SHEET NUMBER:  
**FP-1**

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CORNELIUS, NC 28031

STORE #:  
PROJECT #: 2017261.20  
ISSUE DATE: 04/12/2018  
DESIGN MANAGER:  
LEED® AP:  
PRODUCTION DESIGNER: GPD GROUP  
CHECKED BY:

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
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|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:  
PERSPECTIVES

SCALE: AS SHOWN

SHEET NUMBER:  
EL-3

Drawing name: L:\011089 - Starbucks - Cornellius (Lake Norman) NC\CADD\CONS\RV011089 - 00 - COVER.dwg Cover Apr 12, 2018 3:28pm by: michael.toothaker

**PROJECT SITE**

The Shops At The Fresh Market

McDonald's

W Canada Ave

MacMillan County ABC Store #11

Lundy Bay Bus & Sewer 1206

Hamilton Inn

Charmingwood Lane

US Postal Office

Meek's Speed Shop

Starbuck's

Dunkin' Donuts

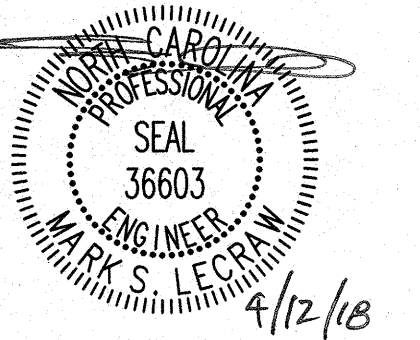
**LOCATION MAP**  
NOT TO SCALE

North Arrow



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DULUTH, GEORGIA 30096  
PHONE - 678.546.8100 FAX - 770.441.0298  
WWW.LECRAWENGINEERING.COM C-3545

PROJECT NAME: STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

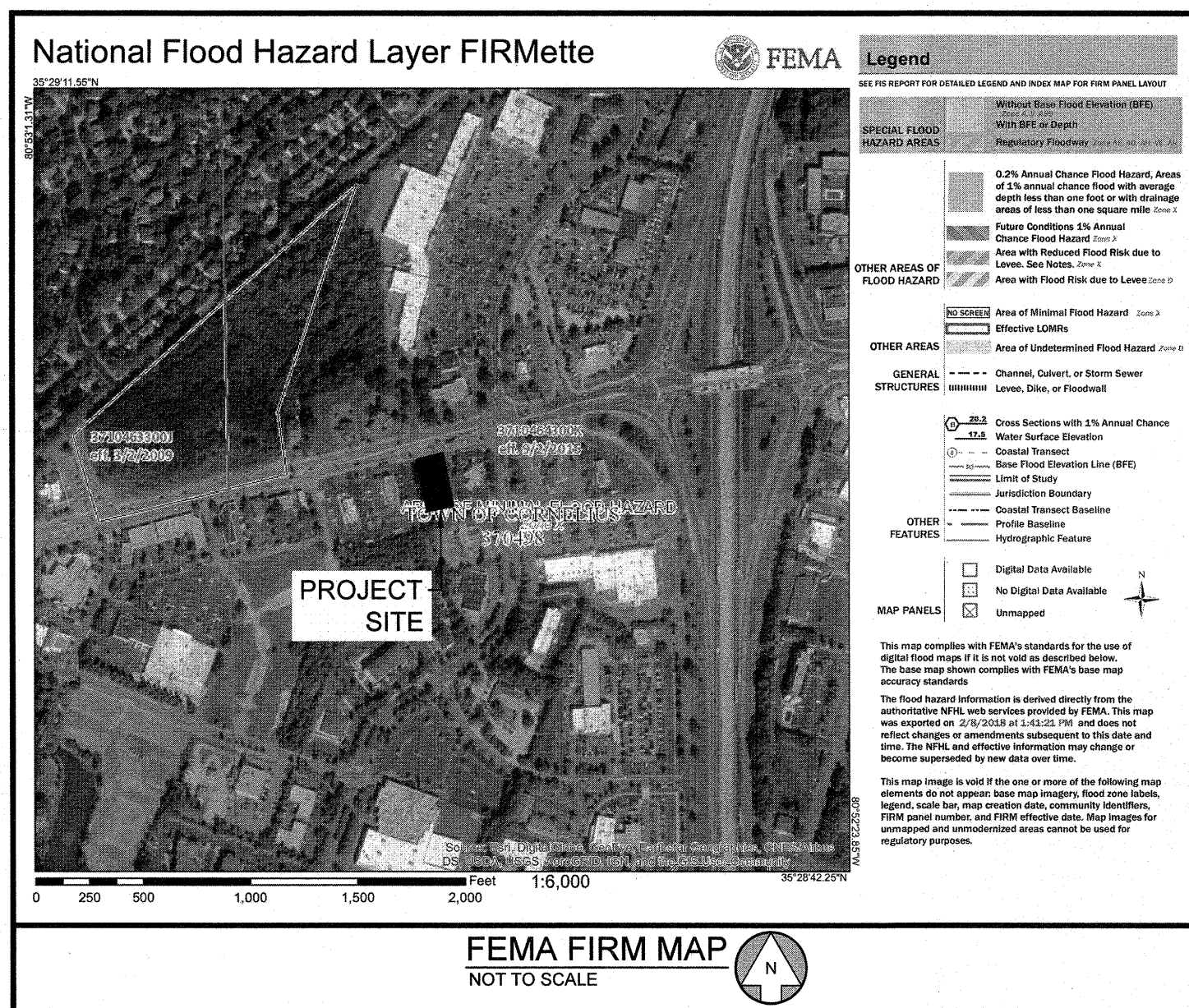
STORE #: ---  
PROJECT #: ---  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:

SCALE: AS SHOWN

C-0.0



FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 3710464300K, DATED SEPTEMBER 2, 2015.

**AS-BUILT NOTE:**

CONTRACTOR SHALL PROVIDE THE NECESSARY SIGNED/SEALED AS-BUILT SURVEY(S) TO ENGINEER AS REQUIRED FOR FINAL APPROVAL BY THE LOCAL JURISDICTION AT LEAST 30 DAYS PRIOR TO PROJECT COMPLETION. AS-BUILT SURVEY(S) SHALL INCLUDE ALL RIM ELEVATIONS, INVERTS, PIPE SIZES & MATERIALS, AND PIPE SLOPES FOR ALL STORM AND SANITARY SEWERS. IN JURISDICTIONS WHERE AN AS-BUILT HYDROLOGY ANALYSIS OR STORMWATER "CERTIFICATION" IS REQUIRED BY THE ENGINEER OF RECORD, THE CONTRACTOR SHALL ALSO SUPPLY ALL NECESSARY DOCUMENTATION REQUIRED FOR THE ENGINEER TO DETERMINE UNDERGROUND POND(S), IF ANY, ARE PRESENT AND ADEQUATE FOR THE REQUIRED VOLUMES. SUCH DOCUMENTATION MAY INCLUDE, BUT SHALL NOT BE LIMITED TO, PHOTOGRAPHS OF SYSTEM INSTALLATION, COMPACTION REPORTS UNDER AND ABOVE THE SYSTEM, DELIVERY TICKETS, SHOP DRAWINGS, ELEVATIONS OF STONE BEDDING (TOP AND BOTTOM), AS WELL AS THE HORIZONTAL LIMITS OF STONE.

[illegible]

24 HOUR CONTACT:

MR. RICK ANDERSON  
404.834.0786

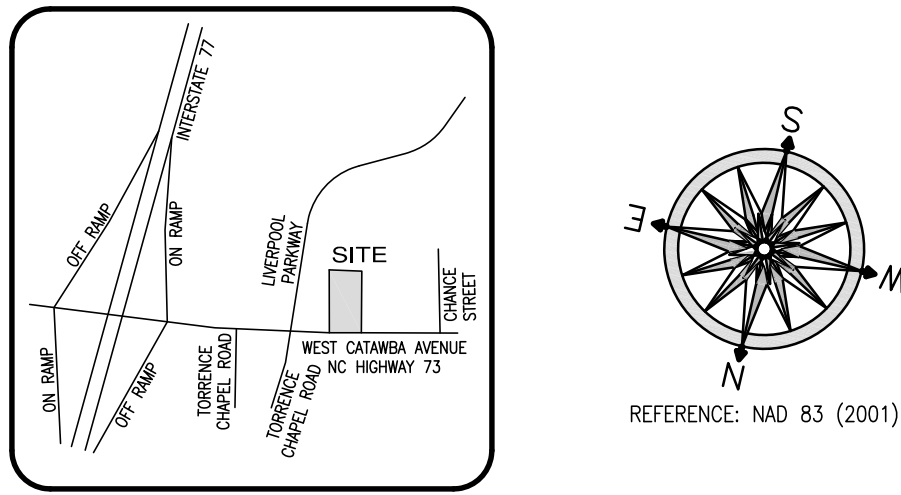


**SITE DATA:**  
TOTAL SITE AREA: 0.97 AC  
TOTAL SITE IMPERVIOUS AREA: XX.XX AC  
TOTAL DISTURBED AREA: 0.90 AC

ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS.

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

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- NOTES:**
1. THIS MAP REPRESENTS A SURVEY OF AN EXISTING PARCEL OF LAND.
  2. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
  3. SUBJECT PROPERTY IS ZONED: "HC" (COMMERCIAL, HIGHWAY). THE FOLLOWING RESTRICTIONS APPLY PER TOWN OF CORNELIUS LAND DEVELOPMENT ORDINANCE:
    - MIN. LOT WIDTH 50'
    - MAX. HEIGHT 3 STORIES
    - FRONT SETBACK 25'
    - REAR SETBACK 30'
    - SIDE SETBACK 10'
    - SIDE & REAR SETBACK ACCESSORY 15'
  4. ZONING COMPLIANCE FOR THE SITE BASED ON CURRENT OR FUTURE USE SHOULD BE VERIFIED WITH THE TOWN OF CORNELIUS. NO ZONING INFORMATION WAS PROVIDED BY THE TITLE INSURER.
  5. AT THE TIME OF THE SURVEY THERE WAS NO EVIDENCE FOUND OF ANY CEMETERIES OR BURIAL GROUNDS.
  6. AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF EARTH MOVING WORK AND/OR CONSTRUCTION.
  7. AT THE TIME OF THIS SURVEY, THE UNDERSIGNED SURVEYOR WAS NOT AWARE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES (COMPLETED OR PROPOSED).
  8. AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
  9. HORIZONTAL CONTROL SHOWN ON THIS SURVEY IS REFERENCED TO NC83 CONTROL MONUMENT "164 JAS RESET" (NAD 83/2001).
  10. VERTICAL CONTROL SHOWN ON THIS SURVEY IS REFERENCED TO NC83 CONTROL MONUMENT "164 JAS RESET" (NAD 83/2001). ELEVATION = 822.07 (NAVD 88).
  11. THIS SURVEY IS INTENDED ONLY FOR THE NAMED PARTY OR PARTIES AS SHOWN HEREON. NO WARRANTIES ARE HEREBY IMPLIED OR GRANTED TO ANY OTHER PARTY FOR ANY PURPOSE.
  12. UTILITY LOCATING SERVICE: CENTER LINE LOCATING (980)233-1364.

- TEXT LEGEND:**
- BH - BOREHOLE
  - C&G - CURB AND GUTTER
  - CB - CABLE TV BOX
  - CB - CATCH BASIN
  - CMP - CORRUGATED METAL PIPE
  - CL - CLEAN OUT
  - CONC - CONCRETE
  - COV - COVERED
  - CRP - CREPE MYRTLE (TREE)
  - DB - DEED BOOK
  - DGW - DOWNGOOD (TREE)
  - EIP - EXISTING IRON PIPE
  - ER - EXISTING IRON ROD
  - EW - EXISTING METAL MONUMENT
  - EQ - END UNKNOWN
  - FTE - FINISH FLOOR ELEVATION
  - FI - FIRE HYDRANT
  - FOBX - FIBER OPTIC BOX
  - GOP - GUARD POST
  - GL - GROUND LIGHT
  - GM - GAS METER
  - GMK - GAS MARKER
  - GR - GRATE
  - GTMH - GREASE TRAP MANHOLE
  - GV - GAS VALVE
  - GW - GUY WIRE
  - HC - HANDICAP
  - (HC) - HANDICAP SIGN
  - HDR - HAND RAIL
  - LPT - LAMP POST
  - LP - LIGHT POLE
  - M - MEASURED
  - MB - MAILBOX
  - MB - MAP BOOK
  - NAD - NORTH AMERICAN DATUM
  - NC83 - NORTH CAROLINA GEODETIC SURVEY
  - NAVD - NORTH AMERICAN VERTICAL DATUM
  - NN - NEW NAIL
  - OR - ORNAMENTAL (TREE)
  - PBX - POWER BOX
  - PI - PINE (TREE)
  - PLTR - PLANTER
  - POB - POINT OF BEGINNING
  - PP - POWER POLE
  - PG - PAGE
  - PVC - PLASTIC PIPE
  - (R) - RECORDED
  - RCB - REINFORCED CONCRETE PIPE
  - RS - SIGNAL BOX
  - SDMH - STORM DRAIN MANHOLE
  - SSMH - SANITARY SEWER MANHOLE
  - SQ.FT. - SQUARE FEET
  - TBX - TELEPHONE BOX
  - WBX - WATER BOX
  - WLC - WILD CHERRY (TREE)
  - WM - WATER METER
  - WV - WATER VALVE
  - YI - YARD INLET
- LINE LEGEND:**
- PROPERTY LINE (NOT SURVEYED)
  - RIGHT-OF-WAY (NOT SURVEYED)
  - RIGHT-OF-WAY (NOT SURVEYED)
  - EASEMENT
  - SETBACK
  - CABLE TV LINE
  - FIBER OPTIC LINE
  - GAS LINE
  - POWER LINE (UNDERGROUND)
  - SANITARY SEWER PIPE
  - STORM DRAIN PIPE
  - TELEPHONE LINE
  - TELEPHONE LINE (UNDERGROUND)
  - TREES/WOODLINE
  - WATER LINE
  - FENCE

- PARKING SPACES:**
- 46 REGULAR PARKING SPACES
  - 2 HANDICAP PARKING SPACES
  - 48 TOTAL PARKING SPACES
- SCALE IN FEET**
- 1" = 20'
- FLOOD CERTIFICATION**
- THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP. COMMUNITY PANEL: 370498 / 4643.1 EFFECTIVE DATE: SEPTEMBER 02, 2015 FLOOD ZONE: X

**WEST CATAWBA AVENUE (NC HIGHWAY 73)**

VARIABLE PUBLIC RIGHT-OF-WAY

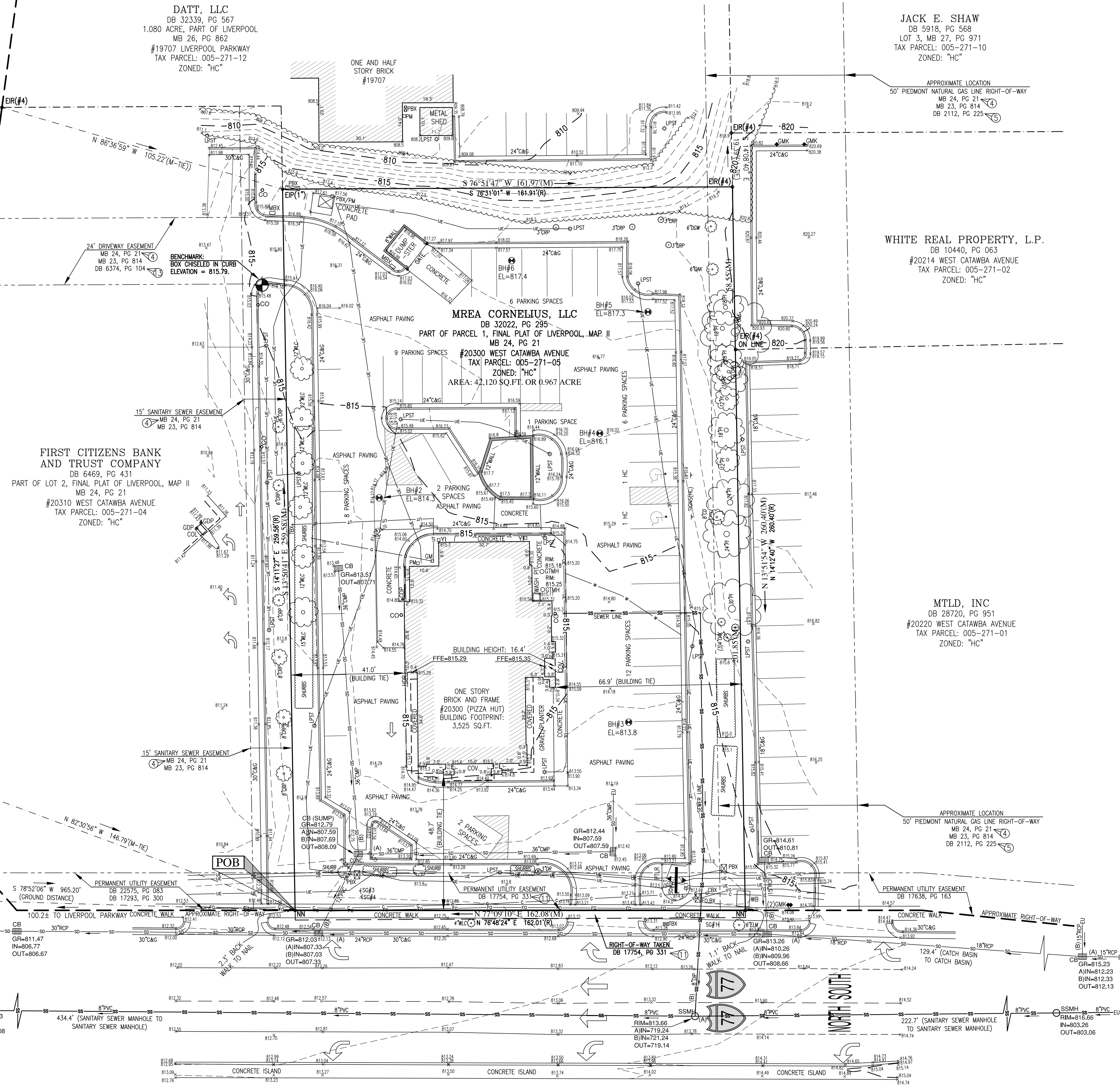
NC DOT PROJECT: 34462.2.2

STATE PROJECT REFERENCE# R-2555A

NC DOT PROJECT: 6.804862

DB 17754, PG 331

MB 24, PG 21



**LEGAL DESCRIPTIONS**

STARBUCKS CORPORATION  
20300 West Catawba Avenue  
Cornelius, Mecklenburg County, North Carolina  
0.967 Acre

**RECORD LEGAL DESCRIPTION**

LYING IN TOWN OF CORNELIUS, LEMLEY TOWNSHIP, MECKLENBURG COUNTY, NC:

BEING ALL OF PARCEL NO. 1 AS SHOWN ON THE MAP ENTITLED LIVERPOOL MAP II, WHICH IS RECORDED IN MAP BOOK 24 AT PAGE 21 IN THE MECKLENBURG COUNTY PUBLIC REGISTRY, TO WHICH MAP REFERENCE IS HEREBY MADE FOR A PARTICULAR DESCRIPTION OF SAID PROPERTY.

TOGETHER WITH A NONEXCLUSIVE PERPETUAL EASEMENT OVER, UPON AND ACROSS THE PROPERTY OF LIVERPOOL PARTNERS WHICH LIES TO THE EAST OF THE PROPERTY HEREBY CONVEYED, THE SAME TO BE APPURTENANT TO THE PROPERTY HEREBY CONVEYED AND TO RUN WITH THE LAND. SAID EASEMENT CONSISTS OF A STRIP OF LAND 24 FEET IN WIDTH, AS SHOWN ON THE FOREMENTIONED LIVERPOOL MAP II, AND IS TO BE USED BY PIZZA HUT OF AMERICA, INC., ITS SUCCESSORS AND ASSIGNS, IN COMMON WITH LIVERPOOL PARTNERS, ITS SUCCESSORS AND ASSIGNS, AND OTHER PARTIES WHO MAY BECOME ENTITLED TO THE USE THEREOF, FOR THE PURPOSE OF INGRESS, EGRESS AND REGRESS BETWEEN THE PROPERTY HEREBY CONVEYED AND N.C. HIGHWAY 73, VIA LIVERPOOL PARKWAY, ALL AS SHOWN ON SAID MAP.

TOGETHER WITH THE NONEXCLUSIVE PERPETUAL EASEMENTS WHICH ARE MORE PARTICULARLY DESCRIBED IN DEED RECORDED IN BOOK 6374, PAGE 104, MECKLENBURG COUNTY REGISTRY.

THE FOREMENTIONED PROPERTY DESCRIBED IS THE SAME PROPERTY DESCRIBED IN A SURVEY PREPARED BY SDI SITE DESIGN, INC., DATED DECEMBER 3, 2003, AS FOLLOWS:

PIZZA HUT  
SCPT NO. 8003-8601  
20301 HIGHWAY 73 WEST (20300 W. CATAWBA AVENUE) CORNELIUS, NC

ALL THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND SITUATE, LYING AND BEING IN THE TOWN OF CORNELIUS, COUNTY OF MECKLENBURG, STATE OF NORTH CAROLINA, BEING KNOWN AS PARCEL 1, LIVERPOOL MAP II, AS RECORDED IN THE ROD OFFICE FOR MECKLENBURG COUNTY IN MAP BOOK 24 AT PAGE 21 AND CONTAINING 0.978 ACRES ACCORDING TO AN "ALTA/ACSM, LAND TITLE SURVEY FOR GE CAPITAL FRANCHISE FINANCE, 20300 WEST CATAWBA AVENUE, MECKLENBURG COUNTY, CORNELIUS, NORTH CAROLINA, PIZZA HUT, DATED 12/03/03, BY SITE DESIGN, INC. WITH THE FOLLOWING METES AND BOUNDS TO WIT:

BEGINNING AT A POINT LOCATED ON THE SOUTHERN RIGHT OF WAY OF WEST CATAWBA AVENUE (US HIGHWAY 73) WEST AT THE JOINT CORNER OF FIRST CITIZENS BANK AND TRUST COMPANY PROPERTY, THENCE LEAVING SAID SOUTHERN RIGHT OF WAY AND RUNNING ALONG THE LINE OF SAID FIRST CITIZENS BANK AND TRUST COMPANY, AND ALONG THE WESTERN EDGE OF A 15' SANITARY SEWER EASEMENT S 14-11-27 E 263.08 FEET TO AN OLD 1" OPEN TOP IRON PIN AT THE JOINT CORNER OF MRD LAKE NORMAN, LLC PROPERTY, NOW OR FORMERLY CROSSING OVER A 5/8" REBAR IRON PIN SET AT 11.32 FEET, THENCE TURNING AND RUNNING ALONG THE LINE OF SAID MRD LAKE NORMAN PROPERTY S 76-31-07 W 161.91 FEET TO AN OLD 1/2" REBAR IRON PIN ON THE LINE OF DAY ENTERPRISES, INC. PROPERTY, NOW OR FORMERLY, THENCE TURNING AND RUNNING ALONG THE LINE OF SAID DAY ENTERPRISES PROPERTY N 14-12-40 W 263.00 FEET TO AN OLD 1/2" REBAR IRON PIN LOCATED ON THE SOUTHERN RIGHT OF WAY OF WEST CATAWBA AVENUE, CROSSING OVER A 5/8" REBAR IRON PIN SET AT 258.03 FEET, THENCE TURNING AND RUNNING ALONG SAID SOUTHERN RIGHT OF WAY N 76-29-18 E 162.00 FEET TO THE POINT OF BEGINNING.

AND BEING THE SAME PROPERTY DESCRIBED AS FOLLOWS:

**AS-SURVEYED LEGAL DESCRIPTION**

That certain tract or parcel of land situated, lying and being in the Town of Cornelius, Mecklenburg County, North Carolina, and being more particularly described as follows:

BEGINNING at a new nail on the southern margin of the right-of-way of West Catawba Avenue (North Carolina Highway 73, variable with public right-of-way), said iron being the northernmost corner of the First Citizens Bank and Trust Company property as described in Deed Book 6469, Page 431 of the Mecklenburg County Public Registry, said iron being further located South 75°20'06" West, a distance of 956.20 feet (ground distance) from North Carolina Geodetic Survey Control Monument "164 JAS RESET" (NAD 83/2001) Coordinates N: 636,117.00; E: 1,441,793.91; Combined Grid Factor: 0.99994629, and runs thence from said BEGINNING point with the western line of the First Citizens Bank and Trust Company property South 13°50'41" East a distance of 259.58 feet to an existing iron pin on the northerly line of the Datt, LLC property as described in Deed Book 32339, Page 567 of said Registry, thence with the northerly line of the Datt, LLC property South 75°14'47" West a distance of 161.97 feet to an existing iron pin on the easterly line of the White Real Property, L.P. tract as described in Deed Book 10440, Page 63 of said Registry, thence with the easterly line of the White Real Property, L.P., and continuing along the line of the MTD, Inc. property as described in Deed Book 28720, Page 951 of said Registry, North 13°51'54" West, and passing an existing iron rod at 58.55 feet, for a total distance of 260.40 feet to a new nail on the southerly margin of the right-of-way of West Catawba Avenue, thence with the southerly margin of the right-of-way of West Catawba Avenue North 77°09'10" East a distance of 162.08 feet to the point and place of BEGINNING, 42,120 square feet or 0.967 acre, as shown on a survey prepared by James Mauney and Associates, P.A., dated January 31, 2018 (Map F-1814), and being part of Parcel 1 as shown on the plot of Liverpool, Map II, as recorded in Map Book 24, Page 21 in the Mecklenburg County Public Registry.

**SCHEDULE B - SECTION 2 EXCEPTIONS**

NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 EXCEPTIONS

FIRST AMERICAN TITLE INSURANCE COMPANY  
FILE NUMBER: MCS-885912-H012  
COMMITMENT DATE: January 12, 2018

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment, (NOT ADDRESSED ON SURVEY).
2. Deed of Trust to Hugh M. Queener for the benefit of Bank of North Carolina, a division of Finnacle Bank, recorded in Book 32022, Page 303, and as affected by Assignment of Rights in Book 32022, Page 315, Mecklenburg County Registry. Affects Underlying Fee Simple Interest. (DEEDS 32022-303 & 32022-319 AFFECT THE PROPERTY BUT CONTAIN NO MATTERS THAT CAN BE SPECIFICALLY SHOWN ON SURVEY).
3. Taxes for the year 2018, which are a lien, but not yet due and payable, and all subsequent years. (NOT ADDRESSED ON SURVEY).
4. Any right, easement, interest, encroachment, encumbrance, violation, variation or other adverse circumstance affecting the Title disclosed by plot recorded in Plot Book 24, Page 21, Mecklenburg County Registry. (LOCATABLE MATTERS SHOWN ON MAP 24-21 ARE SHOWN).
5. Right(s) of way to Piedmont Natural Gas Company, Inc. recorded in Book 2112, Page 225, Mecklenburg County Registry. (EASEMENT DESCRIBED IN DEED 2112-225 IS SHOWN).
6. Easement to Crescent Electric Membership Corp., a corporation recorded in Book 4905, Page 699, Mecklenburg County Registry. (EASEMENT DESCRIBED IN DEED 4905-699 IS GENERAL IN NATURE AND CANNOT BE SPECIFICALLY LOCATED).
7. Easement to Crescent Electric Membership Corp., a corporation recorded in Book 4905, Page 762, Mecklenburg County Registry. (EASEMENT DESCRIBED IN DEED 4905-762 IS GENERAL IN NATURE AND CANNOT BE SPECIFICALLY LOCATED).
8. Easement to Crescent Electric Membership Corp., a corporation recorded in Book 4905, Page 763, Mecklenburg County Registry. (EASEMENT DESCRIBED IN DEED 4905-763 IS GENERAL IN NATURE AND CANNOT BE SPECIFICALLY LOCATED).
9. Terms, provisions, covenants, conditions, easements and restrictions as provided in the Development of Liverpool Declaration of Easements, Restrictions, Conditions and Protective Covenants, recorded in Book 6309, Page 947, Mecklenburg County Registry. (AMONG OTHER MATTERS, DEED 6309-947 GRANTS GENERAL RIGHTS TO USE COMMON AREAS AND RESERVES GENERAL EASEMENTS FOR MAINTENANCE, UTILITIES, ETC. NO MATTERS IN DEED 6309-947 CAN BE SPECIFICALLY SHOWN ON SURVEY).
10. Terms and provisions of that certain unrecorded Lease executed by Pizza Properties, L.L.C., a Delaware limited liability company to America's Pizza Company, LLC, a Louisiana limited liability company dated December 16, 2003 as evidenced by a Memorandum of which is recorded in Book 16657, Page 756, Mecklenburg County Registry. (DEED 16657-756 AFFECTS THE PROPERTY BUT CONTAINS NO MATTERS THAT CAN BE SPECIFICALLY SHOWN ON SURVEY).
11. Deed for Highway Right of Way and Incorporated Deed of Trust Release by and among Pizza Properties, L.L.C., a Delaware limited liability company, Joy Delaney, GE Capital Franchise Finance Corporation and Town of Cornelius, North Carolina, recorded in Book 17754, Page 331, Mecklenburg County Registry. (RIGHT-OF-WAY AND UTILITY EASEMENT DESCRIBED IN DEED 17754-331 IS SHOWN).
12. Subordination and Assignment Agreement by and among America's Pizza Company, L.L.C., a Louisiana limited liability company, Pizza Properties, L.L.C., a Delaware limited liability company and Merrill Lynch Capital, a division of Merrill Lynch Business Financial Services Inc., a Delaware corporation, as Administrative Agent, recorded in Book 22545, Page 475 and as assigned by Assignment of Subordination and Assignment Agreement in Book 27342, Page 326, Mecklenburg County Registry. Note: Associated Deed of Trust released by partial Release recorded in Book 32022, Page 298, said Registry. (DEEDS 22545-475, 27342-326 & 32022-298 AFFECT THE PROPERTY BUT CONTAIN NO MATTERS THAT CAN BE ADDRESSED ON SURVEY).
13. Terms, conditions, provisions, covenants, restrictions, easements and other matters which are set forth in North Carolina General Warranty Deed recorded in Book 6374, page 104, Mecklenburg County Registry. (LOCATABLE MATTERS DESCRIBED IN DEED 6374-104 ARE SHOWN. NOTE THAT THE DEED ALSO DESCRIBES GENERAL EASEMENTS WHICH CANNOT BE SPECIFICALLY SHOWN).
14. Terms and provisions of that certain unrecorded Lease executed by MREA Cornelius, LLC to Starbucks Corporation dated as evidenced by a Memorandum of which is recorded in Book \_\_\_\_\_, Page \_\_\_\_\_, as substantiated by MREA recorded in Book \_\_\_\_\_, Page \_\_\_\_\_, Mecklenburg County Registry. (NOT ADDRESSED ON SURVEY - NO DOCUMENTATION PROVIDED).
15. Rights of others in and the use of apartment easement(s) set forth on Exhibit A herein. (NOT DIRECTLY ADDRESSED ON SURVEY - EXISTING DRIVES, UTILITIES AND OTHER MATTERS WHICH ARE LOCATABLE ARE SHOWN).
16. Title to and easements in, any portion of the Land lying within any highways, roads, streets or other ways. (LOCATABLE ROADWAYS AND EASEMENTS ARE SHOWN).
17. Any encroachment in the area, square footage or acreage of the Land to be insured hereunder. (LAND AREA CALCULATION IS SHOWN).
18. Rights of parties in possession as tenants only, under unrecorded lease(s) or rental agreement(s). (NOT ADDRESSED ON SURVEY).
19. Encroachments, overlaps, boundary line disputes, deficiency in amount of area, rights, easements, ditches, cartways, setbacks, rights of parties in possession, interests or claims which would be revealed by a current and accurate survey and inspection of the Land. (SURVEY MATTERS ARE SHOWN).

**ALTA/NSPS LAND TITLE SURVEY**

SURVEY PREPARED FOR:  
**STARBUCKS CORPORATION**  
#20300 WEST CATAWBA AVENUE  
TOWN OF CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA  
PART OF PARCEL 1, LIVERPOOL, MAP II, MAP BOOK 24, PAGE 21  
REFERENCE DEED BOOK 32022, PAGE 295  
TAX PARCEL: 005-271-05  
**AREA SURVEYED: 42,120 SQ.FT. OR 0.967 ACRE**

TO: STARBUCKS CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP AND PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DEED REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5 (66), 76a, 76b, 76b(1), 76b, 8, 9, 11, 13, 16, 17 AND 20 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 25th, 2018.

DATE OF PLAN OR MAP: JANUARY 31st, 2018.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DESCRIPTION RECORDED IN DEED BOOK 32022, PAGE 295); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION AS SHOWN ON THE FACE OF THE SURVEY; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:100,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).

THIS 31st DAY OF JANUARY, 2018.

SIGNED: *James P. Cameron*  
JAMES P. CAMERON - PLS NO: L-3665

**REVISIONS**

| NO. | DATE       | DESCRIPTION |
|-----|------------|-------------|
| 1   | 01/31/2018 | 7580        |
| 2   | 01/31/2018 | 7580        |
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Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR\011089 - 01 - GEN NOTES.dwg    GENERAL NOTES    Apr 12, 2018   3:29pm   by: michael.toothaker

| DEMOLITION NOTES  | EROSION CONTROL NOTES   | GRADING AND DRAINAGE NOTES   | UTILITY NOTES  |
|---|---|--|--|
| <p><b>DEMOLITION NOTES:</b></p> <p>THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO ANY DEMOLITION.</p> <p>THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS.</p> <p>IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID.</p> <p>THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.</p> <p>THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.</p> <p>IN ACCORDANCE WITH THE DEMOLITION PLAN, CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.</p> <p>REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.</p> <p>THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG, ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTEND OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.</p> <p>THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.</p> <p>INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.</p> <p>THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.</p> <p>THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE.</p> <p>SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT AT THE R/W.</p> <p>ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.</p> <p>THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJOINING PROPERTIES DURING THE DEMOLITION PROCESS.</p> <p>SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTION BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.</p> <p>ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR AND DISPOSED OF PROPERLY.</p> | <p><b>EROSION CONTROL:</b></p> <p>CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THESE DRAWINGS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.</p> <p>BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.</p> <p>CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL.</p> <p>ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED.</p> <p>SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.</p> <p>DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.</p> <p>RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR JURISDICTIONAL WATERS.</p> <p>ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE EROSION AND SEDIMENT CONTROL PLANS SHALL BE INITIATED AS SOON AS PRACTICABLE.</p> <p>DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE EROSION CONTROL PLANS AND/OR LANDSCAPE PLAN.</p> <p>IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.</p> <p>ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.</p> <p>CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM THE EROSION CONTROL BASINS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.</p> <p>SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.</p> <p>ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.</p> <p>ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPARTMENT OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE REGULATIONS.</p> <p>THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.</p> <p>STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED. TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE STATE REGULATIONS. TOPSOILING, PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.</p> <p>ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.</p> <p>WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED, AT NO ADDITIONAL COST TO THE OWNER, WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.</p> <p>ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.</p> <p>SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.</p> <p>STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.</p> <p>LIMITS OF GRADING SHOWN ON THE PLAN ARE MAXIMUM LIMITS FOR EROSION CONTROL PURPOSES ONLY. SURVEYOR TO DETERMINE ACTUAL LIMIT.</p> <p><b>MAINTENANCE:</b></p> <p>ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLANS, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:</p> <p>CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE CONSTRUCTION DRAWINGS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.</p> <p>INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.</p> <p>ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.</p> <p>SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.</p> <p>THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.</p> <p>OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.</p> | <p><b>GRADING:</b></p> <p>THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.</p> <p>ALL CUT OR FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.</p> <p>EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.</p> <p>CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.</p> <p>CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.</p> <p>TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LECRAW ENGINEERING.</p> <p>ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS AND MAINTAIN DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.</p> <p>CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.</p> <p>ALL WORK AND MATERIALS SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS AND CODES AND O.S.H.A. STANDARDS.</p> <p>ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.</p> <p>ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.</p> <p>THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.</p> <p>CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.</p> <p>ALL SITE PREPARATION AND UNSUITABLE SOIL REMOVAL, AS WELL AS THE PLACEMENT OF FILL MATERIALS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT (BY OTHERS).</p> <p>LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.</p> <p>THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS.</p> <p>CONTRACTOR SHALL INSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.</p> <p>ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS PROHIBITED.</p> <p>THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.</p> <p>THE CONTRACTOR SHALL INCLUDE IN THE BID ANY DEWATERING AND MOISTURE CONDITIONING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.</p> <p>ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.</p> <p>GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.</p> <p><b>DRAINAGE:</b></p> <p>CONTRACTOR TO CONFIRM STRUCTURE ELEVATIONS SHOWN AND PROVIDE SHOP DRAWINGS TO OWNER &amp; ENGINEER FOR REVIEW PRIOR TO ORDERING OF OR INSTALLATION OF STRUCTURES.</p> <p>PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.</p> <p>STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:<br/>TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.<br/>TYPE 2: SPIRAL RIB METAL PIPE TYPE 1R: ALUMINIZED COATED AS SPECIFIED ON CONSTRUCTION DRAWINGS. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. PIPE ENDS SHALL BE RE-CORRUGATED AND INSTALLED WITH SEMI-CORRUGATED HUGGER-TYPE BANDS AND "O" RING GASKETS IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPIRAL RIB METAL PIPE MUST COMPLY WITH ASTM A 760 TYPE 1R, ACCEPTABLE MANUFACTURER: CONTECH, INC." ULTRA FLO OR ULTRA FLO II", CALDWELL CULVERT CO. "SMOOTH RIB", OR APPROVED EQUAL.<br/>TYPE 3: HIGH DENSITY POLYETHYLENE, ADS N-12 ST 18 PIPE (PER AASHTO M294), OR APPROVED EQUAL, SHALL HAVE A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4- THROUGH 60-INCH SHALL MEET AASHTO M294. PIPE SHALL BE JOINED USING A BELL &amp; SPIGOT JOINT MEETING ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS, WHEN APPLICABLE, SHALL MEET THE REQUIREMENTS OF ASTM F477. FITTINGS SHALL CONFORM TO ASTM F 2306. MATERIAL FOR PIPE PRODUCTION SHALL BE AN ENGINEERED COMPOUND OF VIRGIN AND RECYCLED HIGH DENSITY POLYETHYLENE CONFORMING WITH THE MINIMUM REQUIREMENTS OF CELL CLASSIFICATION 424420C (ESCR TEST CONDITION B) FOR 4- THROUGH 10-INCH (100 TO 250 MM) DIAMETERS; AND 438420C (ESCR TEST CONDITION B) FOR 12- THROUGH 60-INCH DIAMETERS, AS DEFINED AND DESCRIBED IN THE LATEST VERSION OF ASTM D3550. EXCEPT THAT CARBON BLACK CONTENT SHOULD NOT EXCEED 4%. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 OR PER MANUFACTURER'S RECOMMENDATION.</p> <p>EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.</p> <p>IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.</p> <p>ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.</p> <p>ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING &amp; COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".</p> <p>ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.</p> <p>ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE SHOWN.</p> <p>A MINIMUM GRADE OF 0.50% SHALL BE MAINTAINED ON ALL PIPES.</p> <p>ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.</p> <p>ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.</p> <p>SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.</p> <p>UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:<br/>A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.<br/>B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.<br/>C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.<br/>D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.<br/>E. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.<br/>F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.</p> <p>THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.</p> <p>STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.</p> | <p><b>UTILITY NOTES:</b></p> <p>ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.</p> <p>CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.</p> <p>SANITARY SEWER PIPE, AS SHOWN ON PLANS, SHALL BE AS FOLLOWS:<br/>PVC PER ASTM D 3034<br/>DUCTILE IRON PIPE PER AWWA C150<br/>PIPE RUNS BETWEEN MANHOLES TO BE THE SAME CLASS.</p> <p>WATER LINES, AS SHOWN ON PLANS, SHALL BE AS FOLLOWS:<br/>PVC C-900 PER ASTM D 2241, CLASS 200 UNDER PUBLIC ROADS, OTHERWISE CLASS 150<br/>DUCTILE IRON PIPE PER AWWA C150<br/>EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI 816.22<br/>PVC, 200 P.S.I. PER ASTM D1784 AND D2241.</p> <p>MINIMUM TRENCH WIDTH SHALL BE 2 FEET.</p> <p>ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN THE SPECIFICATIONS.</p> <p>ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).</p> <p>CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATERLINES.</p> <p>IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 80).</p> <p>LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.</p> <p>TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS IN UNPAVED AREAS WITH WATER TIGHT LIDS.</p> <p>ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3,000 P.S.I.</p> <p>DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.</p> <p>EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.</p> <p>REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.</p> <p>CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL JURISDICTION WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.</p> <p>THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS WAS PROVIDED BY THE LAND SURVEYOR AND IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.</p> <p>CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.</p> <p>IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.</p> <p>ALL EXISTING AND PROPOSED UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.</p> <p>ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND, UNLESS OTHERWISE NOTED.</p> <p>CONTRACTOR TO REFERENCE MEP PLANS FOR ALL GREASE TRAP SIZING, DETAILS, CLEANOUTS, SAMPLE WELLS, AND VENT PIPING. GREASE TRAPS SHOWN ON CIVIL DRAWINGS ARE FOR REFERENCE ONLY.</p> |
| <p><b>GENERAL NOTES</b></p>   |   |  |  |

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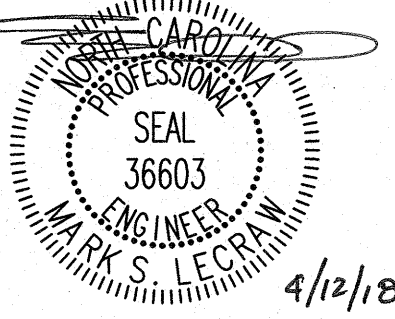


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STARBUCKS TEMPLATE VERSION |2015.01.19



4/12/18

**LECRAW**  
ENGINEERING

3475 CORPORATE WAY, SUITE A  
DULUTH, GEORGIA 30096  
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WWW.LECRAWENGINEERING.COM C-3545

PROJECT NAME:  
**STARBUCKS - CORNELIUS, NC**

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 00868-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #: ---

PROJECT #: ---

CASEWORK CONCEPT: CONCEPT

ISSUE DATE: APRIL 12, 2018

DESIGN MANAGER: ERIKA ZAKAMAREK

LEED® AP: XXX

PRODUCTION DESIGNER: MAT

CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:

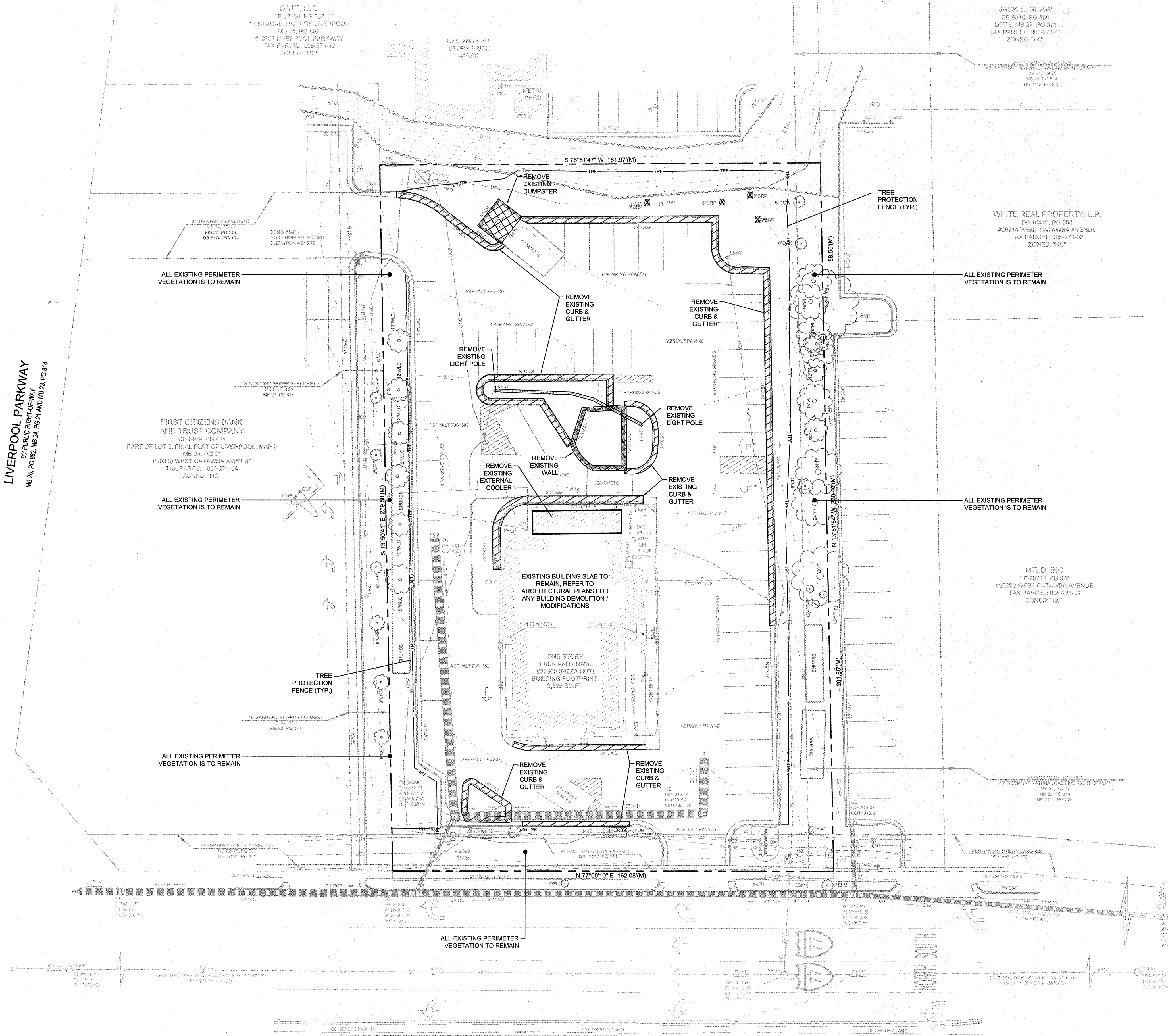
**GENERAL NOTES**

SCALE: AS SHOWN

SHEET NUMBER:

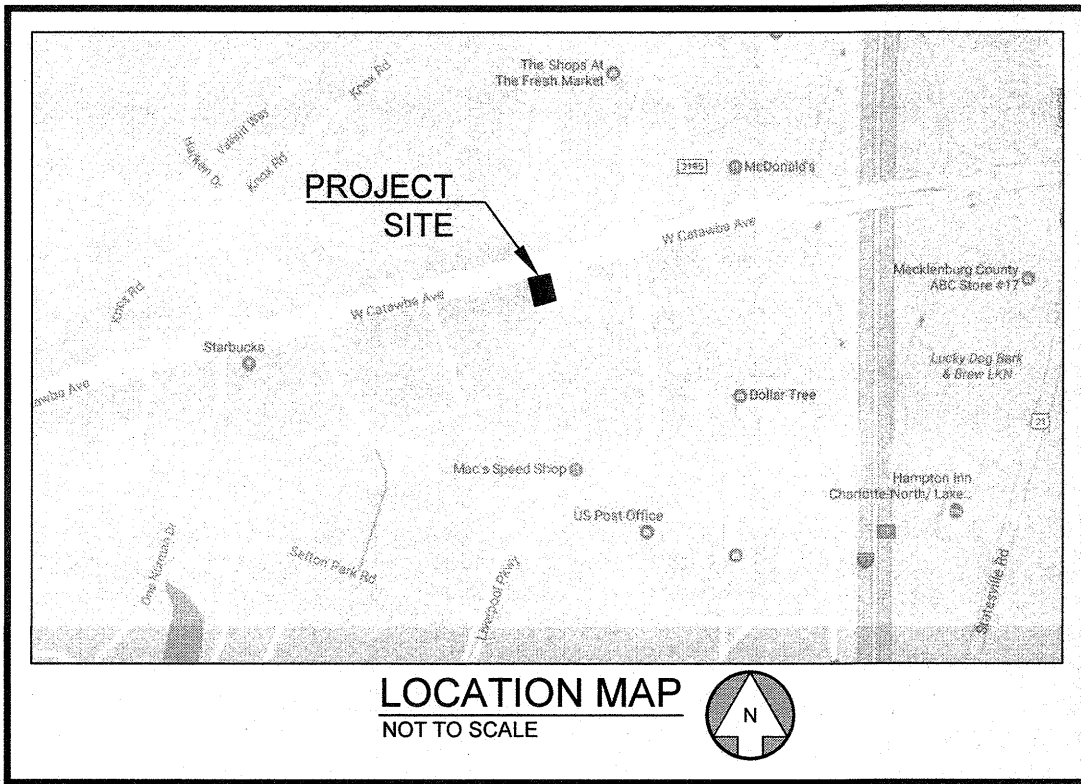
**C-1.0**

LIVERPOOL PARKWAY  
80' PUBLIC RIGHT-OF-WAY  
MB 26, PG 882, MB 24, PG 21 AND MB 23, PG 814



WEST CATAWBA AVENUE (NC HIGHWAY 73)  
VARIABLE PUBLIC RIGHT-OF-WAY  
NCDOT PROJECT: 34462.2  
STATE PROJECT REFERENCE R-2555A  
NCDOT PROJECT: 6.804862  
DB 17754, PG 331  
MB 24, PG 21

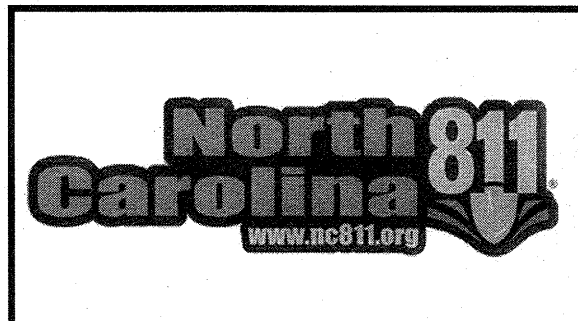
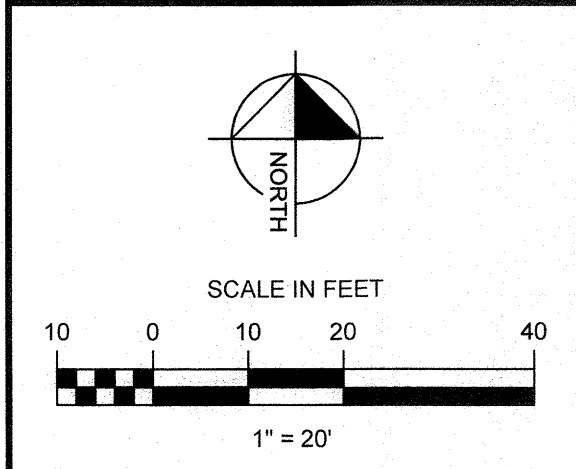
CAUTION  
THE UTILITIES SHOWN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



NOTE:  
ALL ON-SITE PAVEMENT TO BE MILLED AND OVERLAYED AT A MINIMUM, HOWEVER CONTRACTOR SHALL REMOVE PAVEMENT AS NECESSARY TO ACHIEVE PROPOSED SITE DESIGN.

- GENERAL DEMOLITION NOTES:
- 1) CONTRACTOR TO ENSURE ALL APPROPRIATE EROSION CONTROL MEASURES, INCLUDING TREE PROTECTION FENCING, ARE IN PLACE PRIOR TO ANY DEMOLITION ACTIVITY TAKING PLACE.
  - 2) CONTRACTOR TO ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS CONCERNING THE REMOVAL, DEMOLITION, AND/OR DISPOSAL OF POSSIBLE HARMFUL MATERIALS INCLUDING, BUT NOT LIMITED TO, LEAD PAINT, ASBESTOS, ETC. DURING ALL PHASES OF CONSTRUCTION.
  - 3) ALL EXISTING STORM PIPE SHALL REMAIN, UNLESS SHOWN OTHERWISE.
  - 4) CONTRACTOR TO SAW CUT EXISTING PAVEMENT/CURB FULL DEPTH AT EDGE OF DEMOLITION LIMITS TO CREATE A CLEAN JOINT.
  - 5) ALL ITEMS NOTED FOR REMOVAL/DEMOLITION SHALL BE REMOVED FROM THE SITE OR DISPOSED OF IN A LEGAL MANNER.
  - 6) TOPOGRAPHIC & BOUNDARY SURVEY BY JAMES MAUNEY & ASSOCIATES, DATED JANUARY 31, 2018. ELEVATIONS BASED ON NAVD88.

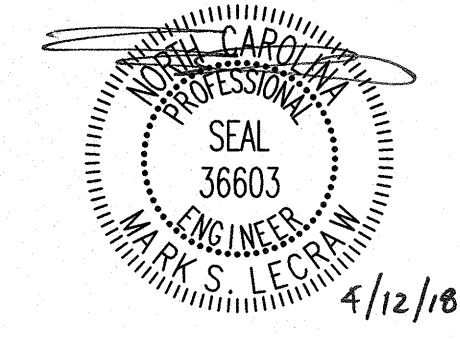
- LEGEND:
- DEMOLISH/REMOVE EXISTING CURB AND GUTTER
  - REMOVE EXISTING PAVEMENT
  - REMOVE EXISTING UTILITY
  - REMOVE EXISTING TREE



STARBUCKS COFFEE COMPANY  
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STARBUCKS TEMPLATE VERSION | 2015.01.19



LECRAW ENGINEERING  
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PROJECT NAME: STARBUCKS - CORNELIUS, NC  
PROJECT ADDRESS: 20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #: --  
PROJECT #: --  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule            |      |    |             |
|------------------------------|------|----|-------------|
| Rev                          | Date | By | Description |
|                              |      |    |             |
|                              |      |    |             |
| SHEET TITLE: DEMOLITION PLAN |      |    |             |
| SCALE: AS SHOWN              |      |    |             |
| SHEET NUMBER: C-2.0          |      |    |             |

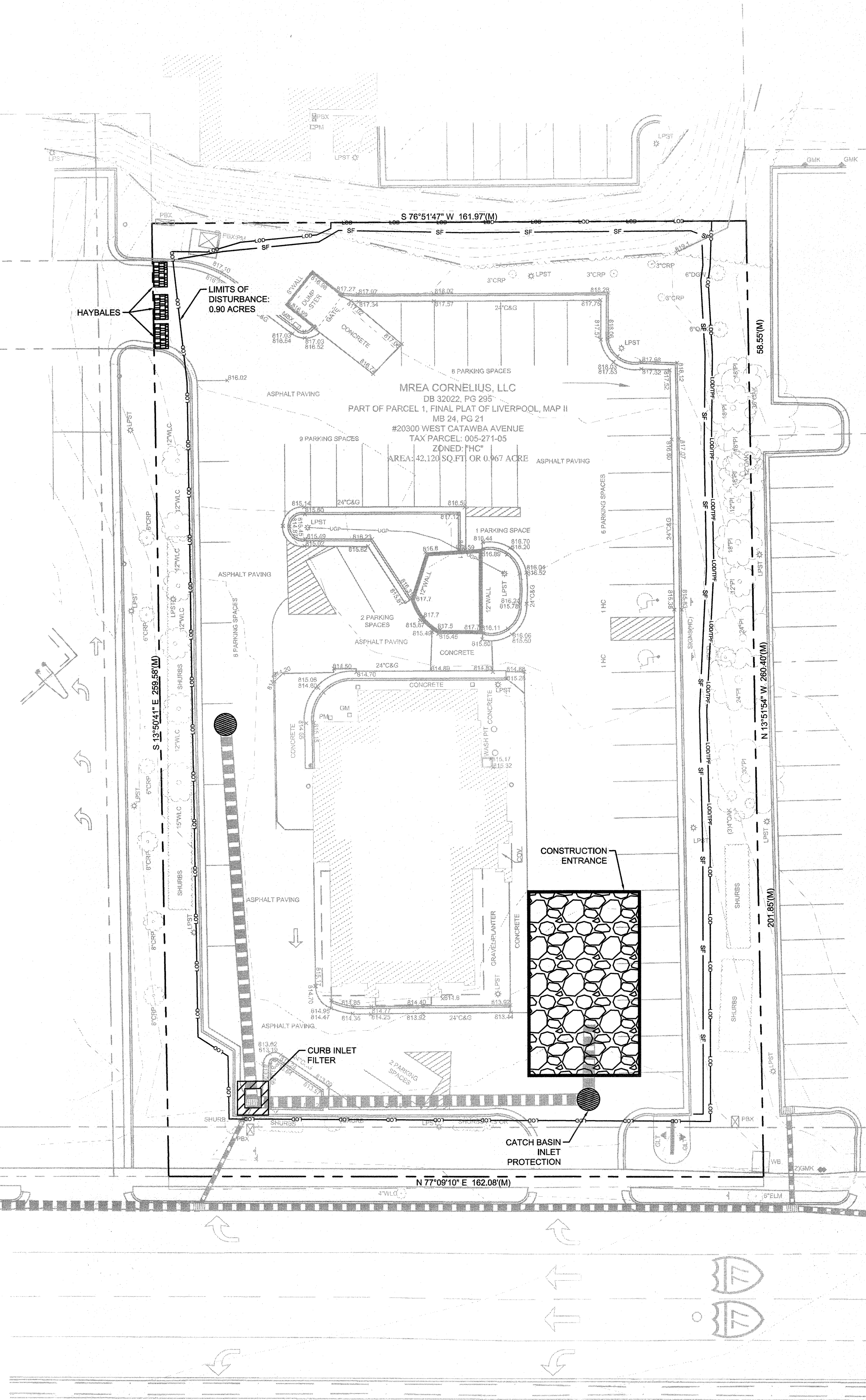
Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR011089 - 05 - E&SC.dwg EROSION CONTROL PLAN - PHASE 1 Apr 12, 2018 3:29pm by: michael.toothaker

EROSION CONTROL NOTES:

1. TOTAL AREA DISTURBED - 0.90 ACRES
2. TOTAL SITE AREA - 0.97 ACRES
3. EXISTING SOILS GROUP - CEB2 - CECIL SANDY CLAY LOAM, 2 TO 8 PERCENT SLOPES, MODERATELY ERODED.
4. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NCDENR EROSION AND SEDIMENT CONTROL HANDBOOK.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS.
6. CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
8. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
9. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NCDENR EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. A REVISED PLAN SHOWING OFF-SITE IMPACTS SHOULD BE SUBMITTED AND APPROVED PRIOR TO BEGINNING OFF-SITE GRADING. CONTACT GRADIENT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
11. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS, IF APPLICABLE), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NCDENR FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
12. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL SEASON. THEY SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RE-SEEDING AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
13. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDING. TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE NCDENR SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
14. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
15. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. SIX INCHES OF STONE SHALL BE USED FOR THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
16. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
17. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
18. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS COMPLETED.
19. DURING DE-WATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE TO DISCHARGE TO RECEIVING OUTLET.
20. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

CONSTRUCTION SEQUENCE:

1. CONTRACTOR SHALL THAT ALL NECESSARY PERMITS HAVE BEEN RECEIVED AND THAT THOSE REQUIRED TO BE DISPLAYED ON-SITE ARE AVAILABLE.
2. CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS BEFORE THE ACTUAL START OF CONSTRUCTION. CONTACT NCDENR INSPECTOR.
3. CONTRACTOR SHALL CONTACT CAROLINA ONE CALL AND ALL ENTITIES HAVING BURIED UTILITIES AT LEAST 72 HOURS PRIOR TO DIGGING OR AS DIRECTED AT THE PRE-CONSTRUCTION MEETING.
4. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES AT EACH POINT OF ACCESS TO STORAGE AND CONSTRUCTION AREAS.
5. INITIAL PHASE SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PLANS BEFORE STARTING WORK INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, DIVERSION DITCHES, TREE PROTECTION, ETC., CLEARING ONLY AS NECESSARY FOR THE INSTALLATION OF THESE MEASURES.
6. CONTRACTOR SHALL INCLUDE A RAIN GAUGE AND LOG BOOK CONTAINING THE INSPECTION RECORDS FOR THE SITE.
7. CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
8. ALL APPLICABLE E&S CONTROL MEASURES MUST BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
9. STOCKPILE RIP-RAP ON SITE AND INSTALL ALL OTHER EROSION CONTROL MEASURES WHERE THE WORK IS OCCURRING. THE CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES IN AREAS WHERE THE WORK WILL NOT OCCUR FOR SOME TIME. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE ENGINEER OR UPON RECOMMENDATION OF NCDENR INSPECTION PERSONNEL AS CONDITIONS WARRANT.
10. IN AREAS WHERE IT IS NOT FEASIBLE TO INSTALL EROSION CONTROL DEVICES, ALL DISTURBED AREAS MUST BE SEEDING AND MULCHED BY THE CONTRACTOR WITHIN THREE DAYS OF INITIAL DISTURBANCE. TEMPORARY SEEDING SHALL BE REQUIRED ON ALL OTHER AREAS TO BE DISTURBED FOR A PERIOD OF 10 DAYS OR LONGER.
11. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISHED GRADE.
12. UPON COMPLETION OF THE INSTALLATION AND WITH APPROVAL OF NCDENR, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF IN AN ACCEPTABLE MANNER. EACH SECTION SHALL BE SEEDING AT THE EARLIEST POSSIBLE DATE AFTER INSTALLATION OF PIPE, STRUCTURE, OR ACCESS. COORDINATE WITH THE EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
13. CONTRACTOR SHALL NOT CONVERT TO PERMANENT BMP FACILITY UNTIL UPSTREAM AREAS ARE STABILIZED. AS PART OF THE CONVERSION FROM THE TO THE PERMANENT STORMWATER BMP ALL ACCUMULATED SEDIMENT WITHIN THE BASIN SHALL BE REMOVED AND DISPOSED OF IN A SUITABLE MANNER. INSTALL FINAL EROSION CONTROL MEASURES AND PERMANENTLY SEED EXPOSED AREAS.
14. ONCE GROUND COVER IS FIRMLY ESTABLISHED, ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITH THE APPROVAL OF NCDENR INSPECTOR.
15. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION & SEDIMENT CONTROL PLANNING AND DESIGN MANUAL NCDOT, U.S. DEPT. OF AGRICULTURE, AND COUNTY STANDARDS.



WEST CATAWBA AVENUE (NC HIGHWAY 73)  
VARIABLE PUBLIC RIGHT-OF-WAY  
NCDOT PROJECT: 34482.22  
STATE PROJECT REFERENCE# R-2555A  
NCDOT PROJECT: 6.804862  
DB 17754, PG 331  
MB 24, PG 21

EROSION CONTROL NARRATIVE:

STARBUCKS, CORNELIUS, NC

CONTRACTOR WILL FIRST INSTALL THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL THEN MOBILIZE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, TREE PROTECTION FENCE, INLET PROTECTION, AND OTHER DEVICES IN ACCORDANCE WITH THE PLANS. BEGIN DEMOLITION, CLEARING AND SITE GRADING OPERATIONS. STABILIZATION OF EARTHEN STRUCTURES IS REQUIRED IMMEDIATELY AFTER INSTALLATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, INLET PROTECTION SHALL BE PROPERLY INSTALLED ON THE STRUCTURE. THE ON-SITE SANITARY SEWER AND WATER SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT TO GRADE. THE SITE PAD WILL BE PREPARED FOR THE PROPOSED BUILDING. THE ROUGH GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER WILL BE PERFORMED AFTER GRADING THE SITE. BASE STONE WILL THEN BE PLACED AND FINISHED. ALL DISTURBED AREAS WILL BE DRESSED AND SEEDING STABILIZED PER THE APPROVED EROSION CONTROL AND LANDSCAPE PLANS. REMOVE ALL INLET PROTECTION FROM STORM STRUCTURES WHEN PAVING IS TO BEGIN. PAVING AND STRIPING WILL THEN BE COMPLETED. FINALIZE STORMWATER DETENTION SYSTEM ONCE UPSTREAM AREAS HAVE BEEN STABILIZED (REMOVE ACCUMULATED SEDIMENT). ALL LANDSCAPING WILL BE COMPLETED (PER APPROVED PLANS). THE ON-SITE STORM SEWER SYSTEM SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT WHICH SHALL BE DISPOSED OF IN A LEGAL MANNER. ALL ACCUMULATED SEDIMENT BEHIND SILT FENCE AND OTHER SEDIMENT DEVICES SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. WITHIN 21 DAYS OF FINAL SITE STABILIZATION, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES FROM THE SITE. CONTRACTOR SHALL MINIMIZE THE LENGTH OF TIME BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE.

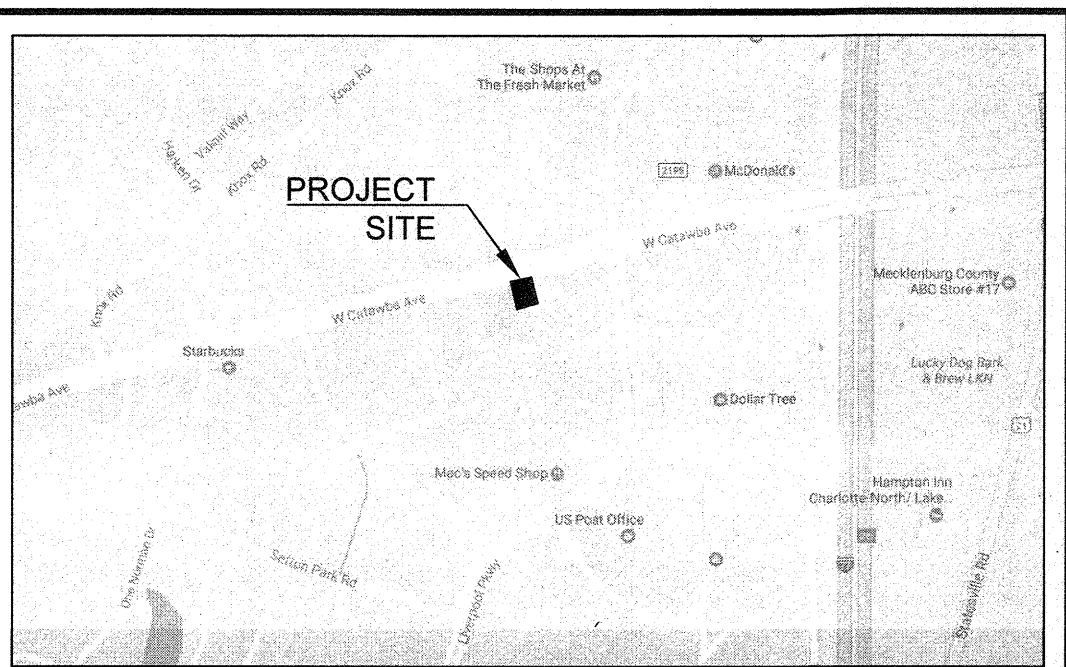
THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LADEN STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES. THE CONTRACTOR SHALL AT HIS EXPENSE IMPLEMENT ADDITIONAL BMPs, AS NECESSARY, TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

EROSION CONTROL INSPECTIONS:

IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DURING ROADWAY DRAINAGE. MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, REMOVE DEPOSITION OF WET OR DRY SILT ON ADJACENT ROADWAYS AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

SEDIMENT & EROSION CONTROL NOTES:

1. THE EROSION AND SEDIMENTATION CONTROL MEASURES (BMPs) WERE DESIGNED USING THE NORTH CAROLINA NCDENR AND TOWN OF CORNELIUS REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY. CONTRACTOR SHALL PERFORM ALL ACTIVITIES IN STRICT COMPLIANCE WITH THE NORTH CAROLINA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERAL PERMIT).
2. REFER TO THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS FOR EROSION CONTROL DETAILS AND DESIGN TABLES FOR SEDIMENT BASINS, DIVERSION DITCHES, AND CULVERTS, SLOPE DRAINS, RIP-RAP APRONS AND OTHER EROSION CONTROL MEASURES.
3. EXISTING BOUNDARIES, TOPOGRAPHY, 100-YR FLOODPLAIN, UTILITY AND ROAD INFORMATION TAKEN FROM AN EXISTING CONDITIONS SURVEY. ALL EXISTING INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR.
4. SEE THE LANDSCAPE PLAN FOR LOCATIONS OF PROPOSED PLANTINGS AND FINAL STABILIZATION.
5. TEMPORARY DIVERSION DITCHES AND BERMS AND THE TEMPORARY SEDIMENT TRAP WILL BE MAINTAINED AS THE SITE IS BROUGHT TO GRADE.
6. DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTORS SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
7. SEE THE GENERAL NOTES SHEET AND THE GRADING AND DRAINAGE PLAN FOR OTHER NOTES REGARDING GRADING ACTIVITIES.
8. SEE SITE PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, PLANTING PLAN AND OTHER PLAN SHEETS FOR DETAILED DESIGN INFORMATION OF PERMANENT SITE APPURTENANCES SHOWN ON THIS SHEET.
9. WHERE THE LIMITS OF DISTURBANCE AND TEMPORARY FENCE (SF OR TPF) LIMITS ARE ADJACENT, THE TEMPORARY FENCE LINE IS THE LIMITS OF DISTURBANCE. THE LINE TYPES ARE SHOWN SEPARATED FOR ILLUSTRATIVE PURPOSES ONLY.
10. CONTRACTOR SHALL NOT DISTURB ANY EXISTING VEGETATIVE GROUND COVER OR TREES OUTSIDE OF THE LIMITS OF DISTURBANCE OR WITHIN ANY REQUIRED BUFFER LIMITS UNLESS OTHERWISE NOTED OR ILLUSTRATED.
11. PROVIDE CONTROLS OF POLLUTANTS, INCLUDING, BUT NOT LIMITED TO DUST CONTROL, DE-WATERING, SCUD WASTE DISPOSAL, AND HAZARDOUS MATERIALS.
12. CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES OUTLINED IN THE PHASE 1 CONSTRUCTION SEQUENCE. MASS CLEARING AND GRUBBING CAN BEGIN ONLY AFTER ALL DOWNSTREAM MEASURES HAVE BEEN INSTALLED.
13. USE ROCK OR WASHED STONE TO BRING CONSTRUCTION EXIT TO GRADE. IMPLEMENT WHEEL WASHES AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. DIVERT STORM WATER RUNOFF OFF THE FACE OF THE SEDIMENT BASIN SLOPES USING DIVERSION DITCHES AND SLOPE DRAINS. CONTRACTOR SHALL MAINTAIN AND RELOCATE DIVERSION DITCHES AND SLOPES DRAINS TO ENSURE STORM WATER RUNOFF DOES NOT ERODE THE FACE OF FINAL SLOPES.
15. MAINTAIN POSITIVE FLOW TO THE SEDIMENT BASINS THROUGHOUT ALL PHASES OF CONSTRUCTION. PLACE EXCAVATED SOILS ALONG DOWNSTREAM EDGE OF THE DIVERSION DITCHES TO PROVIDE ADDITIONAL CAPACITY.
16. REFER TO THE GRADING AND DRAINAGE PLAN FOR FINAL SITE AND PAVEMENT GRADES AND ELEVATIONS OF THE PROPOSED STORM SEWER SYSTEMS.
17. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS DURING CONSTRUCTION OPERATIONS.
18. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
19. ALL WORK SHALL BE CONFINED TO PERMIT LIMITS SHOWN ON PLANS. UNLESS OTHERWISE NOTED, THE SITE PLAN PROPERTY LIMITS SHALL BE CONSIDERED THE PERMIT LIMITS.
20. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE.
21. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
22. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.
23. ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
24. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR TO ACCEPTANCE.
25. CONSTRUCTION LIMITS SHALL NOT BE EXCEEDED WITHOUT THE APPROVAL OF NCDENR.



LOCATION MAP  
NOT TO SCALE

NOTE:

CONTRACTOR IS RESPONSIBLE FOR THE SEQUENCE AND TIMING OF ALL EROSION AND SEDIMENT CONTROL MEASURES. PHASING PLANS ARE ONLY A GENERAL GUIDE TO EROSION AND SEDIMENT CONTROL REQUIREMENTS AS DEVELOPMENT OCCURS.

DEVELOPER:

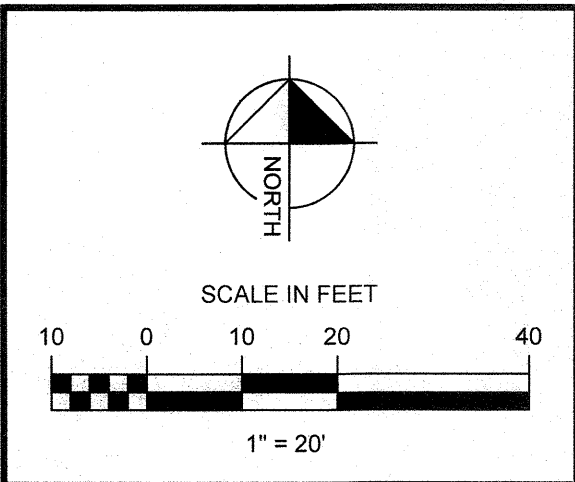
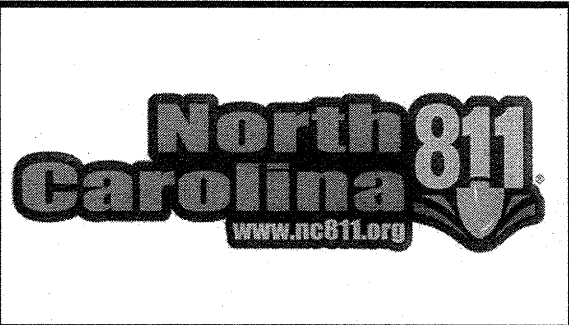
STARBUCKS COFFEE COMPANY  
2987 CLAIRMONT ROAD, SUITE 300  
ATLANTA, GA 30329

GENERAL SITE NOTES:

1. ALL BEST MANAGEMENT PRACTICES ARE TO BE IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA, PUBLISHED BY THE NORTH CAROLINA DIVISION OF WATER RESOURCES.
2. TOPOGRAPHIC SURVEY BY JAMES MAUNEY & ASSOCIATES, DATED NOVEMBER 6, 2015. BENCHMARK IS NOTED ON SURVEY.
3. SOIL TYPES FOR ENTIRE DISTURBED AREA IS C&B2 PER NRCS WEB SOIL SURVEY.
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
5. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
6. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES AS REQUIRED INDICATING THE 1/2 FULL VOLUME.
7. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
8. WASHOUT OF CONCRETE DRUM AT CONSTRUCTION SITE IS PROHIBITED AND NOT ALLOWED IN WASH AREAS.
9. ALL BEST MANAGEMENT PRACTICES TO BE MAINTAINED IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA.

TOTAL DISTURBED AREA = 0.90 AC

|      |  |
|------|--|
| SF   | SILT FENCE                             |
| TPF  | TREE PROTECTION FENCE                  |
|      | CONSTRUCTION ENTRANCE                  |
|      | INLET PROTECTION                       |
| S GC | SODDING AND GROUND COVER STABILIZATION |
| M    | MULCHING OR MATTING                    |



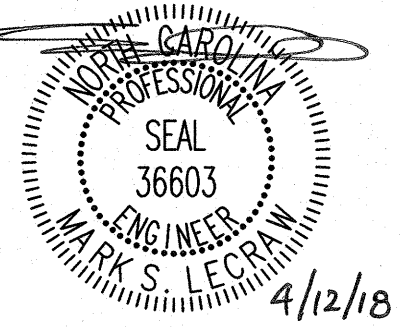
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PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION OR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION I2015.01.19



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PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0068-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #: ---  
PROJECT #: ---  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:  
EROSION CONTROL  
PLAN - PHASE 1  
SCALE: AS SHOWN

SHEET NUMBER:  
C-3.0

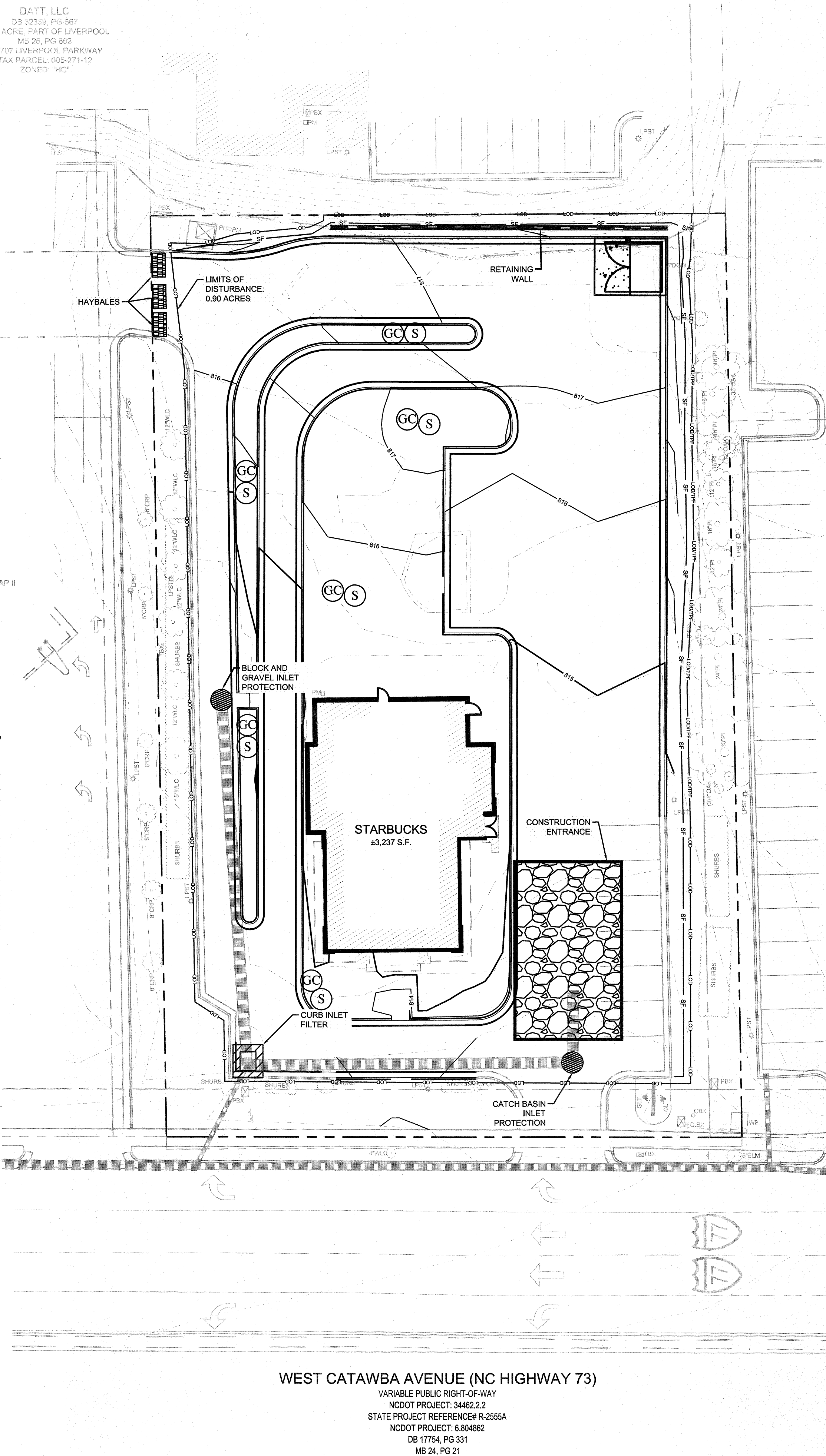
Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR011089 - 05 - E&S.dwg EROSION CONTROL PLAN - PHASE 2 Apr 12, 2018 3:29pm by: michael.toothaker

EROSION CONTROL NOTES:

1. TOTAL AREA DISTURBED - 0.90 ACRES
2. TOTAL SITE AREA - 0.97 ACRES
3. EXISTING SOILS GROUP - C&B2 - CECIL SANDY CLAY LOAM, 2 TO 8 PERCENT SLOPES, MODERATELY ERODED.
4. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NC DENR EROSION AND SEDIMENT CONTROL HANDBOOK.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS.
6. CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
8. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
9. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NC DENR EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. A REVISED PLAN SHOWING OFF-SITE IMPACTS SHOULD BE SUBMITTED AND APPROVED PRIOR TO BEGINNING OFF-SITE GRADING. CONTACT PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
11. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREA, STAGING OR STORAGE AREAS, IF APPLICABLE), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NC DENR FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
12. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDING AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RE-SEEDING AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
13. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDING TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE NC DENR SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
14. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
15. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. SIX INCHES OF STONE SHALL BE USED FOR THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
16. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
17. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
18. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS COMPLETED.
19. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
20. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

CONSTRUCTION SEQUENCE

1. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES AT EACH POINT OF ACCESS TO STORAGE AND CONSTRUCTION AREAS.
2. INITIAL PHASE SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PLANS BEFORE STARTING WORK INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, DIVERSION DITCHES, TREE PROTECTION, ETC., CLEARING ONLY AS NECESSARY FOR THE INSTALLATION OF THESE MEASURES.
3. CONTRACTOR SHALL INCLUDE A RAIN GAUGE AND LOG BOOK CONTAINING THE INSPECTION RECORDS FOR THE SITE.
4. CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
5. ALL APPLICABLE E&S CONTROL MEASURES MUST BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
6. STOCKPILE RIP-RAP ON SITE AND INSTALL ALL OTHER EROSION CONTROL MEASURES WHERE THE WORK IS OCCURRING. THE CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES IN AREAS WHERE THE WORK WILL NOT OCCUR FOR SOME TIME. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE ENGINEER OR UPON RECOMMENDATION OF NC DENR INSPECTION PERSONNEL AS CONDITIONS WARRANT.
7. IN AREAS WHERE IT IS NOT FEASIBLE TO INSTALL EROSION CONTROL DEVICES, ALL DISTURBED AREAS MUST BE SEEDING AND MULCHED BY THE CONTRACTOR WITHIN THREE DAYS OF INITIAL DISTURBANCE. TEMPORARY SEEDING SHALL BE REQUIRED ON ALL OTHER AREAS TO BE DISTURBED FOR A PERIOD OF 10 DAYS OR LONGER.
8. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISHED GRADE.
9. UPON COMPLETION OF THE INSTALLATION AND WITH APPROVAL OF NC DENR, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF IN AN ACCEPTABLE MANNER. EACH SECTION SHALL BE SEEDING AT THE EARLIEST POSSIBLE DATE AFTER INSTALLATION OF PIPE, STRUCTURE, OR ACCESS. COORDINATE WITH THE EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
10. CONTRACTOR SHALL NOT CONVERT TO PERMANENT BMP FACILITY UNTIL UPSTREAM AREAS ARE STABILIZED. AS PART OF THE CONVERSION FROM THE TO THE PERMANENT STORMWATER BMP ALL ACCUMULATED SEDIMENT WITHIN THE BASIN SHALL BE REMOVED AND DISPOSED OF IN A SUITABLE MANNER. INSTALL FINAL EROSION CONTROL MEASURES AND PERMANENTLY SEED EXPOSED AREAS.
11. ONCE GROUND COVER IS FIRMLY ESTABLISHED, ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITH THE APPROVAL OF NC DENR INSPECTOR.
12. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION & SEDIMENT CONTROL PLANNING AND DESIGN MANUAL NCDOT, U.S. DEPT. OF AGRICULTURE, AND COUNTY STANDARDS.



EROSION CONTROL NARRATIVE:

STARBUCKS, CORNELIUS, NC

CONTRACTOR WILL FIRST INSTALL THE CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL THEN MOBILIZE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, TREE PROTECTION FENCE, INLET PROTECTION, AND OTHER DEVICES IN ACCORDANCE WITH THE PLANS. BEGIN DEMOLITION, CLEARING AND SITE GRADING OPERATIONS. STABILIZATION OF EARTHEN STRUCTURES IS REQUIRED IMMEDIATELY AFTER INSTALLATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, INLET PROTECTION SHALL BE PROPERLY INSTALLED ON THE STRUCTURE. THE ON-SITE SANITARY SEWER AND WATER SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT TO GRADE. THE SITE PAD WILL BE PREPARED FOR THE PROPOSED BUILDING. THE ROUGH GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER WILL BE PERFORMED AFTER GRADING THE SITE. BASE STONE WILL THEN BE PLACED AND FINISHED. ALL DISTURBED AREAS WILL BE DRESSED AND SEEDING STABILIZED PER THE APPROVED EROSION CONTROL AND LANDSCAPE PLANS. REMOVE ALL INLET PROTECTION FROM STORM STRUCTURES WHEN PAVING IS TO BEGIN. PAVING AND STRIPING WILL THEN BE COMPLETED. FINALIZE STORMWATER DETENTION SYSTEM ONCE UPSTREAM AREAS HAVE BEEN STABILIZED (REMOVE ACCUMULATED SEDIMENT). ALL LANDSCAPING WILL BE COMPLETED (PER APPROVED PLANS). THE ON-SITE STORM SEWER SYSTEM SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT WHICH SHALL BE DISPOSED OF IN A LEGAL MANNER. ALL ACCUMULATED SEDIMENT BEHIND SILT FENCE AND OTHER SEDIMENT DEVICES SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. WITHIN 21 DAYS OF FINAL SITE STABILIZATION, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES FROM THE SITE. CONTRACTOR SHALL MINIMIZE THE LENGTH OF TIME BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE.

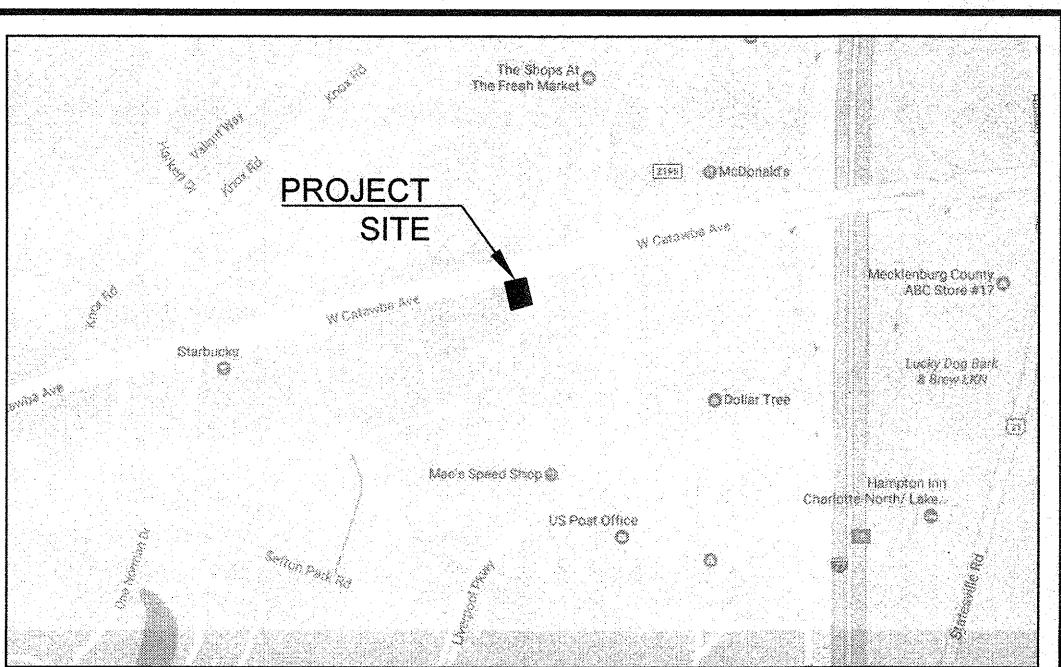
THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LADEN STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES. THE CONTRACTOR SHALL AT HIS EXPENSE IMPLEMENT ADDITIONAL BMPs, AS NECESSARY, TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

EROSION CONTROL INSPECTIONS:

IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES AND OFF-SITE ROADWAYS DAILY. MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES. REMOVE DEPOSITION OF WET OR DRY SILT ON ADJACENT ROADWAYS AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

SEDIMENT & EROSION CONTROL NOTES:

1. THE EROSION AND SEDIMENT CONTROL MEASURES (BMPs) WERE DESIGNED USING THE NORTH CAROLINA NC DENR AND TOWN OF CORNELIUS REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY. CONTRACTOR SHALL PERFORM ALL ACTIVITIES IN STRICT COMPLIANCE WITH THE NORTH CAROLINA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERAL PERMIT).
2. REFER TO THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS FOR EROSION CONTROL DETAILS AND DESIGN TABLES FOR SEDIMENT BASINS, DIVERSION DITCHES, AND CULVERTS, SLOPE DRAINS, RIP-RAP APRONS AND OTHER EROSION CONTROL MEASURES.
3. EXISTING BOUNDARIES, TOPOGRAPHY, 100-YR FLOODPLAIN, UTILITY AND ROAD INFORMATION TAKEN FROM AN EXISTING CONDITIONS SURVEY. ALL EXISTING INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR.
4. SEE THE LANDSCAPE PLAN FOR LOCATIONS OF PROPOSED PLANTINGS AND FINAL STABILIZATION.
5. TEMPORARY DIVERSION DITCHES AND BERMS AND THE TEMPORARY SEDIMENT TRAP WILL BE MAINTAINED AS THE SITE IS BROUGHT TO GRADE.
6. DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTORS SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
7. SEE THE GENERAL NOTES SHEET AND THE GRADING AND DRAINAGE PLAN FOR OTHER NOTES REGARDING GRADING ACTIVITIES.
8. SEE SITE PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, PLANTING PLAN AND OTHER PLAN SHEETS FOR DETAILED DESIGN INFORMATION OF PERMANENT SITE APPURTENANCES SHOWN ON THIS SHEET.
9. WHERE THE LIMITS OF DISTURBANCE AND TEMPORARY FENCE (SF OR TPF) LIMITS ARE ADJACENT, THE TEMPORARY FENCE LINE IS THE LIMITS OF DISTURBANCE. THE LINE TYPES ARE SHOWN SEPARATED FOR ILLUSTRATIVE PURPOSES ONLY.
10. CONTRACTOR SHALL NOT DISTURB ANY EXISTING VEGETATIVE GROUND COVER OR TREES OUTSIDE OF THE LIMITS OF DISTURBANCE OR WITHIN ANY REQUIRED BUFFER LIMITS UNLESS OTHERWISE NOTED OR ILLUSTRATED.
11. PROVIDE CONTROLS OF POLLUTANTS, INCLUDING, BUT NOT LIMITED TO DUST CONTROL, DE-WATERING, SCUD WASTE DISPOSAL, AND HAZARDOUS MATERIALS.
12. CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES OUTLINED IN THE PHASE 1 CONSTRUCTION SEQUENCE. MASS CLEARING AND GRUBBING CAN BEGIN ONLY AFTER ALL DOWNSTREAM MEASURES HAVE BEEN INSTALLED.
13. USE ROCK OR WASHED STONE TO BRING CONSTRUCTION EXIT TO GRADE. IMPLEMENT WHEEL WASHES AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. DIVERT STORM WATER RUNOFF OFF THE FACE OF THE SEDIMENT BASIN SLOPES USING DIVERSION DITCHES AND SLOPE DRAINS. CONTRACTOR SHALL MAINTAIN AND RELOCATE DIVERSION DITCHES AND SLOPE DRAINS TO ENSURE STORM WATER RUNOFF DOES NOT ERODE THE FACE OF FINAL SLOPES.
15. MAINTAIN POSITIVE FLOW TO THE SEDIMENT BASINS THROUGHOUT ALL PHASES OF CONSTRUCTION. PLACE EXCAVATED SOILS ALONG DOWNSTREAM EDGE OF THE DIVERSION DITCHES TO PROVIDE ADDITIONAL CAPACITY.
16. REFER TO THE GRADING AND DRAINAGE PLAN FOR FINAL SITE AND PAVEMENT GRADES AND ELEVATIONS OF THE PROPOSED STORM SEWER SYSTEMS.
17. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS DURING CONSTRUCTION OPERATIONS.
18. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
19. ALL WORK SHALL BE CONFINED TO PERMIT LIMITS SHOWN ON PLANS, UNLESS OTHERWISE NOTED. THE SITE PLAN PROPERTY LIMITS SHALL BE CONSIDERED THE PERMIT LIMITS.
20. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE.
21. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
22. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.
23. ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
24. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR TO ACCEPTANCE.
25. CONSTRUCTION LIMITS SHALL NOT BE EXCEEDED WITHOUT THE APPROVAL OF NC DENR.



NOTE:  
CONTRACTOR IS RESPONSIBLE FOR THE SEQUENCE AND TIMING OF ALL EROSION AND SEDIMENT CONTROL MEASURES. PHASING PLANS ARE ONLY A GENERAL GUIDE TO EROSION AND SEDIMENT CONTROL REQUIREMENTS AS DEVELOPMENT OCCURS.

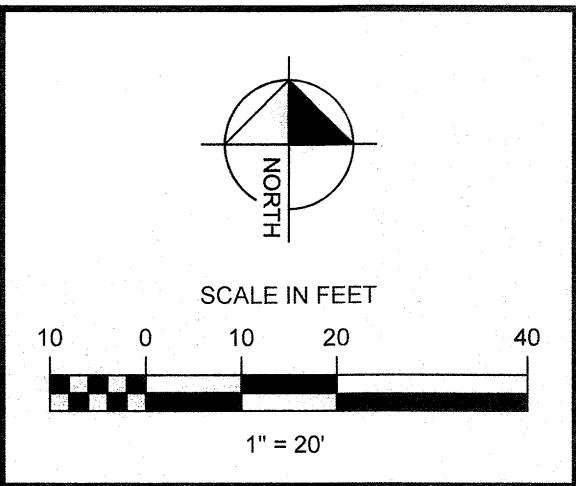
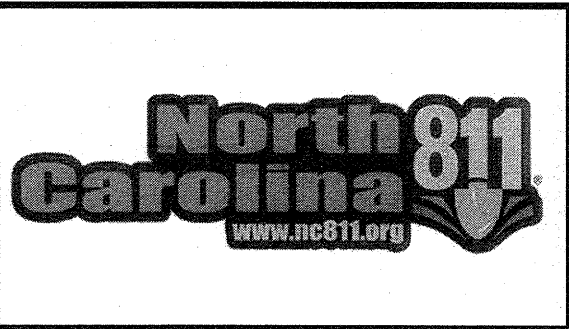
DEVELOPER:  
STARBUCKS COFFEE COMPANY  
2987 CLAIRMONT ROAD, SUITE 300  
ATLANTA, GA 30329

GENERAL SITE NOTES:

1. ALL BEST MANAGEMENT PRACTICES ARE TO BE IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA, PUBLISHED BY THE NORTH CAROLINA DIVISION OF WATER RESOURCES.
2. TOPOGRAPHIC SURVEY BY JAMES MAUNY & ASSOCIATES, DATED JANUARY 31, 2018. BENCHMARK IS NOTED ON SURVEY.
3. SOIL TYPES FOR ENTIRE DISTURBED AREA IS C&B2 PER NRCS WEB SOIL SURVEY.
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
5. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
6. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURE AS REQUIRED, INDICATING THE 1/2 FULL VOLUME.
7. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
8. WASHOUT OF CONCRETE DRUM AT CONSTRUCTION SITE IS PROHIBITED AND NOT ALLOWED IN WASH AREAS.
9. ALL BEST MANAGEMENT PRACTICES TO BE MAINTAINED IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA.

TOTAL DISTURBED AREA = 0.90 AC

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|      | CONSTRUCTION ENTRANCE                  |
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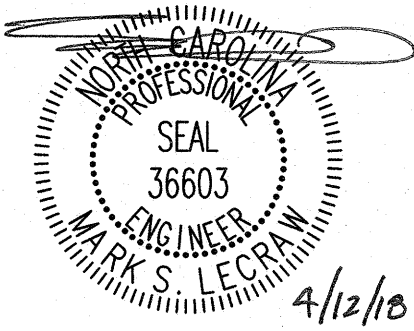


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STARBUCKS TEMPLATE VERSION |2015.01.19



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CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

|                      |                 |
|----------------------|-----------------|
| STORE #:             | --              |
| PROJECT #:           | --              |
| CASEWORK CONCEPT:    | CONCEPT         |
| ISSUE DATE:          | APRIL 12, 2018  |
| DESIGN MANAGER:      | ERIKA ZAKAMAREK |
| LEED® AP:            | XXX             |
| PRODUCTION DESIGNER: | MAT             |
| CHECKED BY:          | MSL             |

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:  
EROSION CONTROL  
PLAN - PHASE 2  
SCALE: AS SHOWN

SHEET NUMBER:  
C-3.1

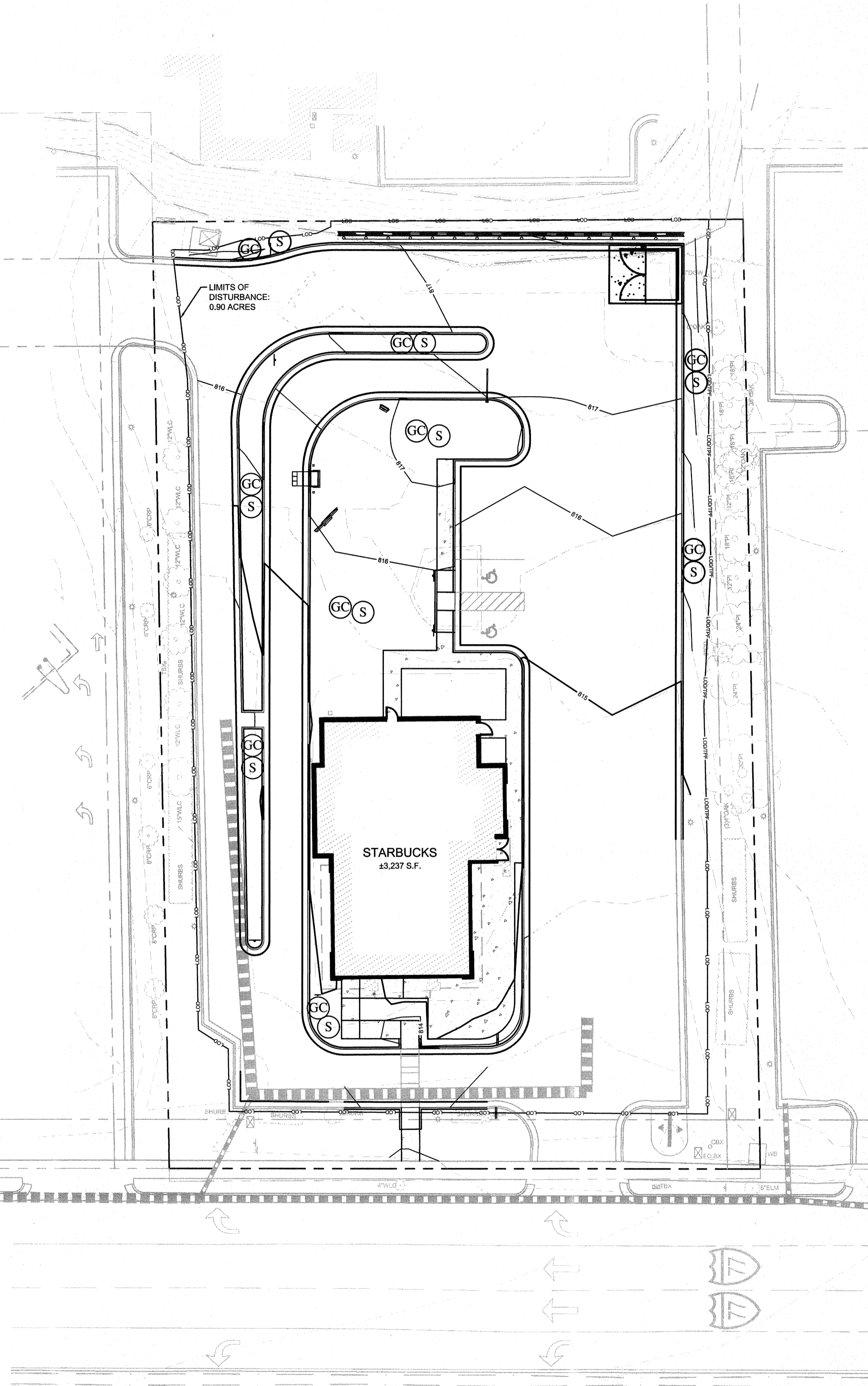
Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NCCADD\CONSTR011089 - 05 - E&S.dwg EROSION CONTROL PLAN - PHASE 3 Apr 12, 2018 3:29pm by: michael.toothaker

EROSION CONTROL NOTES:

1. TOTAL AREA DISTURBED - 0.90 ACRES  
TOTAL SITE AREA - 0.97 ACRES  
EXISTING SOILS GROUP - CEB2 - CECIL SANDY CLAY LOAM, 2 TO 8 PERCENT SLOPES, MODERATELY ERODED.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NCDENR EROSION AND SEDIMENT CONTROL HANDBOOK.
3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS.
4. CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
5. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
6. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NCDENR EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. A REVISED PLAN SHOWING OFF-SITE IMPACTS SHOULD BE SUBMITTED AND APPROVED PRIOR TO BEGINNING OFF-SITE GRADING. CONTACT PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
9. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS, IF APPLICABLE), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NCDENR FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RE-SEEDED AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
11. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDDED. TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE NCDENR SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
12. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. SIX INCHES OF STONE SHALL BE USED FOR THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
14. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
15. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE LAND-UP-SLOPE LAND DISTURBANCE TAKES PLACE.
16. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS COMPLETED.
17. DURING DE-WATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
18. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL MEASURES SHALL BE MADE IMMEDIATELY.

CONSTRUCTION SEQUENCE:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS HAVE BEEN RECEIVED AND THAT THOSE REQUIRED TO BE DISPLAYED ON-SITE ARE AVAILABLE.
2. CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS BEFORE THE ACTUAL START OF CONSTRUCTION. CONTACT NCDENR INSPECTOR.
3. CONTRACTOR SHALL CONTACT CAROLINA ONE CALL AND ALL ENTITIES HAVING BURIED UTILITIES AT LEAST 72 HOURS PRIOR TO DIGGING OR AS DIRECTED AT THE PRE-CONSTRUCTION MEETING.
4. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES AT EACH POINT OF ACCESS TO STORAGE AND CONSTRUCTION AREAS.
5. INITIAL PHASE SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PLANS BEFORE STARTING WORK INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, DIVERSION DITCHES, TREE PROTECTION, ETC. CLEARING ONLY AS NECESSARY FOR THE INSTALLATION OF THESE MEASURES.
6. CONTRACTOR SHALL INCLUDE A RAIN GAUGE AND LOG BOOK CONTAINING THE INSPECTION RECORDS FOR THE SITE.
7. CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
8. STOCKPILE RIP-RAP ON SITE AND INSTALL ALL OTHER EROSION CONTROL MEASURES WHERE THE WORK IS OCCURRING. THE CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES IN AREAS WHERE THE WORK WILL NOT OCCUR FOR SOME TIME. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE ENGINEER OR UPON RECOMMENDATION OF NCDENR INSPECTION PERSONNEL AS CONDITIONS WARRANT.
9. IN AREAS WHERE IT IS NOT FEASIBLE TO INSTALL EROSION CONTROL DEVICES, ALL DISTURBED AREAS MUST BE SEEDDED AND MULCHED BY THE CONTRACTOR WITHIN THREE DAYS OF INITIAL DISTURBANCE. TEMPORARY SEEDING SHALL BE REQUIRED ON ALL OTHER AREAS TO BE DISTURBED FOR A PERIOD OF 10 DAYS OR LONGER.
10. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISHED GRADE.
11. UPON COMPLETION OF THE INSTALLATION AND WITH APPROVAL OF NCDENR, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF IN AN ACCEPTABLE MANNER. EACH SECTION SHALL BE SEEDDED AT THE EARLIEST POSSIBLE DATE AFTER INSTALLATION OF PIPE, STRUCTURE, OR ACCESS. COORDINATE WITH THE EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
12. CONTRACTOR SHALL NOT CONVERT TO PERMANENT BMP FACILITY UNTIL UPSTREAM AREAS ARE STABILIZED. AS PART OF THE CONVERSION FROM THE TO THE PERMANENT STORMWATER BMP, ALL ACCUMULATED SEDIMENT WITHIN THE BASIN SHALL BE REMOVED AND DISPOSED OF IN A SUITABLE MANNER. INSTALL FINAL EROSION CONTROL MEASURES AND PERMANENTLY SEED EXPOSED AREAS.
13. ONCE GROUND COVER IS FIRMLY ESTABLISHED, ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITH THE APPROVAL OF NCDENR INSPECTOR.
14. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION & SEDIMENT CONTROL PLANNING AND DESIGN MANUAL NCDOT, U.S. DEPT. OF AGRICULTURE, AND COUNTY STANDARDS.



EROSION CONTROL NARRATIVE:

STARBUCKS, CORNELIUS, NC

CONTRACTOR WILL FIRST INSTALL THE CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL THEN MOBILIZE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, TREE PROTECTION FENCE, INLET PROTECTION, AND OTHER DEVICES IN ACCORDANCE WITH THE PLANS. BEGIN DEMOLITION, CLEARING AND SITE GRADING OPERATIONS. STABILIZATION OF EARTHEN STRUCTURES IS REQUIRED IMMEDIATELY AFTER INSTALLATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, INLET PROTECTION SHALL BE PROPERLY INSTALLED ON THE STRUCTURE. THE ON-SITE SANITARY SEWER AND WATER SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT TO GRADE. THE SITE PAD WILL BE PREPARED FOR THE PROPOSED BUILDING. THE ROUGH GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER WILL BE PERFORMED AFTER GRADING THE SITE. BASE STONE WILL THEN BE PLACED AND FINE GRADED. ALL DISTURBED AREAS WILL BE DRESSED AND SEEDDED/STABILIZED PER THE APPROVED EROSION CONTROL AND LANDSCAPE PLANS. REMOVE ALL INLET PROTECTION FROM STORM STRUCTURES WHEN PAVING IS TO BEGIN. PAVING AND STRIPING WILL THEN BE COMPLETED. FINALIZE STORMWATER DETENTION SYSTEM ONCE UPSTREAM AREAS HAVE BEEN STABILIZED (REMOVE ACCUMULATED SEDIMENT). ALL LANDSCAPING WILL BE COMPLETED (PER APPROVED PLANS). THE ON-SITE STORM SEWER SYSTEM SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT WHICH SHALL BE DISPOSED OF IN A LEGAL MANNER. ALL ACCUMULATED SEDIMENT BEHIND SILT FENCE AND OTHER SEDIMENT DEVICES SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. WITHIN 21 DAYS OF FINAL SITE STABILIZATION, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES FROM THE SITE. CONTRACTOR SHALL MINIMIZE THE LENGTH OF TIME BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE.

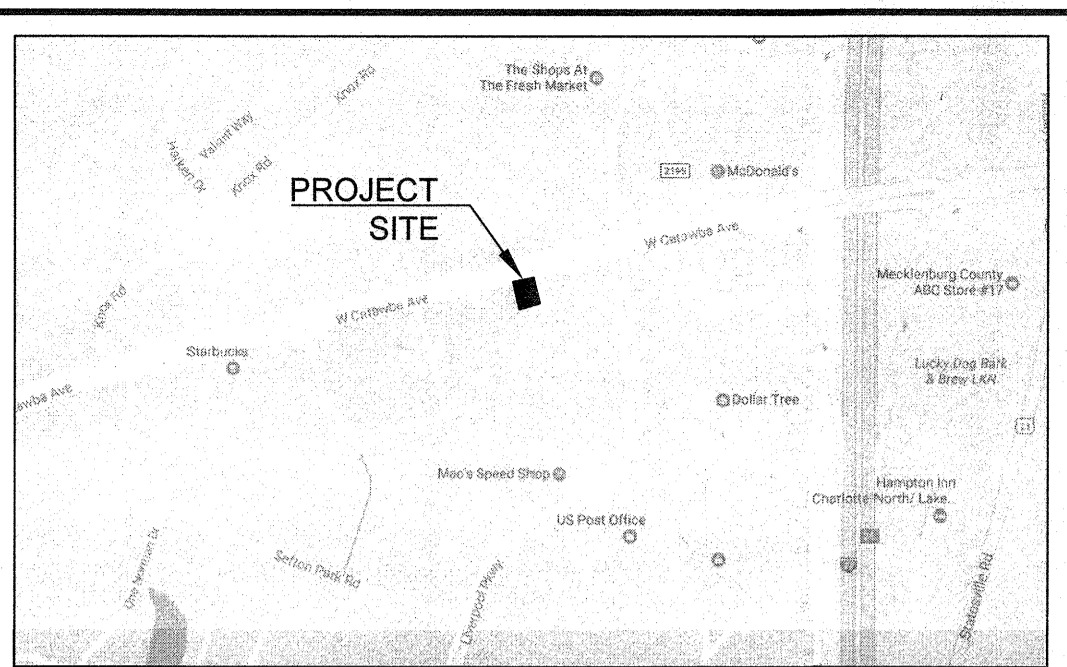
THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LOADED STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES. THE CONTRACTOR SHALL AT HIS EXPENSE IMPLEMENT ADDITIONAL BMP'S, AS NECESSARY, TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

EROSION CONTROL INSPECTIONS:

IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES AND OFF-SITE ROADWAYS DAILY. MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES. REMOVE DEPOSITION OF WET OR DRY SILT ON ADJACENT ROADWAYS AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

SEDIMENT & EROSION CONTROL NOTES:

1. THE EROSION AND SEDIMENTATION CONTROL MEASURES (BMP'S) WERE DESIGNED USING THE NORTH CAROLINA NCDENR AND TOWN OF CORNELIUS REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY. CONTRACTOR SHALL PERFORM ALL ACTIVITIES IN STRICT COMPLIANCE WITH THE NORTH CAROLINA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERAL PERMIT).
2. REFER TO THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS FOR EROSION CONTROL DETAILS AND DESIGN TABLES FOR SEDIMENT BASINS, DIVERSION DITCHES, AND CULVERTS, SLOPE DRAINS, RIP-RAP APRONS AND OTHER EROSION CONTROL MEASURES.
3. EXISTING BOUNDARIES, TOPOGRAPHY, 100-YR FLOODPLAIN, UTILITY AND ROAD INFORMATION TAKEN FROM AN EXISTING CONDITIONS SURVEY. ALL EXISTING INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR.
4. SEE THE LANDSCAPE PLAN FOR LOCATIONS OF PROPOSED PLANTINGS AND FINAL STABILIZATION.
5. TEMPORARY DIVERSION DITCHES AND BERMS AND THE TEMPORARY SEDIMENT TRAP WILL BE MAINTAINED AS THE SITE IS BROUGHT TO GRADE.
6. DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTORS SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
7. SEE THE GENERAL NOTES SHEET AND THE GRADING AND DRAINAGE PLAN FOR OTHER NOTES REGARDING GRADING ACTIVITIES.
8. SEE SITE PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, PLANTING PLAN AND OTHER PLAN SHEETS FOR DETAILED DESIGN INFORMATION OF PERMANENT SITE APPURTENANCES SHOWN ON THIS SHEET.
9. WHERE THE LIMITS OF DISTURBANCE AND TEMPORARY FENCE (SF OR TPF) LIMITS ARE ADJACENT, THE TEMPORARY FENCE LINE IS THE LIMITS OF DISTURBANCE. THE LINE TYPES ARE SHOWN SEPARATED FOR ILLUSTRATIVE PURPOSES ONLY.
10. CONTRACTOR SHALL NOT DISTURB ANY EXISTING VEGETATIVE GROUND COVER OR TREES OUTSIDE OF THE LIMITS OF DISTURBANCE OR WITHIN ANY REQUIRED BUFFER LIMITS UNLESS OTHERWISE NOTED OR ILLUSTRATED.
11. PROVIDE CONTROLS OF POLLUTANTS, INCLUDING, BUT NOT LIMITED TO DUST CONTROL, DE-WATERING, SCUD WASTE DISPOSAL, AND HAZARDOUS MATERIALS.
12. CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES OUTLINED IN THE PHASE 1 CONSTRUCTION SEQUENCE. MASS CLEARING AND GRUBBING CAN BEGIN ONLY AFTER ALL DOWNSTREAM MEASURES HAVE BEEN INSTALLED.
13. USE ROCK OR WASHED STONE TO BRING CONSTRUCTION EXIT TO GRADE. IMPLEMENT WHEEL WASHES AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. DIVERT STORM WATER RUNOFF OFF THE FACE OF THE SEDIMENT BASIN SLOPES USING DIVERSION DITCHES AND SLOPE DRAINS. CONTRACTOR SHALL MAINTAIN AND RELOCATE DIVERSION DITCHES AND SLOPE DRAINS TO ENSURE STORM WATER RUNOFF DOES NOT ERODE THE FACE OF FINAL SLOPES.
15. MAINTAIN POSITIVE FLOW TO THE SEDIMENT BASINS THROUGHOUT ALL PHASES OF CONSTRUCTION. PLACE EXCAVATED SOILS ALONG DOWNSTREAM EDGE OF THE DIVERSION DITCHES TO PROVIDE ADDITIONAL CAPACITY.
16. REFER TO THE GRADING AND DRAINAGE PLAN FOR FINAL SITE AND PAVEMENT GRADES AND ELEVATIONS OF THE PROPOSED STORM SEWER SYSTEMS.
17. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS DURING CONSTRUCTION OPERATIONS.
18. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
19. ALL WORK SHALL BE CONFINED TO PERMIT LIMITS SHOWN ON PLANS. UNLESS OTHERWISE NOTED, THE SITE PLAN PROPERTY LIMITS SHALL BE CONSIDERED THE PERMIT LIMITS.
20. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE.
21. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
22. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.
23. ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
24. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR TO ACCEPTANCE.
25. CONSTRUCTION LIMITS SHALL NOT BE EXCEEDED WITHOUT THE APPROVAL OF NCDENR.



**NOTE:**  
CONTRACTOR IS RESPONSIBLE FOR THE SEQUENCE AND TIMING OF ALL EROSION AND SEDIMENT CONTROL MEASURES. PHASING PLANS ARE ONLY A GENERAL GUIDE TO EROSION AND SEDIMENT CONTROL REQUIREMENTS AS DEVELOPMENT OCCURS.

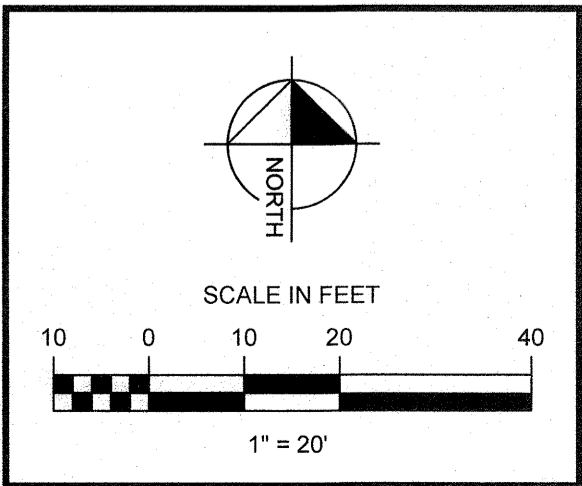
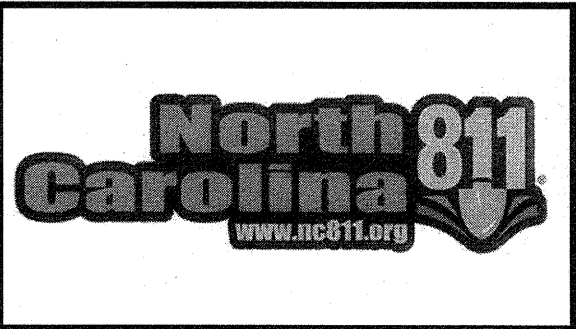
**DEVELOPER:**  
STARBUCKS COFFEE COMPANY  
2987 CLAIRMONT ROAD, SUITE 300  
ATLANTA, GA 30329

GENERAL SITE NOTES:

1. ALL BEST MANAGEMENT PRACTICES ARE TO BE IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA, PUBLISHED BY THE NORTH CAROLINA DIVISION OF WATER RESOURCES.
2. TOPOGRAPHIC SURVEY BY JAMES MAUNEY & ASSOCIATES, DATED JANUARY 31, 2018. BENCHMARK IS NOTED ON SURVEY.
3. SOIL TYPES FOR ENTIRE DISTURBED AREA IS C&B2 PER NRCS WEB SOIL SURVEY
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
5. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
6. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, AS REQUIRED, INDICATING THE 1/8 FULL VOLUME.
7. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
8. WASHOUT OF CONCRETE DRUM AT CONSTRUCTION SITE IS PROHIBITED AND NOT ALLOWED IN WASH AREAS.
9. ALL BEST MANAGEMENT PRACTICES TO BE MAINTAINED IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA.

TOTAL DISTURBED AREA = 0.90 AC

|     |  |
|-----|--|
| SF  | SILT FENCE                             |
| TPF | TREE PROTECTION FENCE                  |
|     | CONSTRUCTION ENTRANCE                  |
|     | INLET PROTECTION                       |
|     | SODDING AND GROUND COVER STABILIZATION |
|     | MULCHING OR MATTING                    |

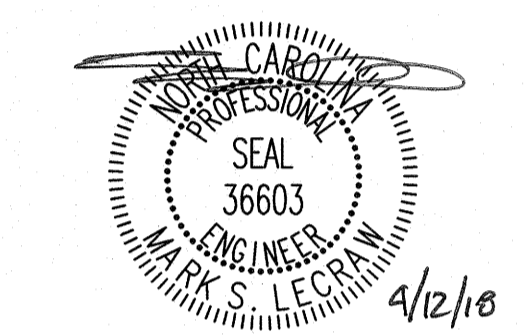


**STARBUCKS COFFEE COMPANY**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

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PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION OR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION 12015.01.19



**LECRAW ENGINEERING**  
3475 CORPORATE WAY, SUITE A  
DULUTH, GEORGIA 30096  
PHONE - 678.546.8100 FAX - 770.441.0298  
WWW.LECRAWENGINEERING.COM C-3545

PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 00568-271-05  
CORNELIUS, WECLENBURG COUNTY, NORTH CAROLINA

|                      |                 |
|----------------------|-----------------|
| STORE #:             | ---             |
| PROJECT #:           | ---             |
| CASEWORK CONCEPT:    | CONCEPT         |
| ISSUE DATE:          | APRIL 12, 2018  |
| DESIGN MANAGER:      | ERIKA ZAKAMAREK |
| LEED® AP:            | XXX             |
| PRODUCTION DESIGNER: | MAT             |
| CHECKED BY:          | MSL             |

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:  
**EROSION CONTROL PLAN - PHASE 3**  
SCALE: AS SHOWN

SHEET NUMBER:  
**C-3.2**



Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR011089 - 03 - SITE.dwg SITE PLAN Apr 12, 2018 3:30pm by: michael.toothaker

LIVERPOOL PARKWAY  
80' PUBLIC RIGHT-OF-WAY  
MB 26, PG 882, MB 24, PG 21 AND MB 23, PG 814

FIRST CITIZENS BANK  
AND TRUST COMPANY  
DB 6469, PG 431  
MB 24, PG 21  
#20310 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-04  
ZONED: "HC"

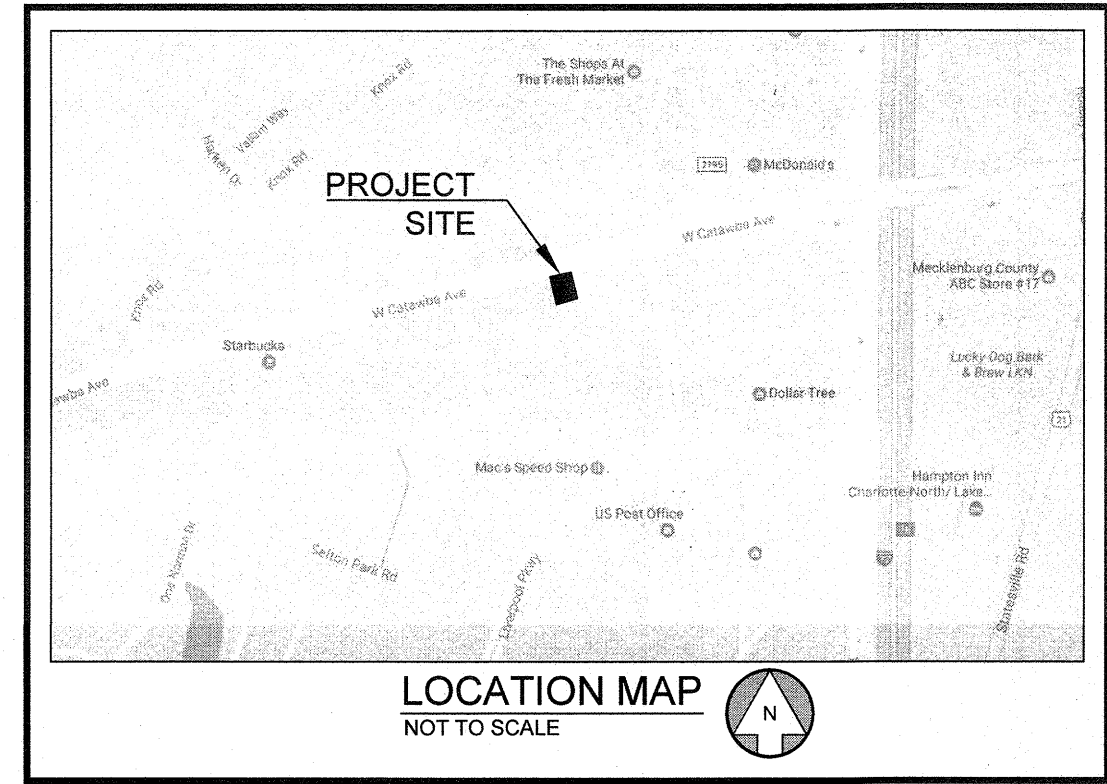
DATT, LLC  
DB 32339, PG 687  
1.080 ACRE, PART OF LIVERPOOL  
MB 26, PG 882  
#19707 LIVERPOOL PARKWAY  
TAX PARCEL: 005-271-12  
ZONED: "HC"

ONE AND HALF  
STORY BRICK  
#19707

JACK E. SHAW  
DB 5816, PG 568  
LOT 3, MB 27, PG 971  
TAX PARCEL: 005-271-10  
ZONED: "HC"

WHITE REAL PROPERTY, L.P.  
DB 10440, PG 063  
#20214 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-02  
ZONED: "HC"

MTLD, INC  
DB 28720, PG 951  
#20220 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-01  
ZONED: "HC"



#### SITE SUMMARY

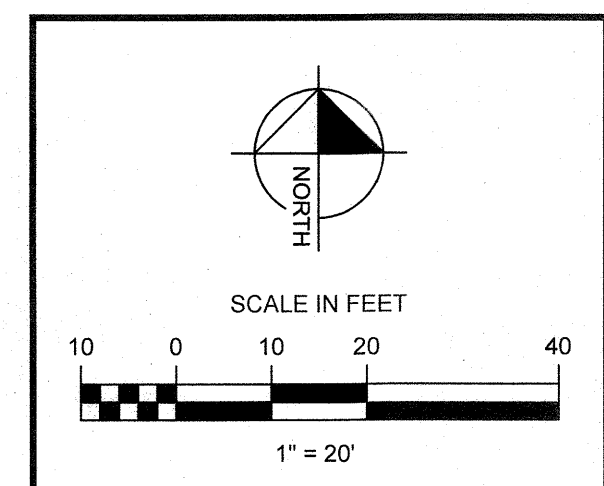
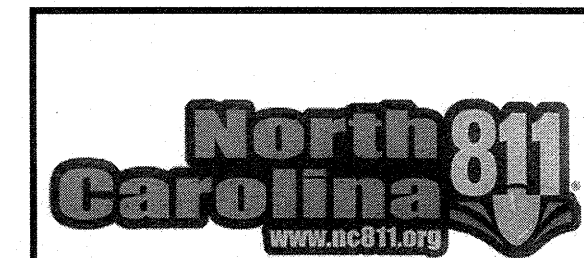
| SITE AREA              |                          |
|------------------------|--------------------------|
| SITE AREA:             | 0.97 ACRES (42,120 S.F.) |
| IMPERVIOUS AREA:       | 27,490 S.F. (65.3%)      |
| PERVIOUS AREA:         | 14,630 S.F. (34.7%)      |
| ZONING CLASSIFICATION  |                          |
| JURISDICTION:          | TOWN OF CORNELIUS        |
| ZONING:                | HIGHWAY COMMERCIAL (HC)  |
| ADJACENT ZONING:       | HIGHWAY COMMERCIAL (HC)  |
| BUILDING SETBACKS      |                          |
| FRONT:                 | 25'                      |
| SIDE:                  | N/A                      |
| REAR:                  | 30'                      |
| BUILDING SUMMARY       |                          |
| BUILDING AREA:         | 3,237 S.F.               |
| PARKING SUMMARY        |                          |
| PARKING REQ.:          | 4 SPACES / 1,000 S.F.    |
|                        | 13 SPACES                |
| PARKING PROV.:         | 8.6 SPACES / 1,000 S.F.  |
|                        | 28 SPACES                |
| MIN. STALL DIMENSIONS: | 9' x 19'                 |
| MIN. DRIVE WIDTH:      | 24'                      |

#### KEY NOTES

|    |  |
|----|--|
| 1  | STOP SIGN (R1-1), SEE SHEET C-7.0 FOR MOUNTING DETAIL                        |
| 2  | DO NOT ENTER SIGN (R5-1), SEE SHEET C-7.0 FOR MOUNTING DETAIL                |
| 3  | VAN ACCESSIBLE PARKING SIGN  |
| 4  | ADA PARKING SIGN, SEE SHEET C-7.0 FOR DETAIL                                 |
| 5  | TYPE '2' ADA RAMP WITH DETECTABLE WARNING, SEE SHEET C-7.1 FOR DETAIL        |
| 6  | PROPOSED RETAINING WALL, DESIGN BY OTHERS                                    |
| 7  | EXISTING LIGHT POLE TO REMAIN, CONTRACTOR TO ADJUST LIGHT POLE AS NECESSARY. |
| 8  | LANDSCAPE AREA, SEE SHEET L-1.0 FOR LANDSCAPE PLANTING DESIGN                |
| 9  | 24" CURB & GUTTER, SEE SHEET C-7.1 FOR DETAIL                                |
| 10 | CONTRACTOR TO TIE INTO AND MATCH EXISTING CURB AND GUTTER.                   |
| 11 | DUMPSTER ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS                 |
| 12 | 5' MIN WIDTH CONCRETE SIDEWALK, SEE SHEET C-7.0 FOR DETAIL                   |
| 13 | STANDARD DUTY PAVEMENT, SEE GEOTECH REPORT FOR DETAILS                       |
| 14 | 12'x20' CONCRETE PAD   |
| 15 | TYPICAL PAVEMENT MARKINGS, SEE SHEET C-7.0 FOR DETAILS                       |
| 16 | HEAVY DUTY ASPHALT PAVEMENT, SEE GEOTECH REPORT FOR DETAILS                  |
| 17 | GUARDRAIL ALONG TOP SIDE OF RETAINING WALL PER NCDOT STANDARDS               |
| 18 | TYPE '18' ADA RAMP WITH DETECTABLE WARNING, SEE SHEET C-7.1 FOR DETAIL       |

#### PERVIOUS AND IMPERVIOUS CALCULATIONS:

|   | PERVIOUS (SF)  | IMPERVIOUS (SF) |
|---|----------------|-----------------|
| EXISTING CONDITION:                         | 13,155 (31.3%) | 28,965 (68.7%)  |
| PROPOSED CONDITION:                         | 14,630 (34.7%) | 27,490 (65.3%)  |
| NET DECREASE OF 1,475 SF OF IMPERVIOUS AREA |                |                 |



#### WEST CATAWBA AVENUE (NC HIGHWAY 73)

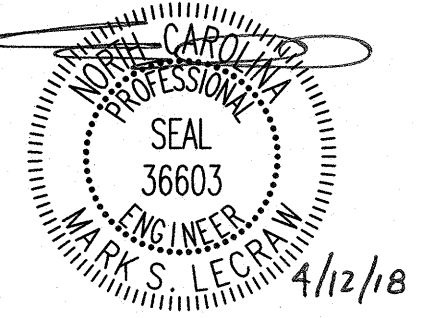
VARIABLE PUBLIC RIGHT-OF-WAY  
NCDOT PROJECT: 34482.2.2  
STATE PROJECT REFERENCE R-2555A  
NCDOT PROJECT: 6 804862  
DB 17754, PG 331  
MB 24, PG 21



STARBUCKS COFFEE  
COMPANY  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
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STARBUCKS TEMPLATE VERSION i2015.01.19



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WWW.LECRAWENGINEERING.COM C-3545

PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #:

PROJECT #:

CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

#### Revision Schedule

| Rev | Date | By | Description |
|-----|------|----|-------------|
|     |      |    |             |
|     |      |    |             |

SHEET TITLE:

SITE PLAN

SCALE: AS SHOWN

SHEET NUMBER:

C-4.0

Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR011089 - 04 - GRADING.dwg GRADING PLAN Apr 12, 2018 3:30pm by: michael.toothaker

LIVERPOOL PARKWAY  
80' PUBLIC RIGHT-OF-WAY  
MB 28, PG 882, MB 24, PG 21 AND MB 23, PG 814

DATT, LLC  
DB 32359, PG 567  
1.060 ACRE, PART OF LIVERPOOL  
MB 28, PG 882  
#19707 LIVERPOOL PARKWAY  
TAX PARCEL: 005-271-12  
ZONED: "HC"

ONE AND HALF  
STORY BRICK  
#19707

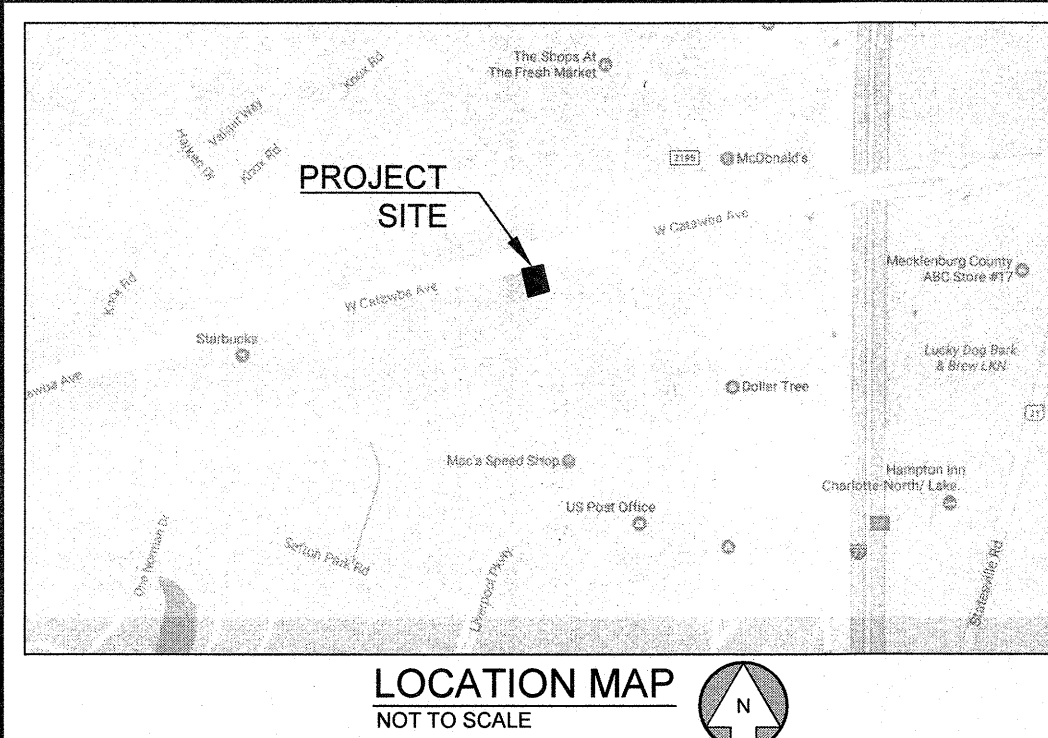
JACK E SHAW  
DB 5918, PG 568  
LOT 3, MB 27, PG 971  
TAX PARCEL: 005-271-10  
ZONED: "HC"

WHITE REAL PROPERTY, L.P.  
DB 10440, PG 063  
#20214 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-02  
ZONED: "HC"

MTLD, INC  
DB 28720, PG 951  
#20220 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-01  
ZONED: "HC"

FIRST CITIZENS BANK  
AND TRUST COMPANY  
DB 6469, PG 431  
PART OF LOT 2, FINAL PLAT OF LIVERPOOL, MAP 1  
MB 24, PG 21  
#20310 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-04  
ZONED: "HC"

STARBUCKS  
#3,237 S.F.  
ONE STORY  
BRICK AND FRAME  
#20300 (PIZZA HUT)  
BUILDING FOOTPRINT:  
3,529 SQ.FT.



#### GENERAL SITE NOTES:

- 1) ALL CRITICAL SPOT GRADES ALONG CURB ARE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- 2) NO SLOPES ARE TO BE STEEPER THAN 2:1.
- 3) ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- 4) ALL TREES TO HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
- 5) TOPOGRAPHIC SURVEY BY JAMES MAUNEY & ASSOCIATES, DATED JANUARY 31, 2018. BENCHMARK IS NOTED ON SURVEY. VERTICAL DATUM IS NAVD88 AND HORIZONTAL DATUM IS NAD83.
- 6) FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 3710464300K, DATED SEPTEMBER 2, 2015.
- 7) EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 8) OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL STORM SEWER ON PRIVATE PROPERTY.
- 9) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
- 10) VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.
- 11) ALL CLEANOUTS LOCATED IN PAVEMENT TO HAVE TRAFFIC RATED LIDS.

STRUCTURE TYPES:  
STGI - NCDOT STD 840.02 & 840.03  
STJB - NCDOT STD 840.31 & 840.32, OR 840.34

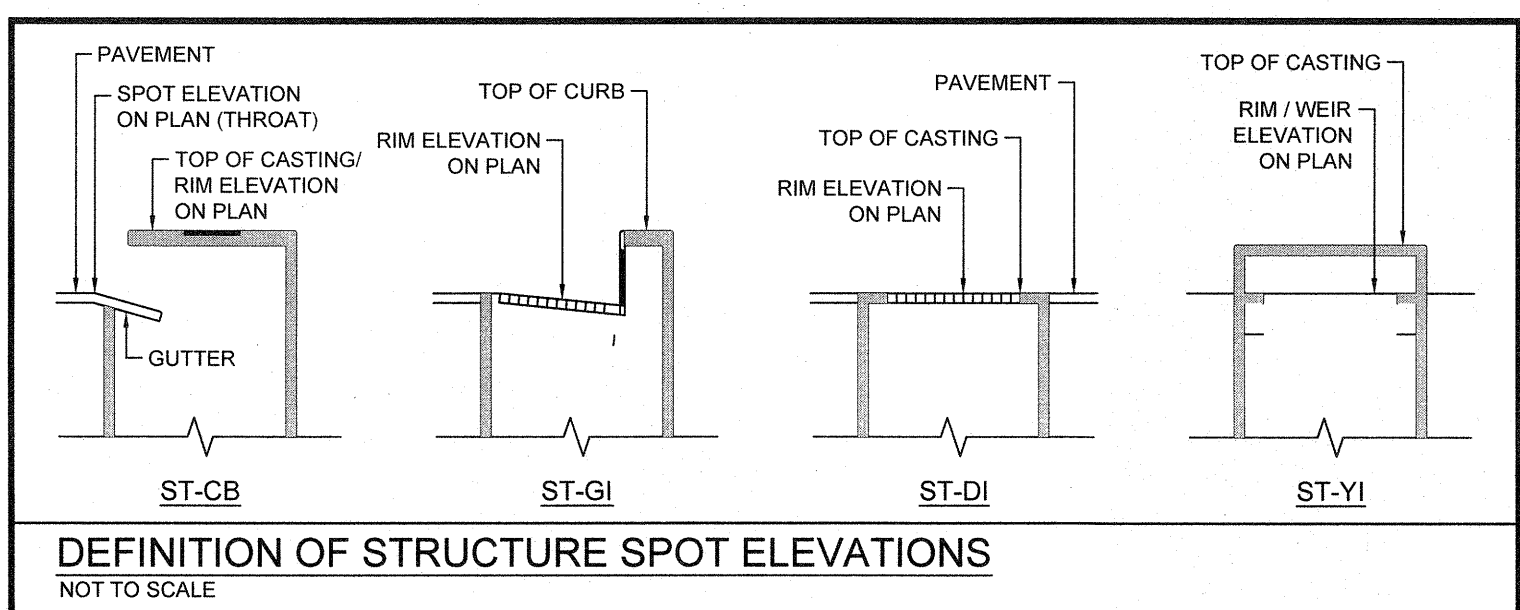
SPOT SHOT LEGEND:  
TRL: TOP OF RAMP  
BR: BOTTOM OF RAMP  
TS: TOP OF SIDEWALK  
HP: HIGH POINT  
TC: TOP OF CURB

#### CAUTION

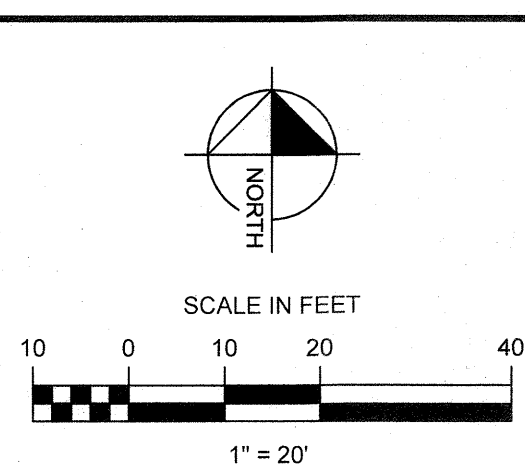
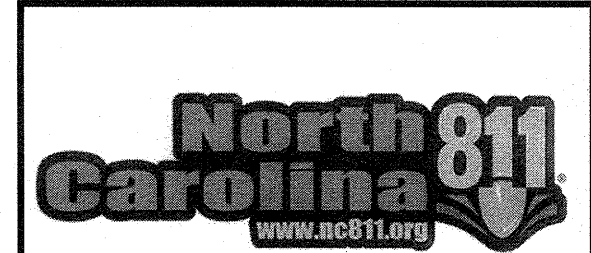
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

#### KEY NOTES

|   |  |
|---|--|
| ① | CONTRACTOR TO TIE INTO AND MATCH EXISTING GRADE        |
| ② | APPROXIMATE RIDGE LINE                                 |
| ③ | 2:1 SLOPE  |
| ④ | PROPOSED RETAINING WALL, DESIGN BY OTHERS.             |
| ⑤ | ADA PARKING AREA, MAXIMUM SLOPE OF 2% IN ANY DIRECTION |



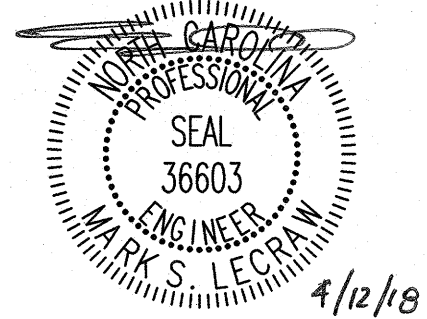
WEST CATAWBA AVENUE (NC HIGHWAY 73)  
VARIABLE PUBLIC RIGHT-OF-WAY  
NCDOT PROJECT: 34462.22  
STATE PROJECT REFERENCE R-2555A  
NCDOT PROJECT: 6.804862  
DB 17754, PG 331  
MB 24, PG 21



STARBUCKS COFFEE  
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SEATTLE, WASHINGTON 98134  
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STARBUCKS TEMPLATE VERSION i2015.01.19



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WWW.LECRAWENGINEERING.COM C-3545

PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #: ---  
PROJECT #: ---  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |
| SHEET TITLE:      |      |    |             |
| GRADING PLAN      |      |    |             |
| SCALE: AS SHOWN   |      |    |             |
| SHEET NUMBER:     |      |    |             |
| C-5.0             |      |    |             |

LIVERPOOL PARKWAY  
90' PUBLIC RIGHT-OF-WAY  
MB 26, PG 802, MB 24, PG 21 AND MB 23, PG 814

FIRST CITIZENS BANK  
AND TRUST COMPANY  
DB 6469, PG 431  
PART OF LOT 2, FINAL PLAT OF LIVERPOOL, MAP II  
MB 24, PG 21  
#20310 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-04  
ZONED: "HC"

DATT, LLC  
DB 5819, PG 567  
1.080 ACRE, PART OF LIVERPOOL  
MB 28, PG 862  
#19707 LIVERPOOL PARKWAY  
TAX PARCEL: 005-271-12  
ZONED: "HC"

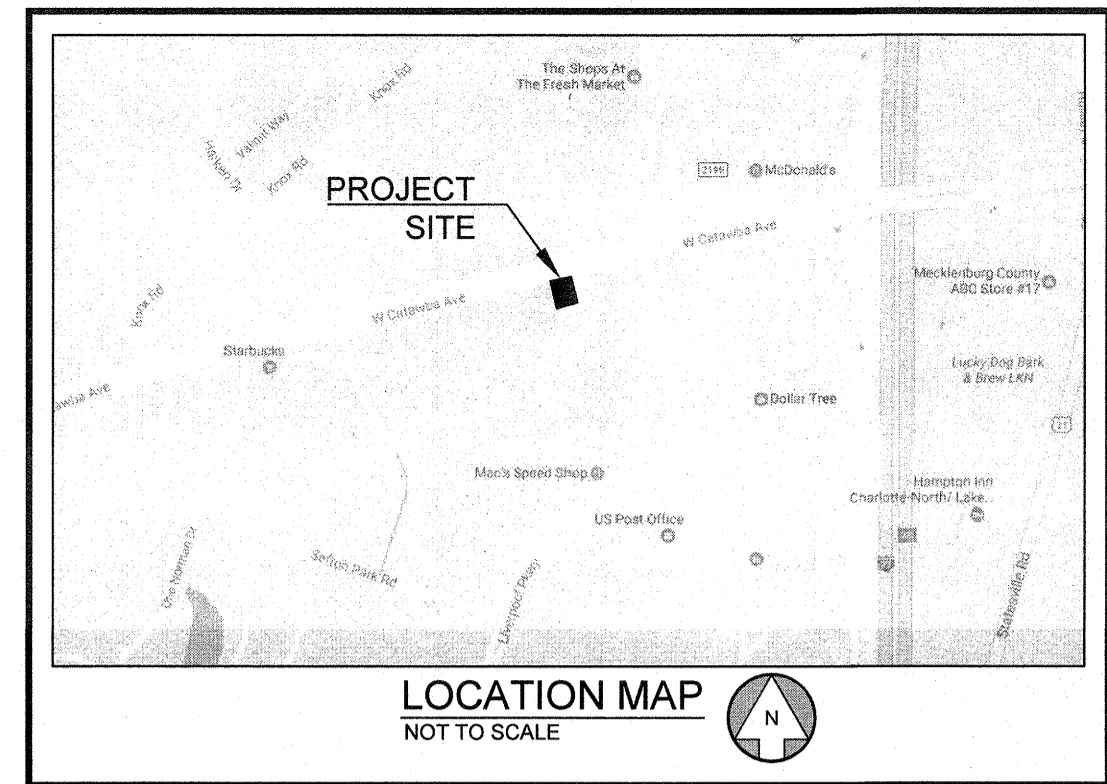
JACK E SHAW  
DB 5819, PG 568  
LOT 3, MB 27, PG 971  
TAX PARCEL: 005-271-10  
ZONED: "HC"

WHITE REAL PROPERTY, L.P.  
DB 10440, PG 063  
#20214 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-02  
ZONED: "HC"

MTLD, INC  
DB 28720, PG 951  
#20220 WEST CATAWBA AVENUE  
TAX PARCEL: 005-271-01  
ZONED: "HC"

STARBUCKS  
±3,237 S.F.

CONTRACTOR TO INSPECT EXISTING  
GREASE TRAPS. GREASE TRAPS TO  
REMAIN IF THEY ARE IN GOOD CONDITION.  
CONTRACTOR TO REMOVE AND REPLACE  
IN THE SAME LOCATION IF THEY ARE NOT  
IN GOOD CONDITION.



#### GENERAL UTILITY NOTES:

- 1.) CONTRACTOR TO NOTIFY OWNER/DEVELOPER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS DIFFER FROM DESIGN ASSUMPTIONS.
- 2.) LOCATION OF UNDERGROUND UTILITIES SHOWN IS BASED ON A SURVEY BY JAMES MAUNEY & ASSOCIATES, DATED JANUARY 31, 2018. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 3.) MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES.
- 4.) REFER TO ARCH/MEP PLANS FOR ON SITE UTILITY CONDUITS FOR SITE LIGHTING, ETC. AND UTILITY ENTRY AND EXIT LOCATIONS
- 5.) VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.

#### NOTE:

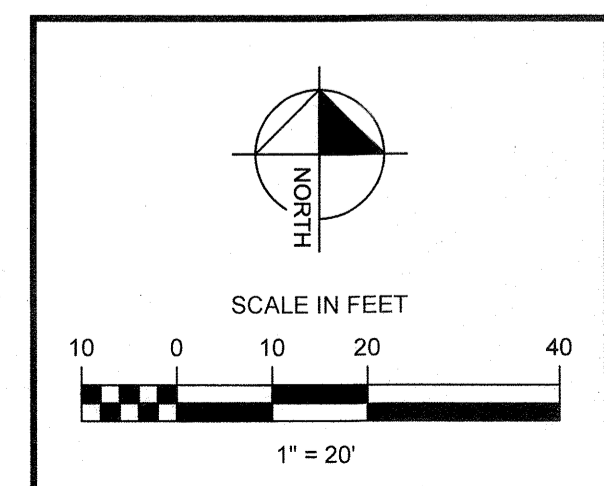
ALL EXISTING UTILITY SERVICES TO REMAIN, UNLESS ANY ARE FOUND TO BE INADEQUATE.

#### NOTE:

ALL WASTEWATER LINES AND LATERALS WITH LESS THAN ONE-FOOT OF CLEARANCE TO ANOTHER UTILITY LINE SHALL BE CONSTRUCTED WITH A CONCRETE SADDLE TO MAINTAIN SEPARATION.

#### CAUTION

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WEST CATAWBA AVENUE (NC HIGHWAY 73)

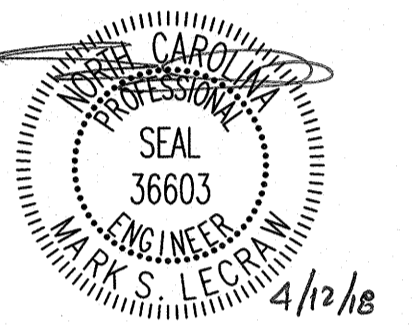
VARIABLE PUBLIC RIGHT-OF-WAY  
NCDOT PROJECT: 34462.2.2  
STATE PROJECT REFERENCE: R-2555A  
NCDOT PROJECT: 6 804862  
DB 17754, PG 331  
MB 24, PG 21



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COMPANY  
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STARBUCKS TEMPLATE VERSION i2015.01.19



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WWW.LECRAWENGINEERING.COM C-3545

PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #:

PROJECT #:

CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSJ

#### Revision Schedule

| Rev | Date | By | Description |
|-----|------|----|-------------|
|     |      |    |             |
|     |      |    |             |

SHEET TITLE:

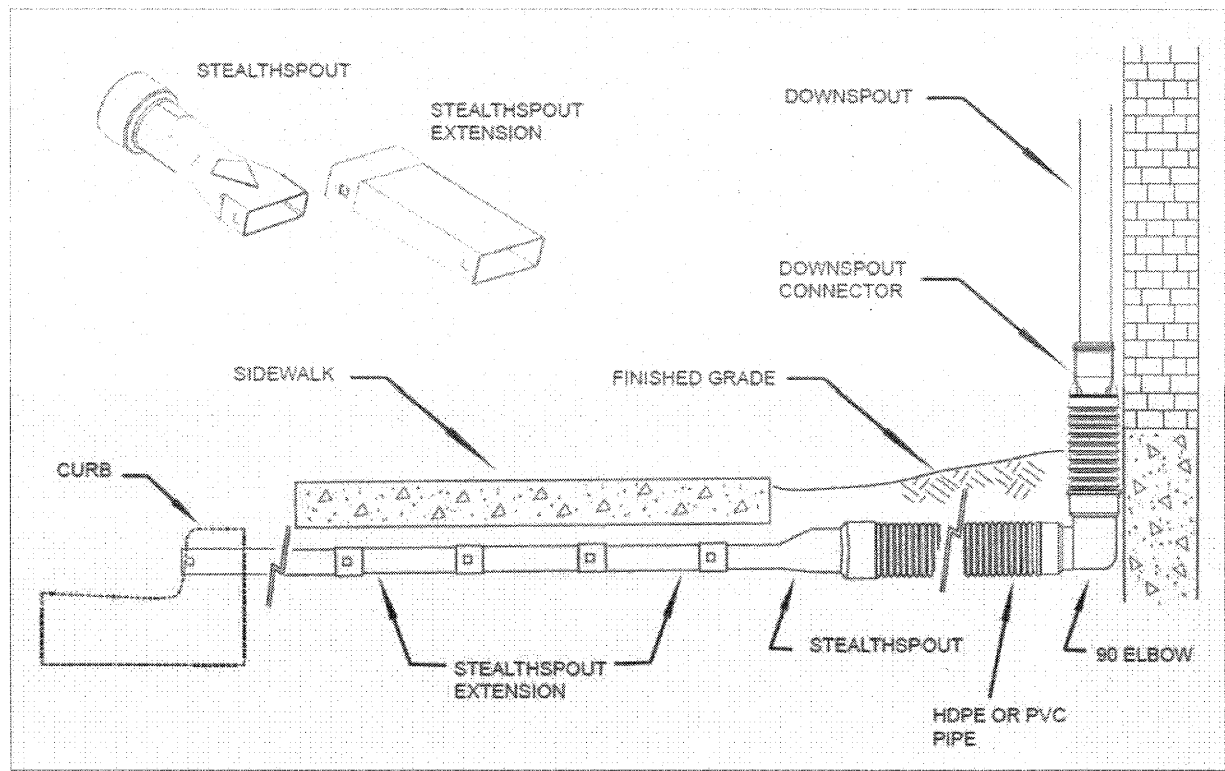
UTILITY PLAN

SCALE: AS SHOWN

SHEET NUMBER:

C-6.0

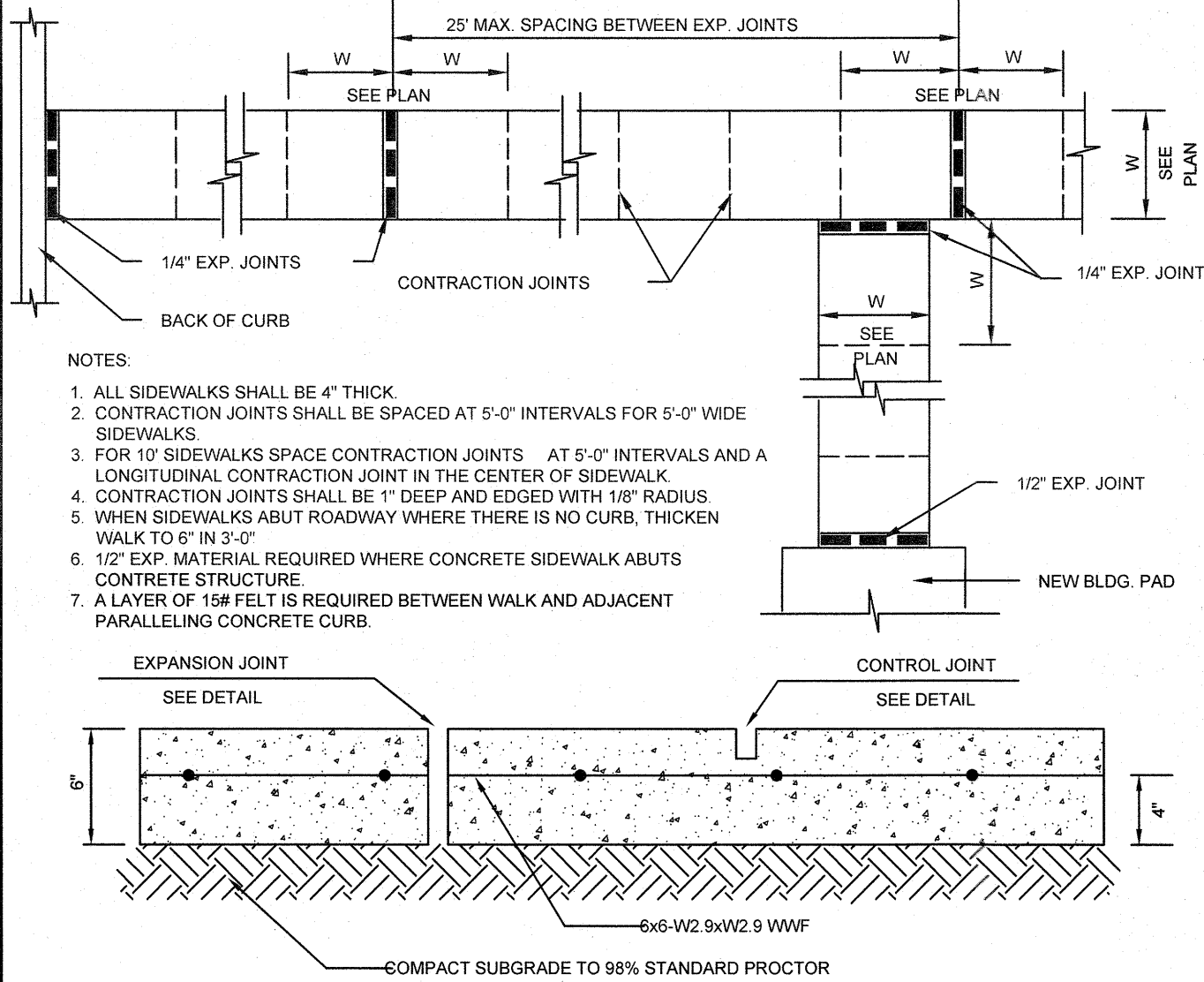
Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR01\1089 - 10 - DETAILS.dwg CONSTRUCTION DETAILS - 1 Apr 12, 2018 3:30pm by: michael.toothaker



DOWNSPOUT CONNECTION DETAIL

NOT TO SCALE

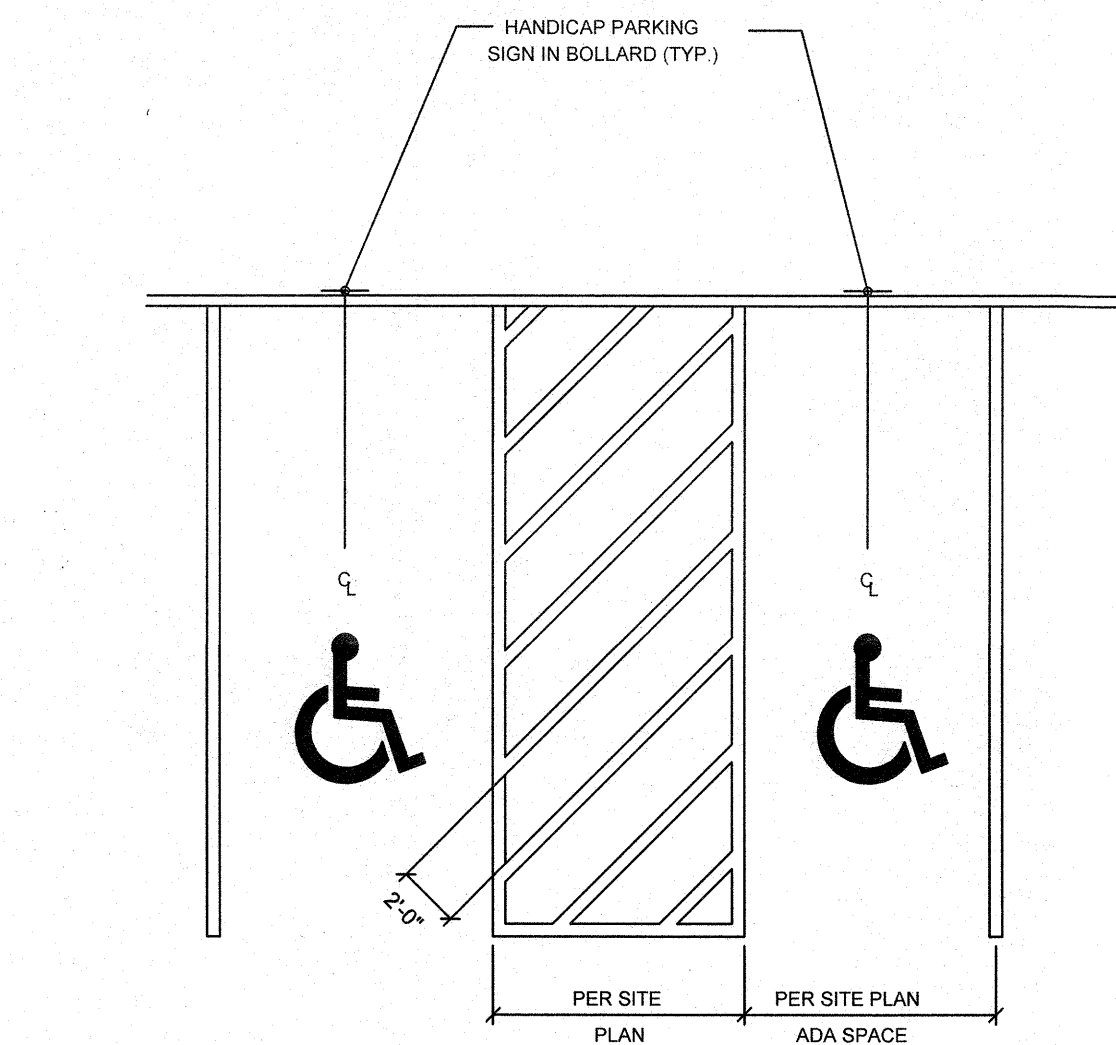
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SIDEWALK DETAIL

NOT TO SCALE

2



ADA PARKING LAYOUT DETAIL

NOT TO SCALE

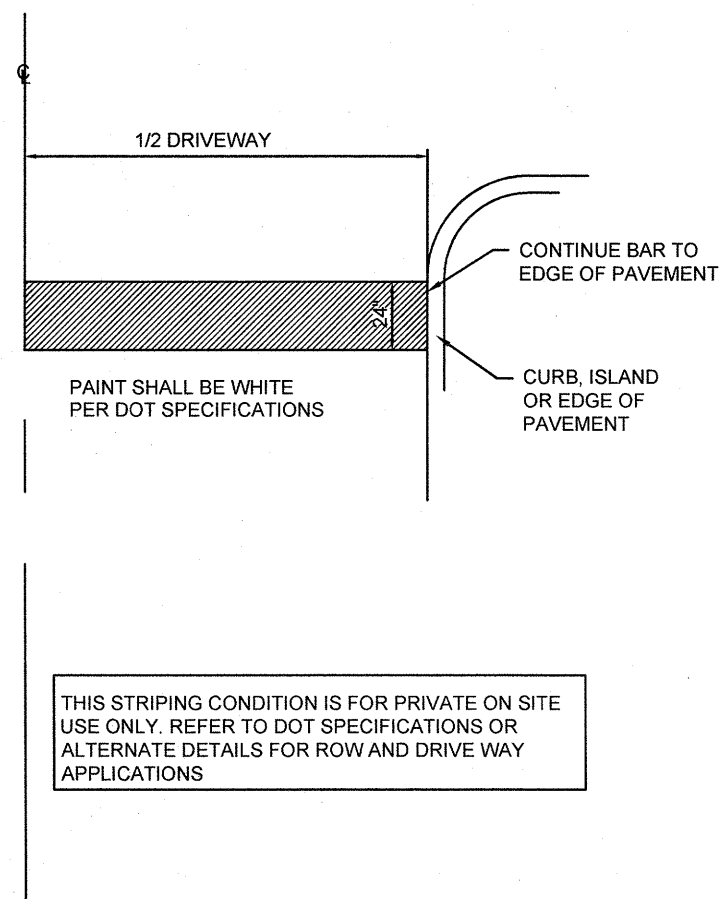
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NC ADA PARKING SIGN DETAIL

NOT TO SCALE

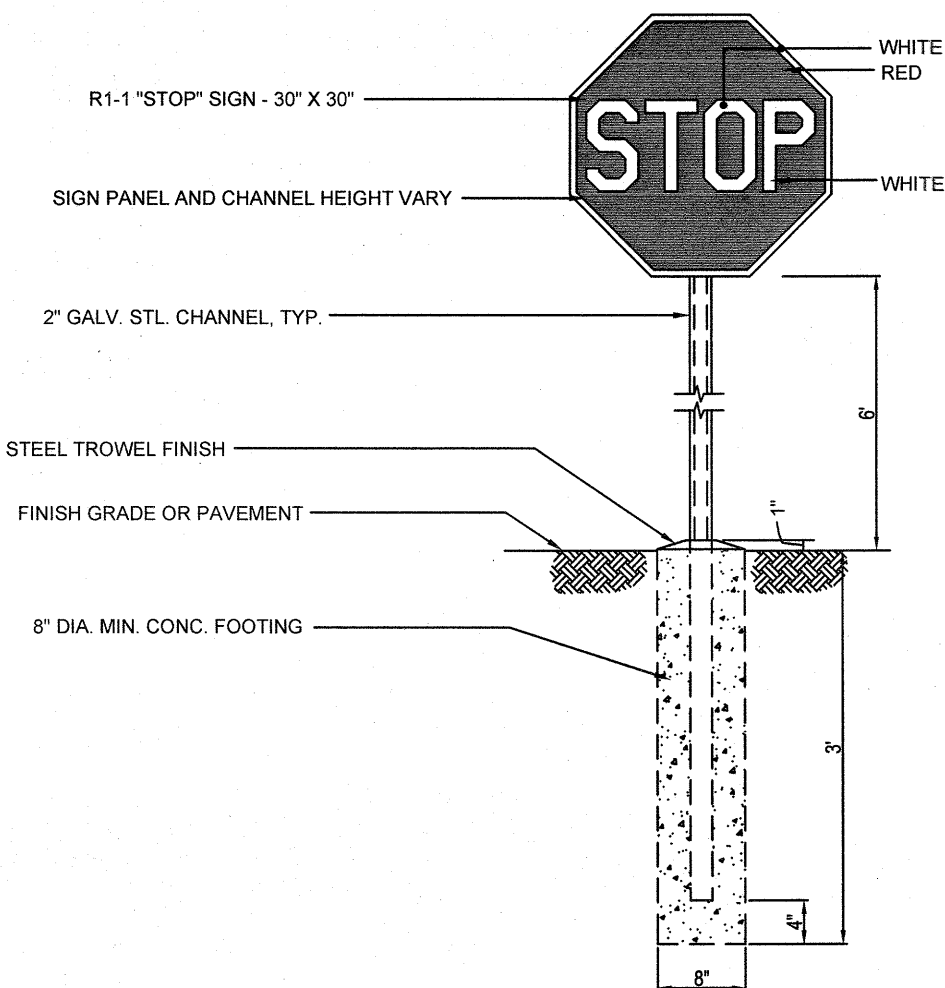
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STOP BAR DETAIL

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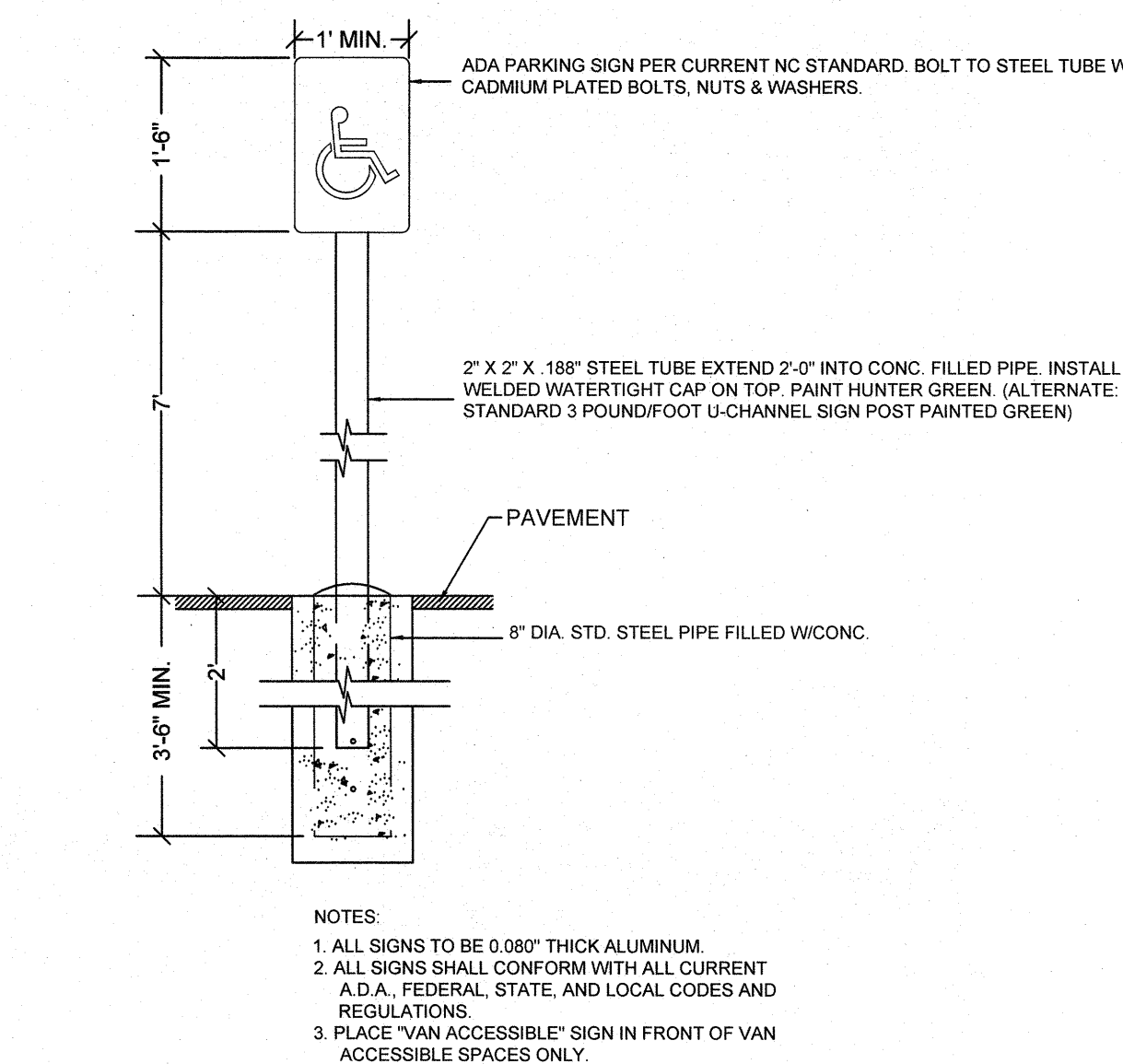
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TRAFFIC SIGN MOUNTING DETAIL

NOT TO SCALE

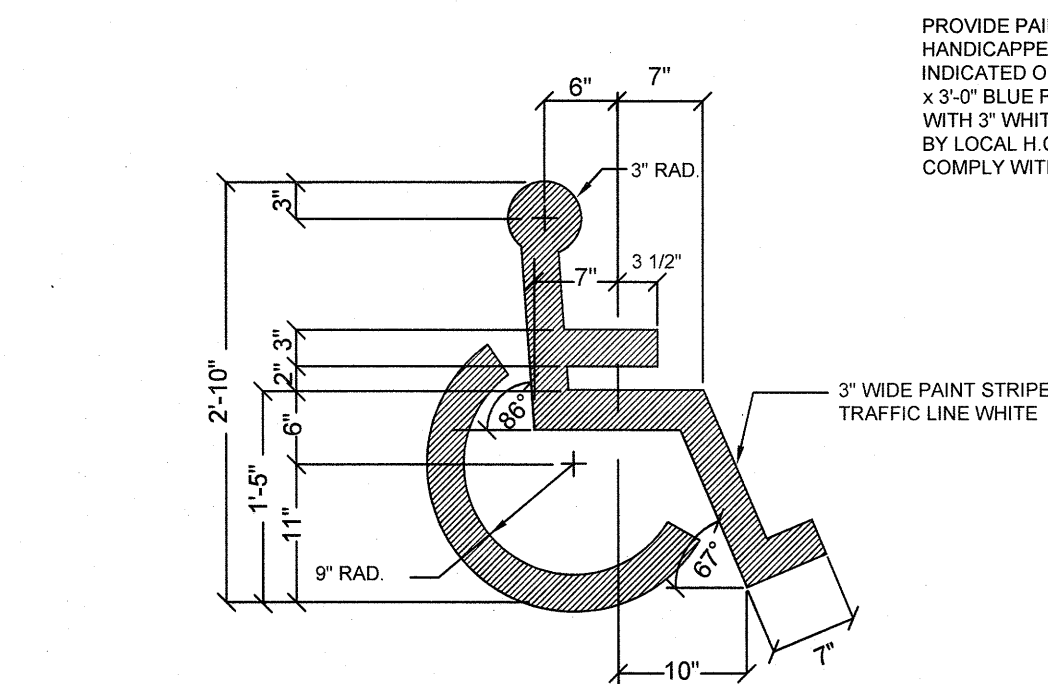
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ADA SIGN MOUNTING DETAIL

NOT TO SCALE

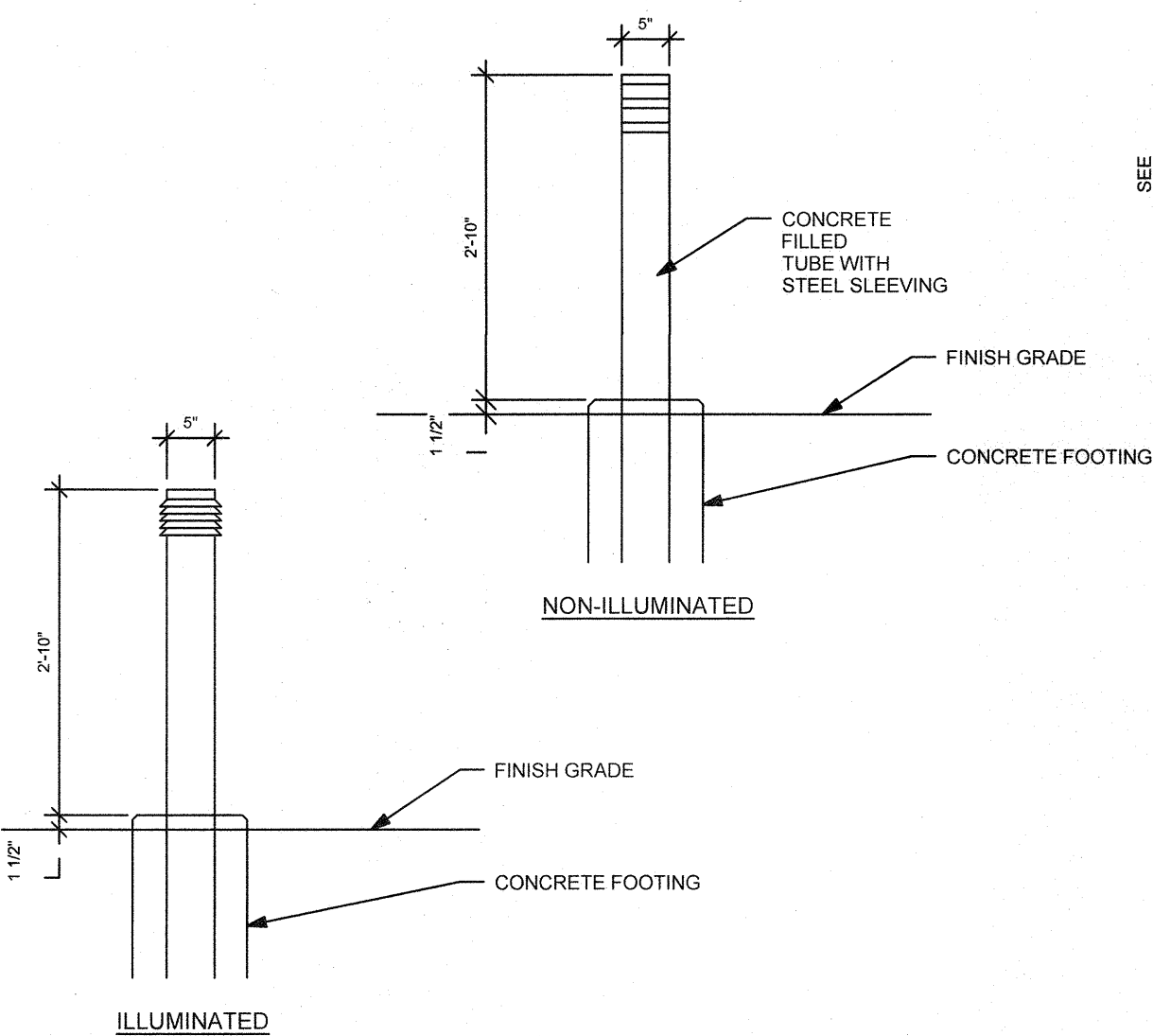
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ADA PARKING SYMBOL DETAIL

NOT TO SCALE

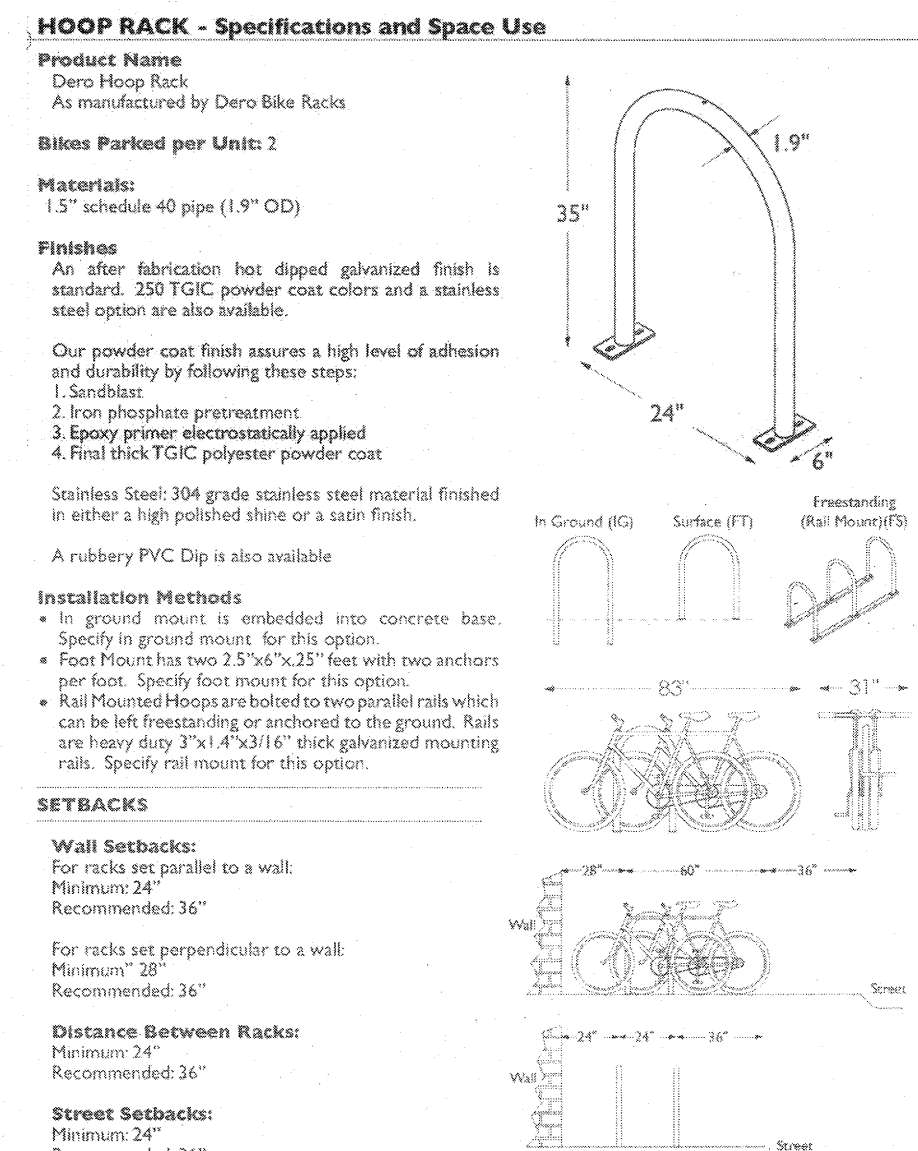
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BOLLARD DETAILS

NOT TO SCALE

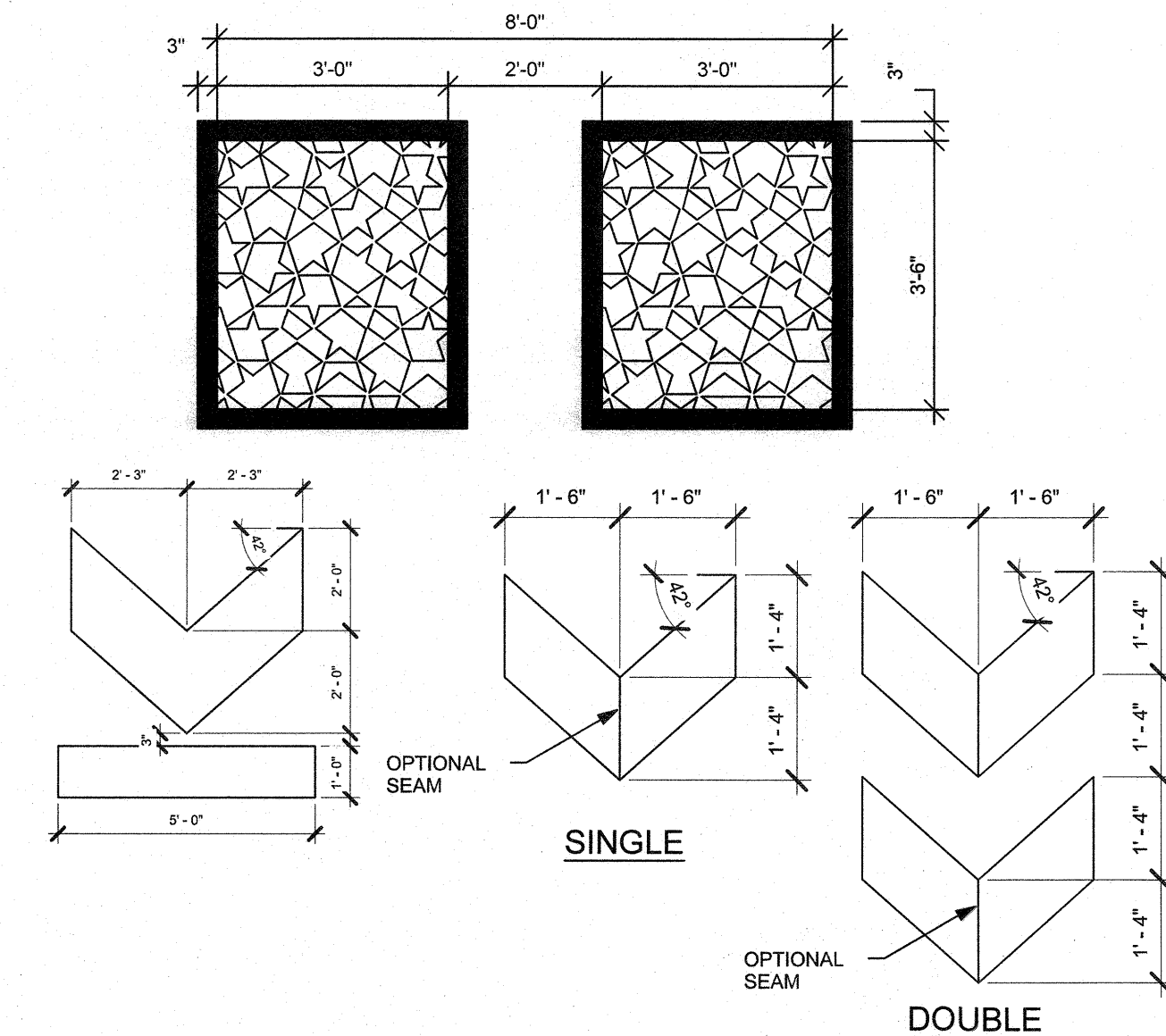
9



BIKE RACK DETAIL

NOT TO SCALE

10



STARBUCKS PAVEMENT MARKING DETAILS

NOT TO SCALE

11

DETAIL

NOT TO SCALE

12



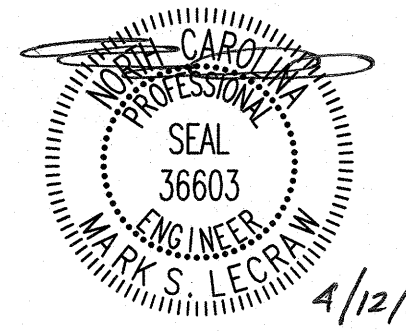
STARBUCKS COFFEE

COMPANY

2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

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STARBUCKS TEMPLATE VERSION |2015.01.19



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PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #: ---  
PROJECT #: ---  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:  
CONSTRUCTION  
DETAILS - 1  
SCALE: AS SHOWN

SHEET NUMBER:  
C-7.0

|   |                              |   |   |                              |   |
|---|------------------------------|---|---|------------------------------|---|
| 1 | NCDOT DETAIL<br>NOT TO SCALE | <div><div>846.06</div><div>ENGLISH STANDARD DRAWING FOR<br/>CURB RAMP<br/>EXISTING CURB AND GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> <div><div>846.06</div><div>ENGLISH STANDARD DRAWING FOR<br/>CURB RAMP<br/>EXISTING CURB AND GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div>                   | 4 | NCDOT DETAIL<br>NOT TO SCALE | <div><div>846.06</div><div>ENGLISH STANDARD DRAWING FOR<br/>CURB RAMP<br/>EXISTING CURB AND GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> <div><div>846.06</div><div>ENGLISH STANDARD DRAWING FOR<br/>CURB RAMP<br/>EXISTING CURB AND GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div>                   |
|   |                              |   |   |                              |   |
| 5 | NCDOT DETAIL<br>NOT TO SCALE | <div><div>846.01</div><div>ENGLISH STANDARD DRAWING FOR<br/>CONCRETE CURB, GUTTER<br/>AND CURB &amp; GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> <div><div>846.01</div><div>ENGLISH STANDARD DRAWING FOR<br/>CONCRETE CURB, GUTTER<br/>AND CURB &amp; GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> | 6 | NCDOT DETAIL<br>NOT TO SCALE | <div><div>846.01</div><div>ENGLISH STANDARD DRAWING FOR<br/>CONCRETE CURB, GUTTER<br/>AND CURB &amp; GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> <div><div>846.01</div><div>ENGLISH STANDARD DRAWING FOR<br/>CONCRETE CURB, GUTTER<br/>AND CURB &amp; GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> |
|   |                              |   |   |                              |   |
| 7 | NCDOT DETAIL<br>NOT TO SCALE | <div><div>846.01</div><div>ENGLISH STANDARD DRAWING FOR<br/>CONCRETE CURB, GUTTER<br/>AND CURB &amp; GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> <div><div>846.01</div><div>ENGLISH STANDARD DRAWING FOR<br/>CONCRETE CURB, GUTTER<br/>AND CURB &amp; GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> | 8 | DETAIL<br>NOT TO SCALE       | <div><div>846.06</div><div>ENGLISH STANDARD DRAWING FOR<br/>CURB RAMP<br/>EXISTING CURB AND GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div> <div><div>846.06</div><div>ENGLISH STANDARD DRAWING FOR<br/>CURB RAMP<br/>EXISTING CURB AND GUTTER</div><div>1-12</div><div>STATE OF NORTH CAROLINA<br/>DEPT. OF TRANSPORTATION<br/>DIVISION OF HIGHWAYS<br/>RALEIGH, N.C.</div></div>                   |
|   |                              |   |   |                              |   |



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PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

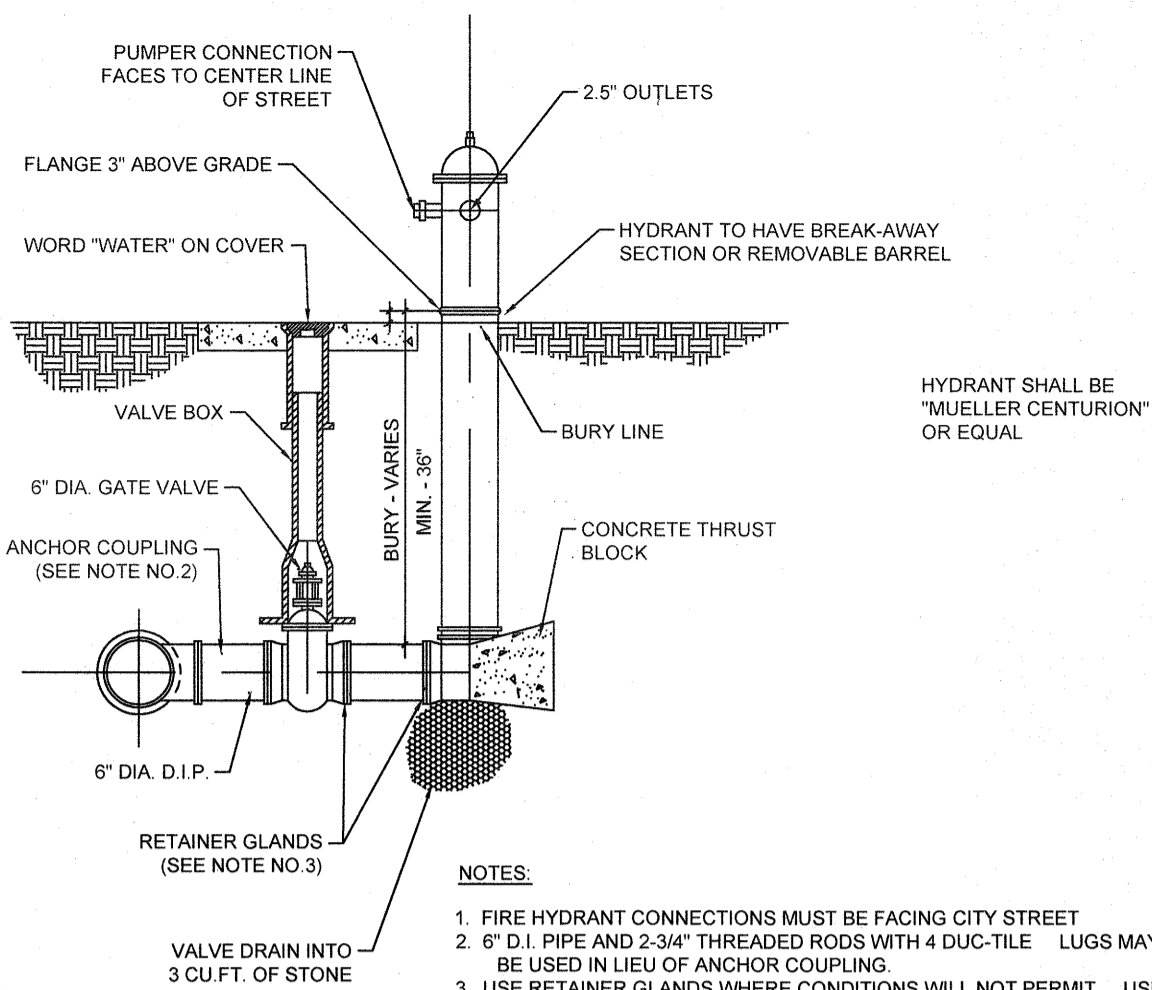
PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0058-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #:  
PROJECT #:  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |
|                   |      |    |             |

SHEET TITLE:  
CONSTRUCTION DETAILS - 2  
SCALE: AS SHOWN  
SHEET NUMBER:  
C-7.1

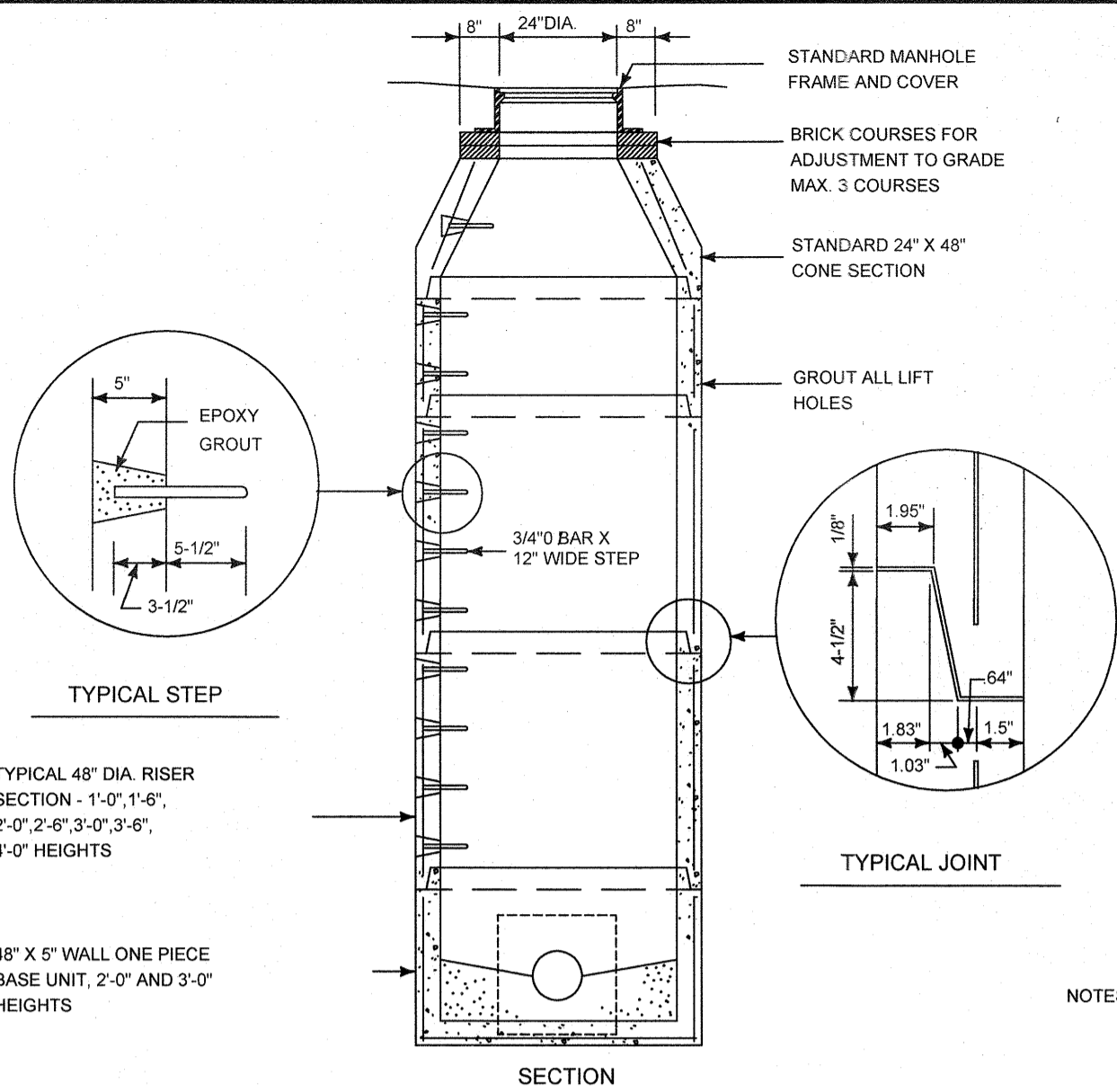
Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR01\1089 - 10 - DETAILS.dwg CONSTRUCTION DETAILS - 3 Apr 12, 2018 3:31pm by: michael.toothaker



FIRE HYDRANT DETAIL

NOT TO SCALE

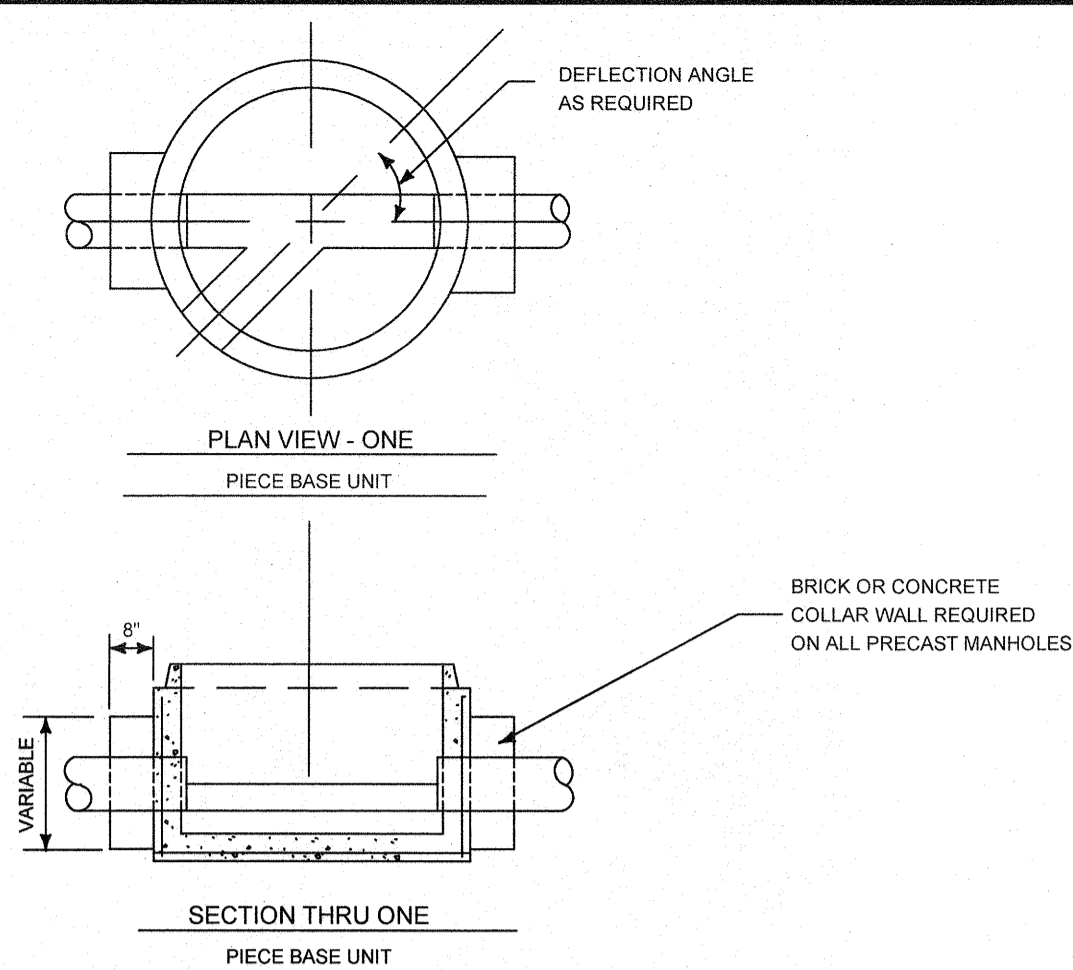
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PRECAST MANHOLE DETAIL

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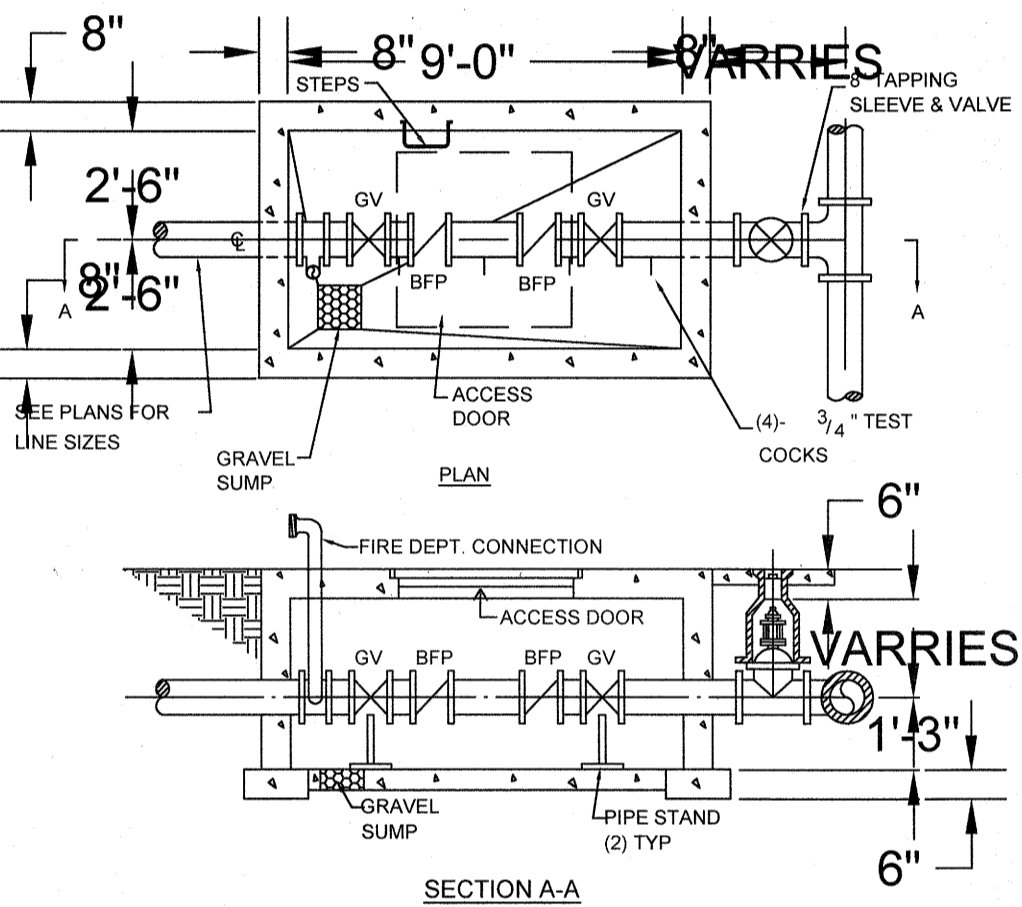
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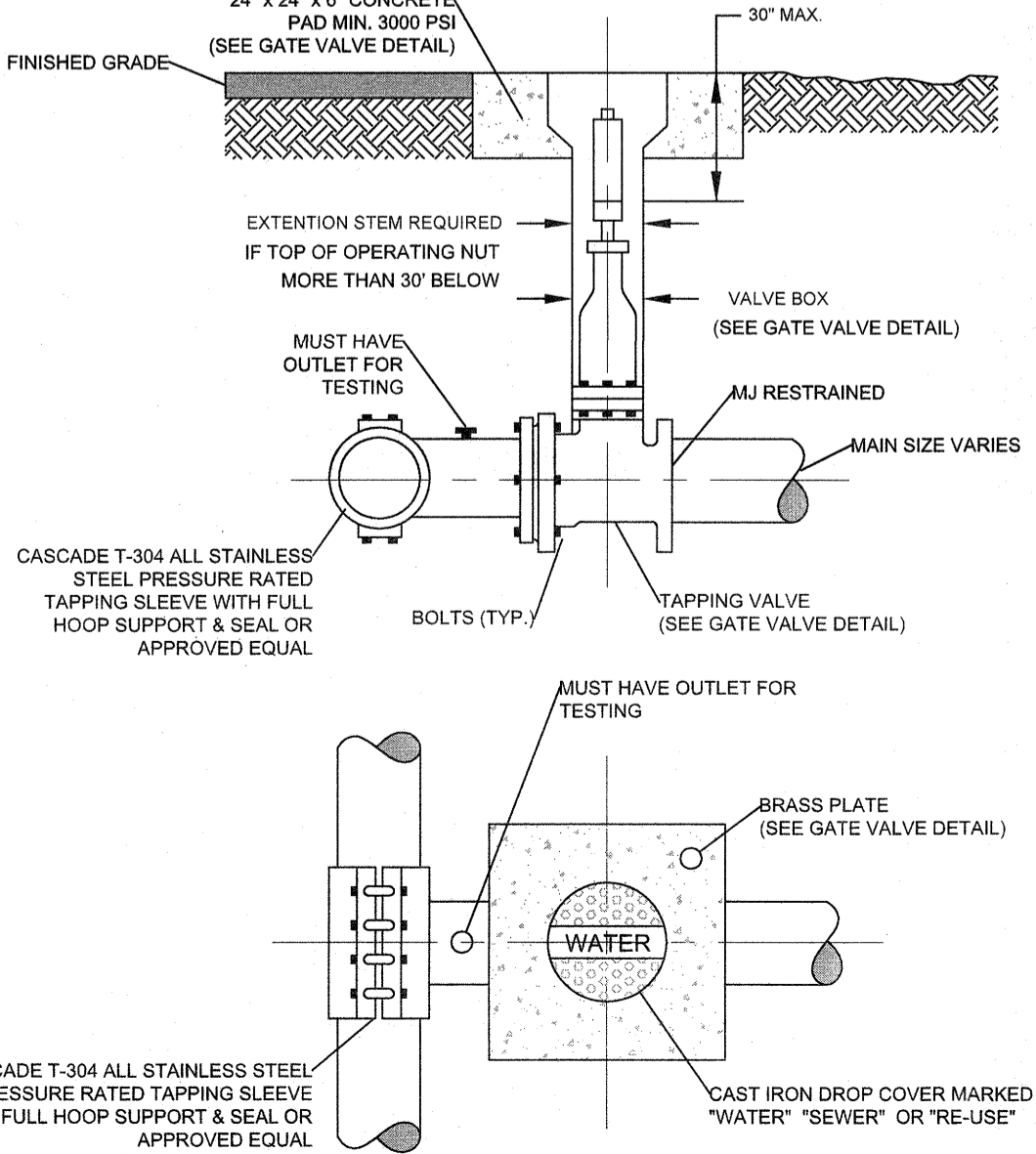
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DOUBLE CHECK BACKFLOW PREVENTER DETAIL

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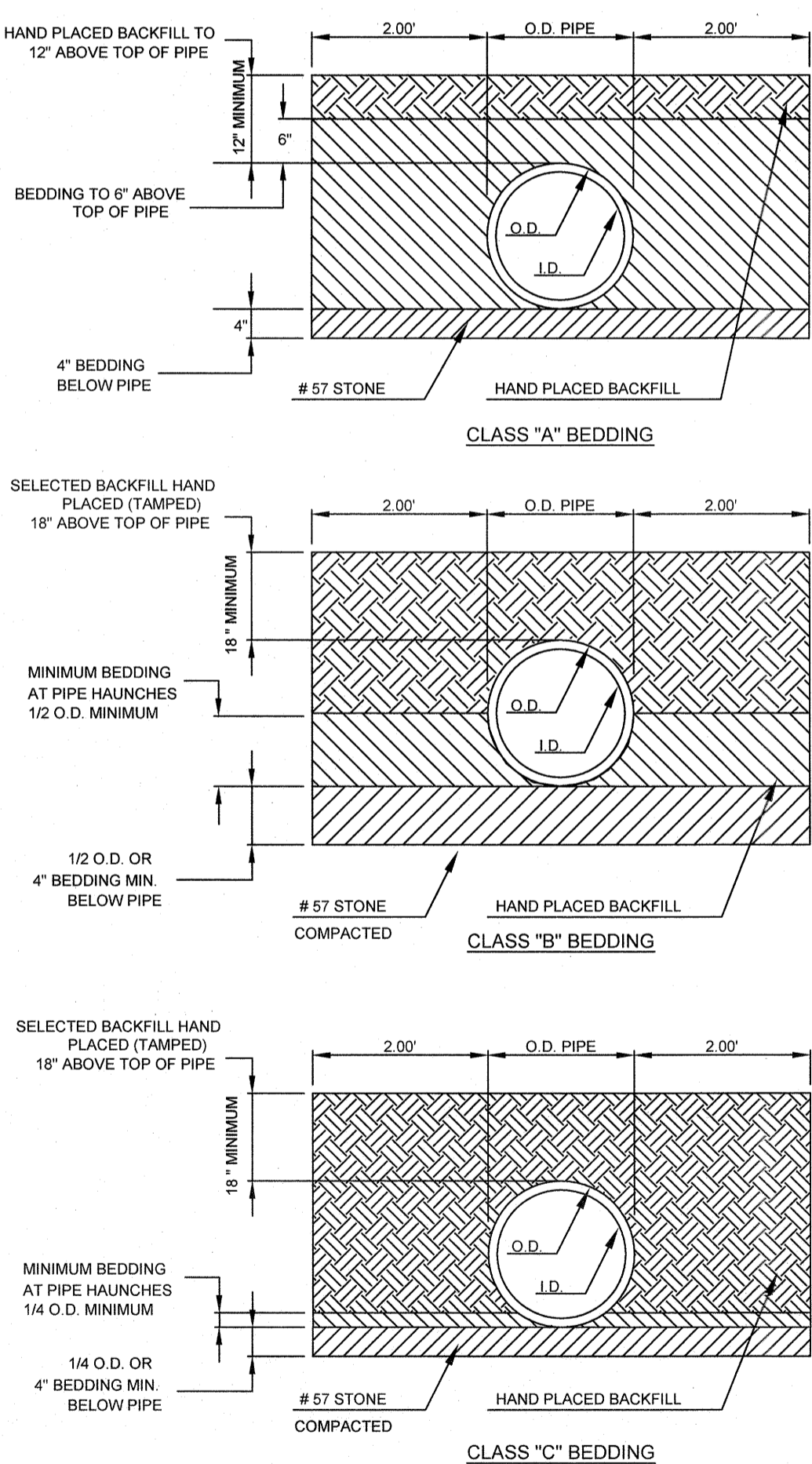
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TAPPING SLEEVE & VALVE DETAIL

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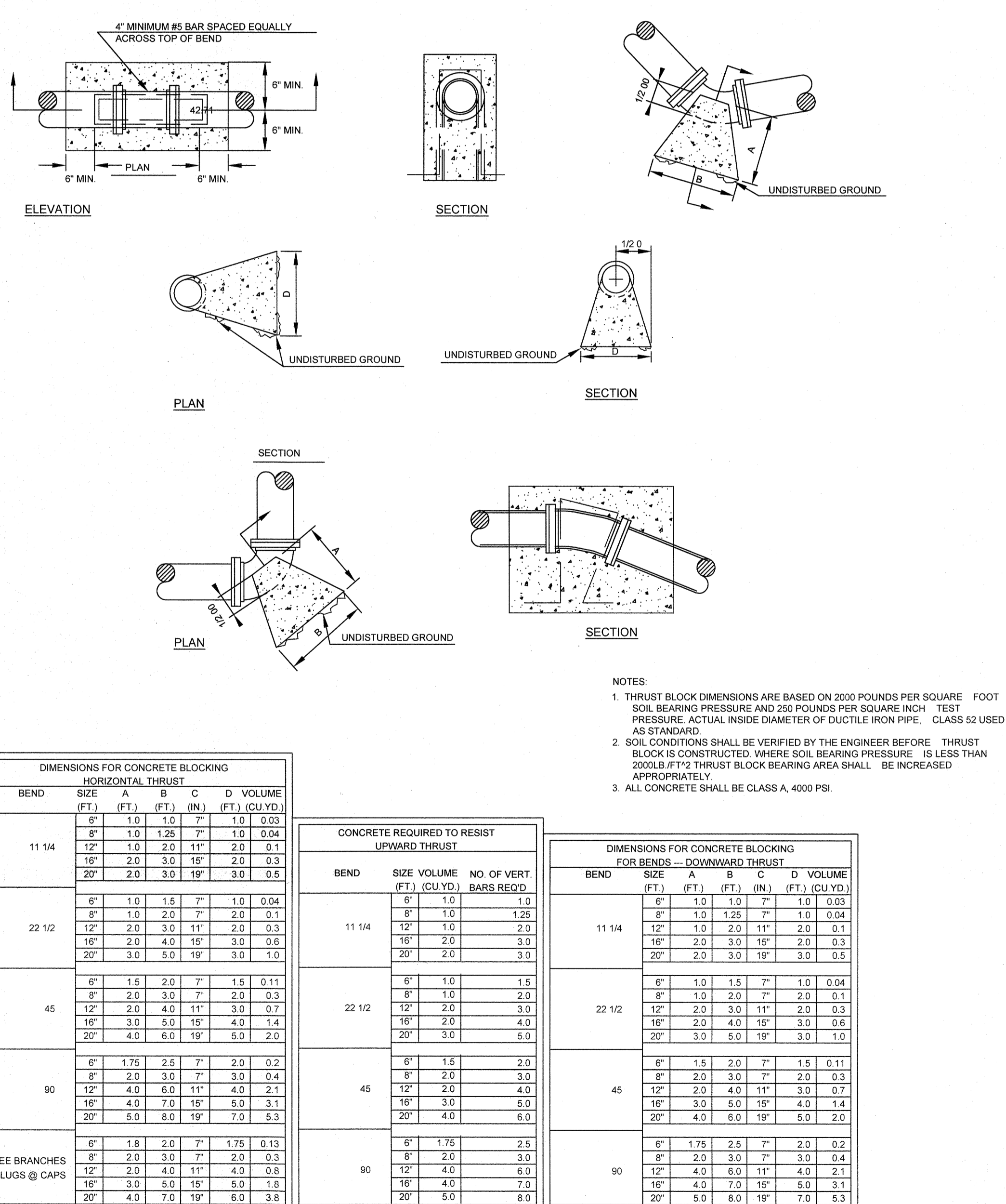
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PIPE BEDDING DETAIL

NOT TO SCALE

4



THRUST BLOCK DETAIL

NOT TO SCALE

1



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PROJECT NAME:  
STARBUCKS - CORNELIUS, NC

PROJECT ADDRESS:  
20300 WEST CATAWBA AVENUE  
PARCEL 0068-271-05  
CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

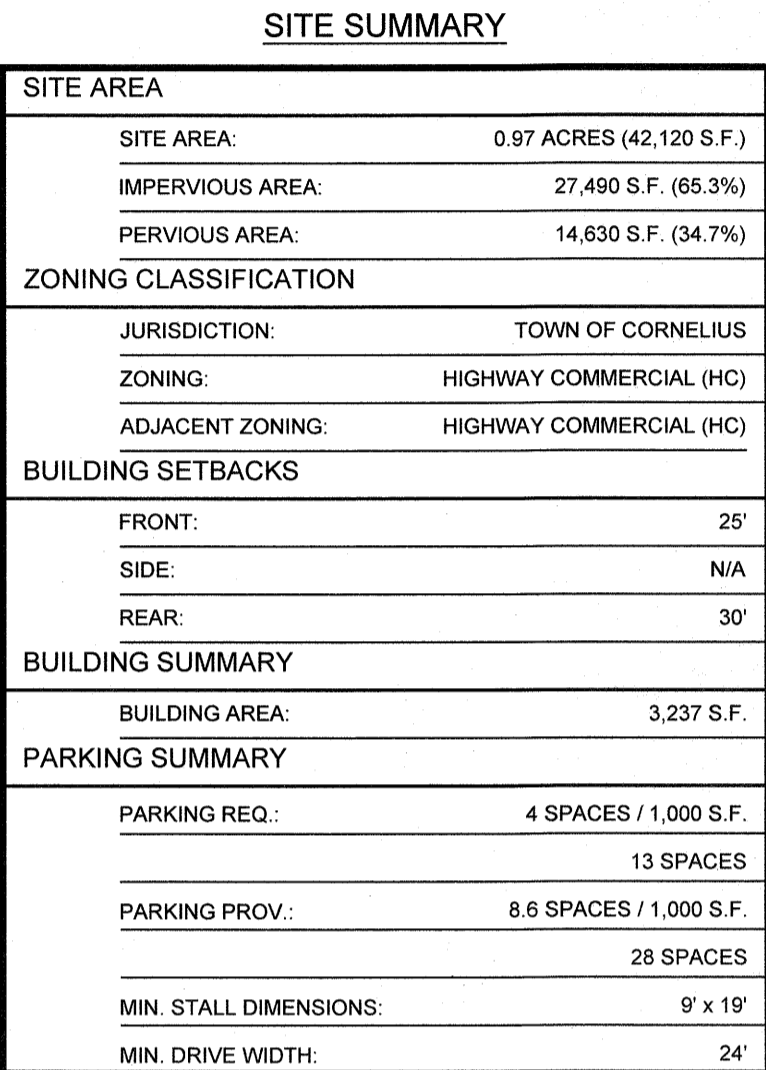
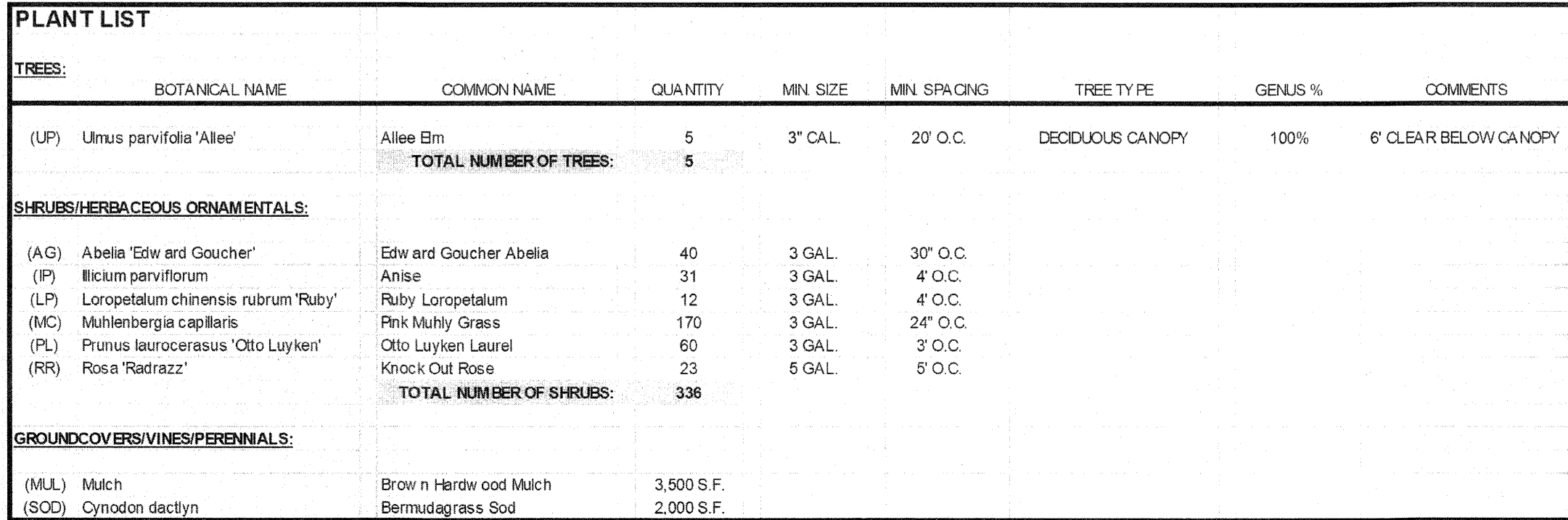
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PROJECT #: ---  
CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

| Revision Schedule |      |    |             |
|-------------------|------|----|-------------|
| Rev               | Date | By | Description |
|                   |      |    |             |


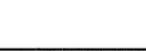
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CONSTRUCTION  
DETAILS - 3

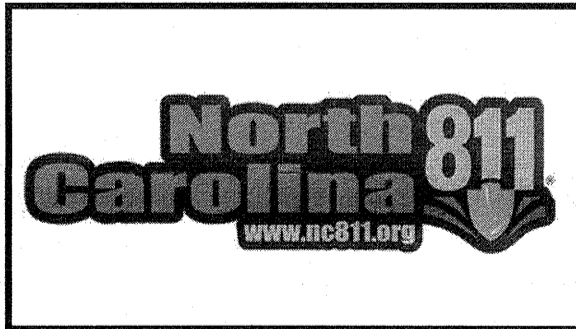
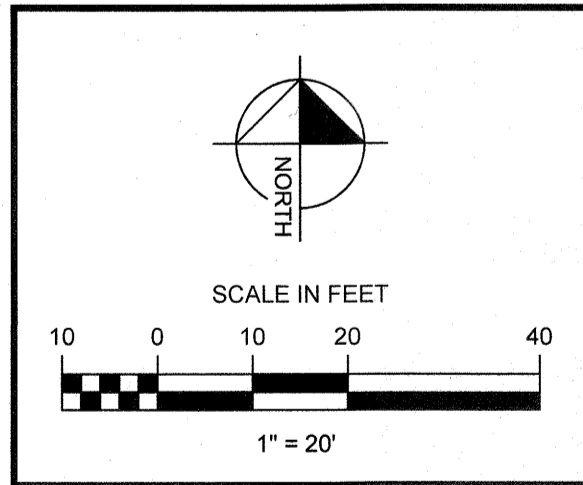
SCALE: AS SHOWN

SHEET NUMBER:  
C-7.2



## HATCH LEGEND

|   |                           |
|---|---------------------------|
|  | <p><b>SOD / GRASS</b></p> |
|  | <p><b>MULCH</b></p>       |

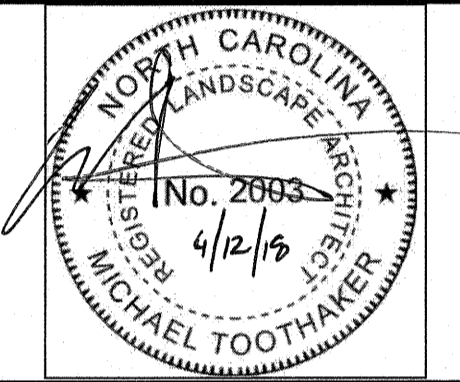


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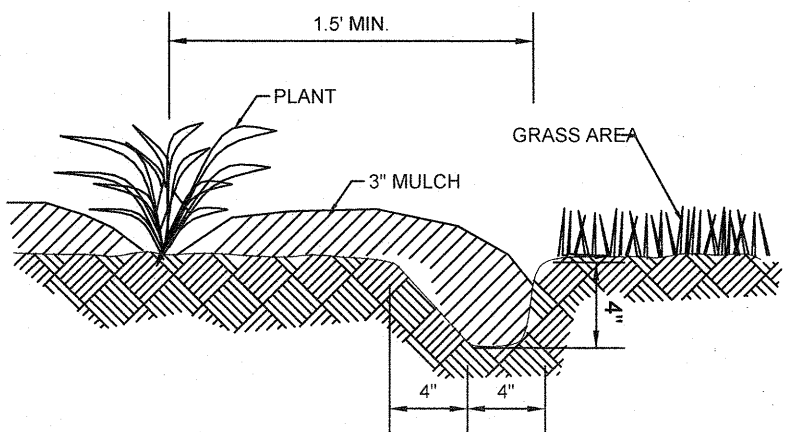
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CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

STORE #: ---  
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CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

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| Rev               | Date | By | Description |
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| SHEET TITLE:    |  |
| LANDSCAPE PLAN  |  |
| SCALE: AS SHOWN |  |
| SHEET NUMBER:   |  |
| L-1.0           |  |

Drawing name: L:\011089 - Starbucks - Cornelius (Lake Norman)\_NC\CADD\CONSTR011089 - 11 - LANDSCAPE.dwg LANDSCAPE DETAILS Apr 12, 2018 3:31pm by: michael.toothaker

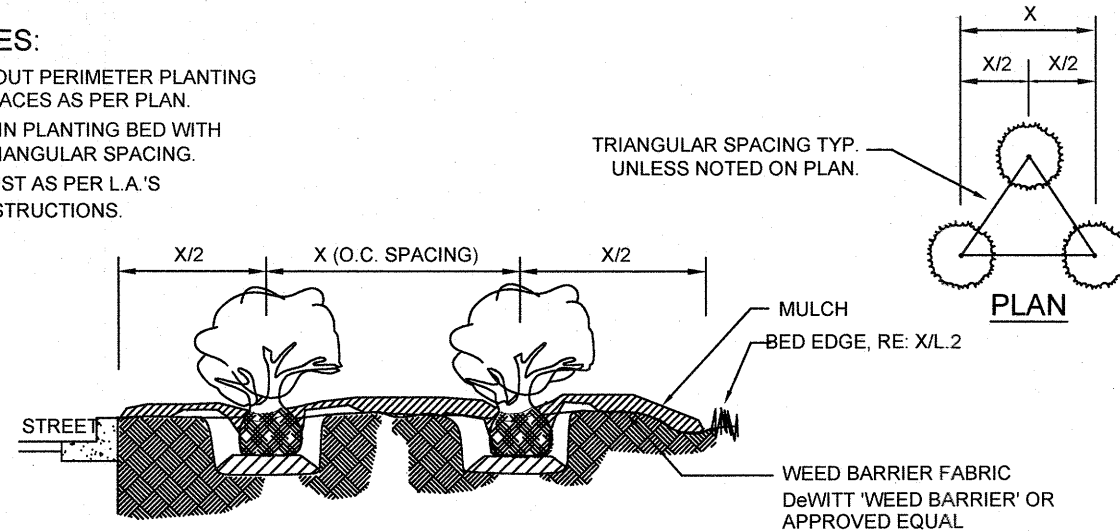


#### PLANT BED EDGING DETAIL

NOT TO SCALE

##### NOTES:

- LAYOUT PERIMETER PLANTING SPACES AS PER PLAN
- FILL IN PLANTING BED WITH TRIANGULAR SPACING.
- ADJUST AS PER L.A.'S INSTRUCTIONS.

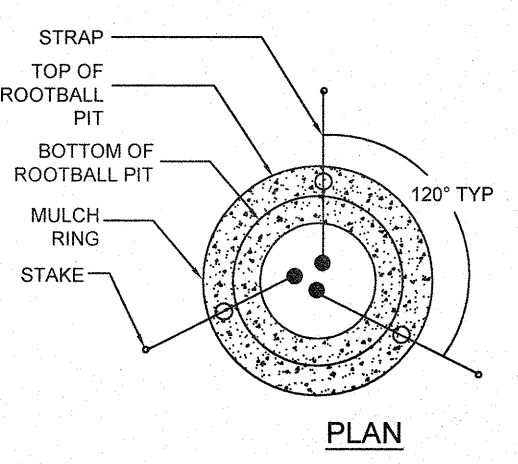


#### SHRUB & GROUNDCOVER BED DETAIL

NOT TO SCALE

##### NOTE:

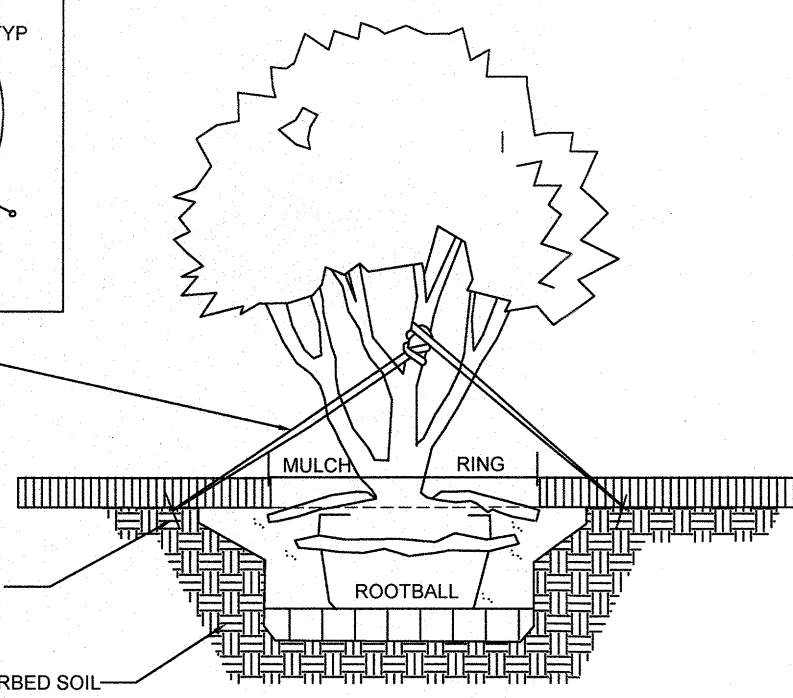
- ATTACH GUYS TO THE CENTRAL LARGEST TRUNK
- SPACE STAKES EVENLY AROUND ROOTBALL PIT SUCH THAT WIRES DO NOT COME IN CONTACT WITH ANY TRUNK OR BRANCH.



STRAPS: WIDE, SOFT, FLEXIBLE MATERIAL MANUFACTURED FOR THE PURPOSE OF TREE ANCHORING SUCH AS WOVEN POLYPROPYLENE WEBBING OR RUBBER STRIPS WITH GROMMETS FOR WIRE ATTACHMENT. DO NOT USE HOSE AND WIRE.

##### PLANTING PROCEDURE:

- EXCAVATE ROOTBALL PIT.
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE.
- BACKFILL W/ISOIL MIX & "WATER IN"

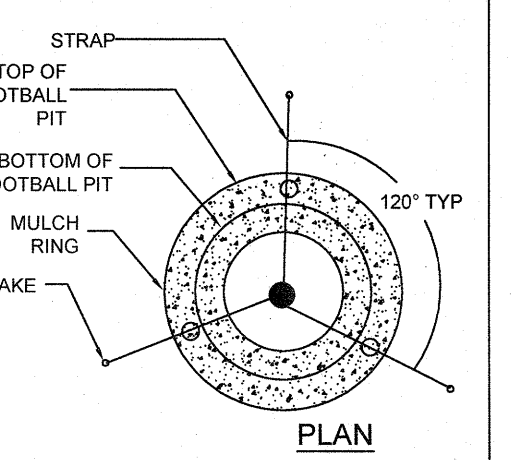


#### MULTI-TRUNK TREE PLANTING DETAIL

NOT TO SCALE

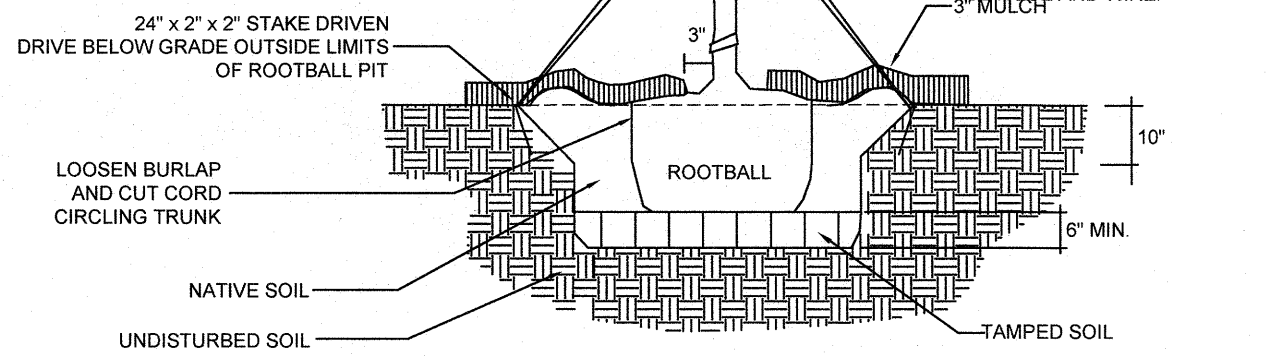
##### NOTE:

- ATTACH GUYS TO THE CENTRAL LARGEST TRUNK
- SPACE STAKES EVENLY AROUND ROOTBALL PIT SUCH THAT WIRES DO NOT COME IN CONTACT WITH ANY TRUNK OR BRANCH.



##### PLANTING PROCEDURE:

- EXCAVATE ROOTBALL PIT.
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE.
- BACKFILL W/ISOIL MIX & "WATER IN"

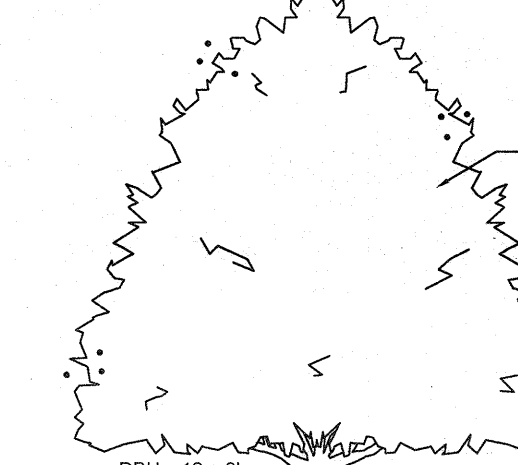


#### TYPICAL TREE PLANTING DETAIL

NOT TO SCALE

##### NOTE:

- ATTACH GUYS TO THE CENTRAL LARGEST TRUNK
- SPACE STAKES EVENLY AROUND ROOTBALL PIT SUCH THAT WIRES DO NOT COME IN CONTACT WITH ANY TRUNK OR BRANCH.



##### NOTE:

ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES BEGIN AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED. NO PARKING, STORAGE OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN THE TREE PROTECTION AREA. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIR OR REPLACED AS NEEDED. ALL TREE PROTECTION FENCE MUST BE ACCOMPANIED BY "KEEP OUT" OR "TREE SAVE" SIGNAGE. FENCE LOCATIONS ON PLANS ARE APPROXIMATE AND SHOULD BE INSTALLED TO PROTECT THE CRITICAL ROOT ZONE. FENCING IS TO BE INSTALLED OUTSIDE OF TREE DRIPLINE.

#### TREE PROTECTION DETAIL

NOT TO SCALE

#### GENERAL IRRIGATION NOTES (BY OTHERS)

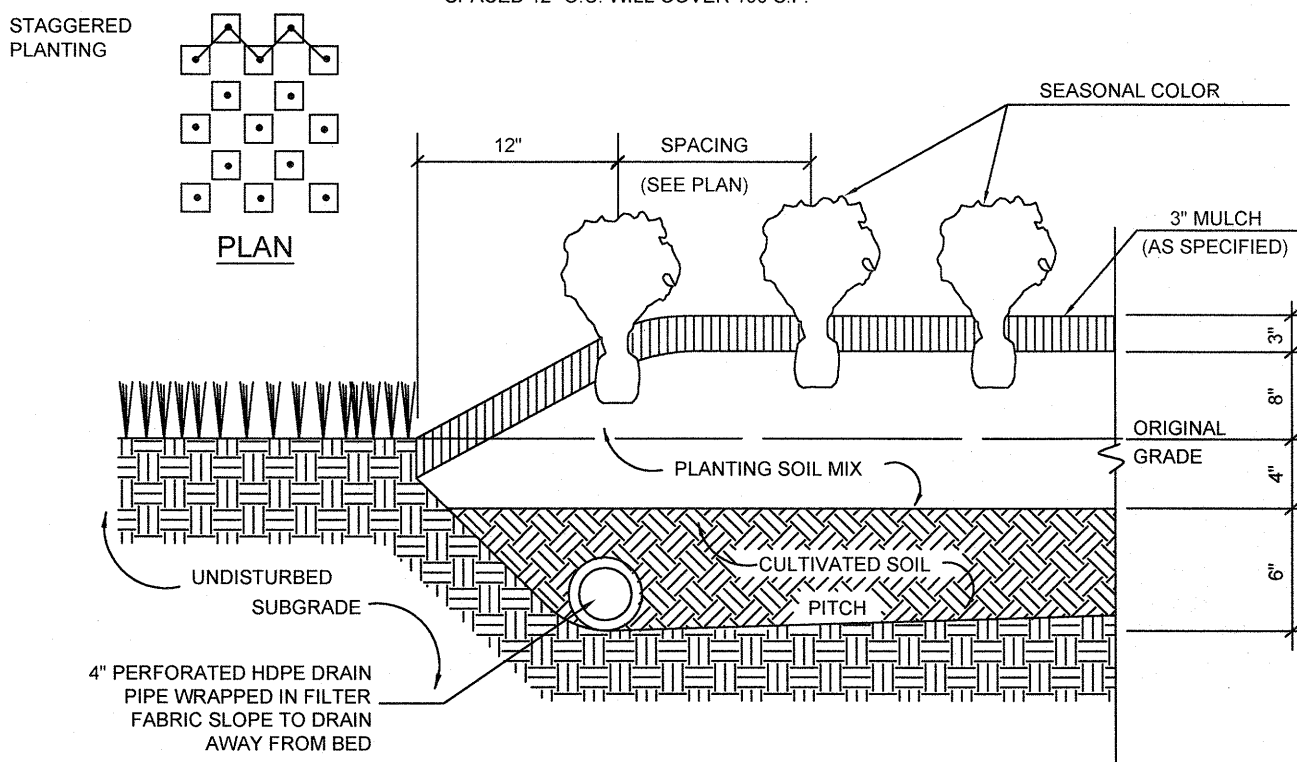
- CONTRACTOR SHALL LOCATE UTILITIES AND SERVICES IN AND AROUND THE SITE PRIOR TO START OF WORK
- THE CONTRACTOR SHALL MAKE ALL EFFORTS TO AVOID DAMAGE TO EXISTING STRUCTURES, PAVING, AND UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIR OF DAMAGE TO ON-SITE UTILITIES, STRUCTURES, OR PAVING RESULTING FROM IRRIGATION CONSTRUCTION. REPAIRS SHALL BE COMPLETED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL CODES AND ORDINANCES RELEVANT TO THE WORK UNDER THIS CONTRACT.
- ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE AND GUARANTEE, AS REQUIRED, ALL WORK IN ACCORDANCE WITH SPECIFICATIONS, AND ALSO AS PER INSTRUCTIONS OF THE LANDSCAPE ARCHITECT AND THE OWNER.
- CONTRACTOR SHALL USE ONLY NEW, COMMERCIAL GRADE MATERIAL.
- AUTOMATIC CONTROL CLOCK WILL BE LOCATED ON-SITE BY THE LANDSCAPE ARCHITECT OR OWNER.
- IRRIGATION DESIGNER SHALL LAYOUT SYSTEM TO MINIMIZE CONFLICTS WITH THE LOCATION OF PROPOSED PLANT MATERIALS (AS SHOWN ON THE PLANTING PLAN) AND OTHER SITE AMENITIES.
- ALL MAIN LINES SHALL BE INSTALLED A MAXIMUM OF 2' FROM THE BACK OF CURBS WHERE POSSIBLE. LATERALS LINES SHALL BE INSTALLED LIKEWISE WHERE POSSIBLE.
- THE CONTRACTOR SHALL ADJUST THE RADIUS AND ARC OF EACH HEAD TO MINIMIZE "OVERTHROW" AND TO ELIMINATE "DRY SPOTS." OVERTHROW ONTO PAVED AREAS SHALL NOT BE ALLOWED.
- ELECTRIC SUPPLY WILL BE STUBBED-OUT AT CONTROL CLOCK LOCATION BY OTHERS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL CONNECTIONS FROM CONTROL VALVES TO THE CONTROL CLOCK.
- THE ENTIRE SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED BY THE IRRIGATION CONTRACTOR AGAINST ALL DEFECTIVE WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF TOTAL ACCEPTANCE.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE AT TIME OF COMPLETION FOR PROVIDING "AS-BUILT" DRAWINGS, TO INCLUDE LOCATIONS OF ALL VALVES (MANUAL AND AUTOMATIC) WITH TRIANGULATED MEASUREMENTS TO EACH LOCATION AS WELL AS ANY DEVIATIONS IN LOCATION OF PIPING AND HEADS AS REPRESENTED BY THE CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO HAVE ALL PLANTING AREAS MARKED BY THE LANDSCAPE ARCHITECT OR CONTRACTOR PRIOR TO INSTALLATION.
- ALL MAINLINES AND LATERAL LINES SHALL BE CLASS 200 PVC.
- ALL SLEEVES SHALL BE SCHEDULE 40 PVC.
- CONTRACTOR SHALL SUPPLY TWO QVC KEYS AND MATCHING HOSE SWIVELS, TWO OF EACH TYPE OF IRRIGATION HEAD, AS-BUILT IRRIGATION PLAN, AND LAMINATED DIAGRAM OF IRRIGATION ZONES.
- LAWN, SHRUBS/TREES, AND FLOWERS SHALL EACH BE ZONED SEPARATELY.
- CONTRACTOR SHALL VERIFY WATER SUPPLY G.P.M. AND P.S.I. PRIOR TO SYSTEM DESIGN AND CONSTRUCTION.

#### GENERAL LANDSCAPE NOTES

- ALL PLANT MATERIAL MUST BE HEALTHY, VIGOROUS, & FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED & BURLAPPED.
- ALL TREES MUST HAVE A FULL HEAD, STRAIGHT TRUNK, SINGLE DOMINANT LEADER, & MEET ALL REQUIREMENTS SPECIFIED IN PLANT LIST.
- ALL PLANTS ARE SUBJECT TO REJECTION BY THE OWNER BEFORE, DURING, & AFTER INSTALLATION.
- STAKE TREES, IF ENVIRONMENTAL CONDITIONS WARRANT, (I.E. WIND OR STEEP SLOPES)
- ALL PLANTS & PLANT BEDS MUST BE COMPLETELY MULCHED WITH 3" OF CLEAN, ORGANIC MULCH (PINESTRAW, WOOD CHIPS).
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES & SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY & ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION, AT NO ADDITIONAL COST TO OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS, BEFORE PRICING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING (INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, MOVING, FERTILIZING, ETC.) ALL PLANTED AREAS AND LAWNS UNTIL THE JOB IS ACCEPTED IN FULL, BY THE OWNER.
- THE OWNER WILL CONTRACT FOR A PROGRAM OF LANDSCAPE MAINTENANCE SERVICES THROUGHOUT THE ONE (1) YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, DEFOLIATES OR FAILS TO GERMINATE PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE & REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS AT NO COST TO THE OWNER.
- THE LANDSCAPE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- WATER TREES AFTER PLANTING.
- MAINTAIN ORIGINAL GRADE OR SLIGHTLY ABOVE GRADE AT THE TREE BASE.
- DO NOT BREAK ROOT BALL.
- SET TRUNKS PLUMB
- ALL DUG TREES IN LEAF SHALL BE ACCLIMATED FOR TWO WEEKS UNDER A MIST SYSTEM, AT THE NURSERY SOURCE, PRIOR TO INSTALLATION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, DEFOLIATES OR FAILS TO GERMINATE PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE & REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- IF SUFFICIENT ADDITIONAL TOPSOIL IS AVAILABLE, THE CONTRACTOR SHALL BACKFILL THE PARKING LOT ISLANDS WITH 100% TOPSOIL. PLANTERS SHALL BE FREE OF DELETERIOUS MATERIAL AND SOIL SHALL BE SUITABLE FOR PLANTING. ALL ROCKS AND DEBRIS SHALL BE REMOVED FROM PLANTING BEDS, INCLUDING SODDED AREAS, PRIOR TO INSTALLATION.
- THE CONTRACTOR HAS THE COMPLETE RESPONSIBILITY FOR THE HANDLING OF ALL SURPLUS EXCAVATED MATERIALS INCLUDING THE REMOVAL OF ANY EXCESS MATERIALS FROM THE PROJECT SITE. THE CONTRACTOR SPECIFICALLY UNDERSTANDS AND AGREES THAT DUE TO THE SEQUENCE OF THE WORK, HE MAY NEED TO RETAIN SELECT EXACERBATED MATERIALS ON SITE TO MEET LATER NEEDS OF THE PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AS TO ANY DECISIONS MADE TO HAUL OFF EXCESS MATERIAL OR TO RETAIN MATERIAL ON SITE FOR LATER USE. THE CONTRACTOR SHALL HAVE THE COMPLETE RESPONSIBILITY FOR HAVING ADEQUATE, SUITABLE MATERIAL ON-SITE TO REPLACE UNSUITABLE MATERIAL OR TO OTHERWISE CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL REMOVE & DISPOSE OF ALL PLANT MATERIAL EXISTING ON SITE THAT DOES NOT CONFORM WITH THE LANDSCAPE PLAN. ALL LANDSCAPED AREAS SHALL BE TREATED AS SPECIFIED ON THE LANDSCAPE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. THIS SHALL INCLUDE ALL GRASS AREAS USED FOR EROSION CONTROL PURPOSES.
- GRASS ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAY), UNLESS OTHERWISE INDICATED. AREAS TO BE SODDED SHALL BE CLEANED OF ALL STONES AND DEBRIS. RAKED SMOOTH AND CONFORM TO PROPOSED GRADES. IF SODDED, SOD SHALL BE ROLLED TO PROVIDE A CONSISTENTLY EVEN SURFACE.
- CONTRACTOR SHALL DESIGN AND INSTALL AUTOMATIC IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE IN ACCORDANCE WITH SPRINKLER HEAD MANUFACTURER'S SPECIFICATIONS.

##### 100 PLANTS:

SPACED 4" O.C. WILL COVER 11 S.F.  
SPACED 6" O.C. WILL COVER 25 S.F.  
SPACED 8" O.C. WILL COVER 44 S.F.  
SPACED 10" O.C. WILL COVER 70 S.F.  
SPACED 12" O.C. WILL COVER 100 S.F.



#### SEASONAL COLOR PLANTING DETAIL

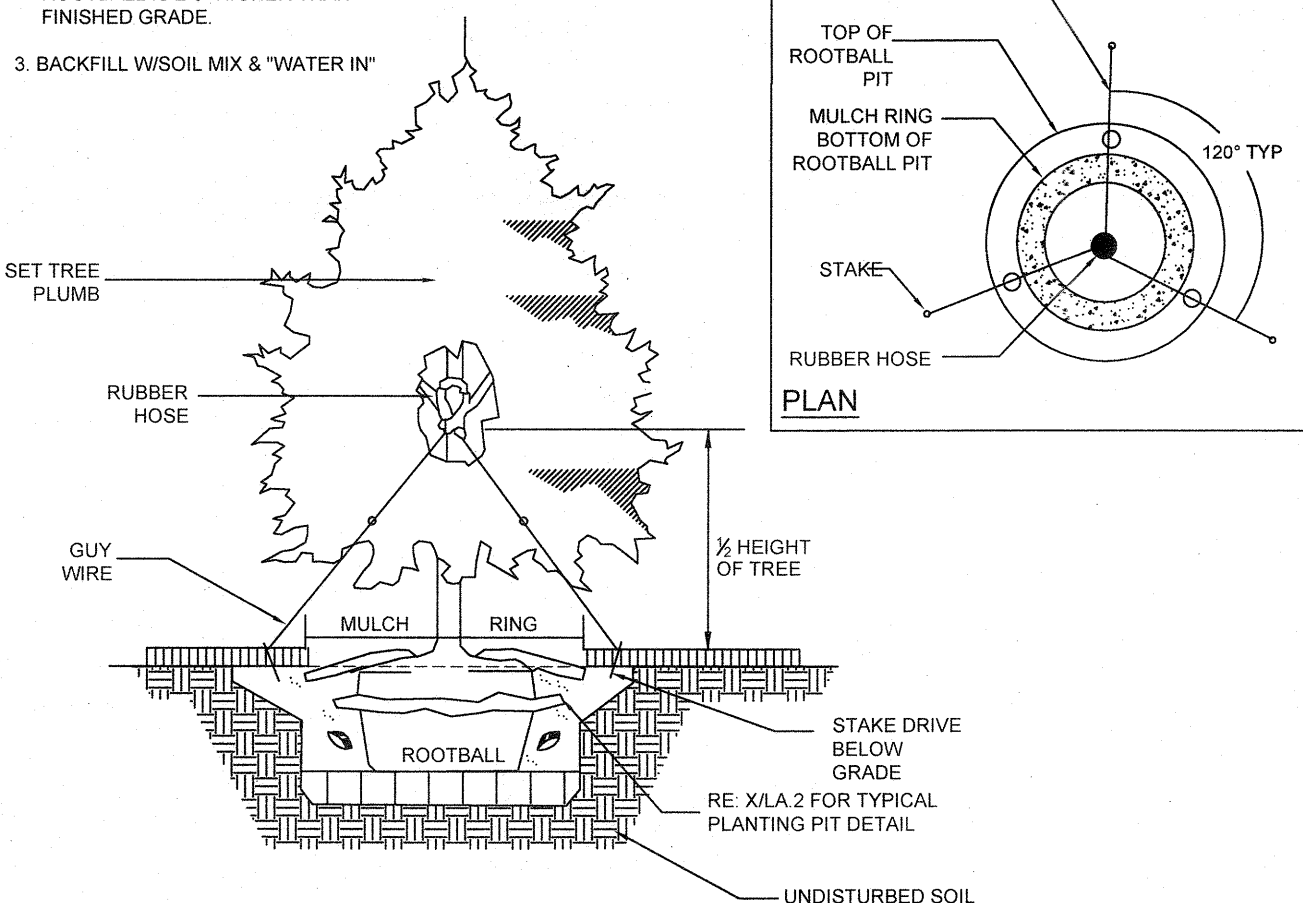
NOT TO SCALE

#### SHRUB & GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

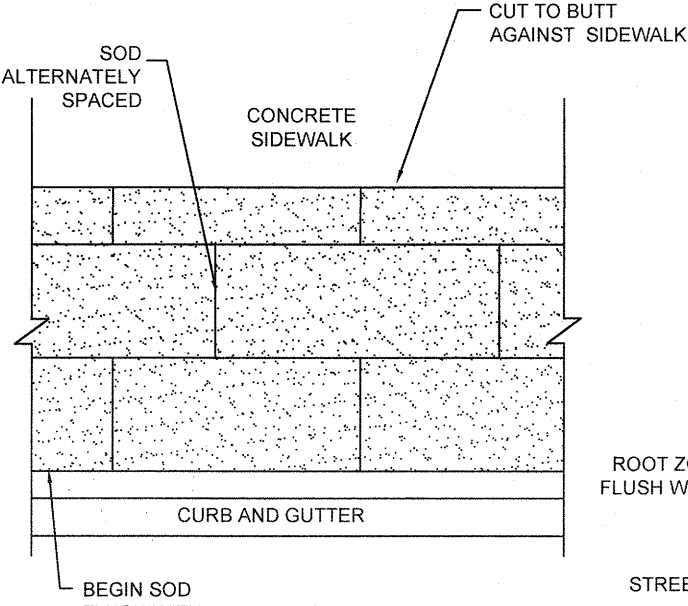
##### PLANTING PROCEDURE:

- EXCAVATE ROOTBALL PIT.
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE.
- BACKFILL W/ISOIL MIX & "WATER IN"



#### EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

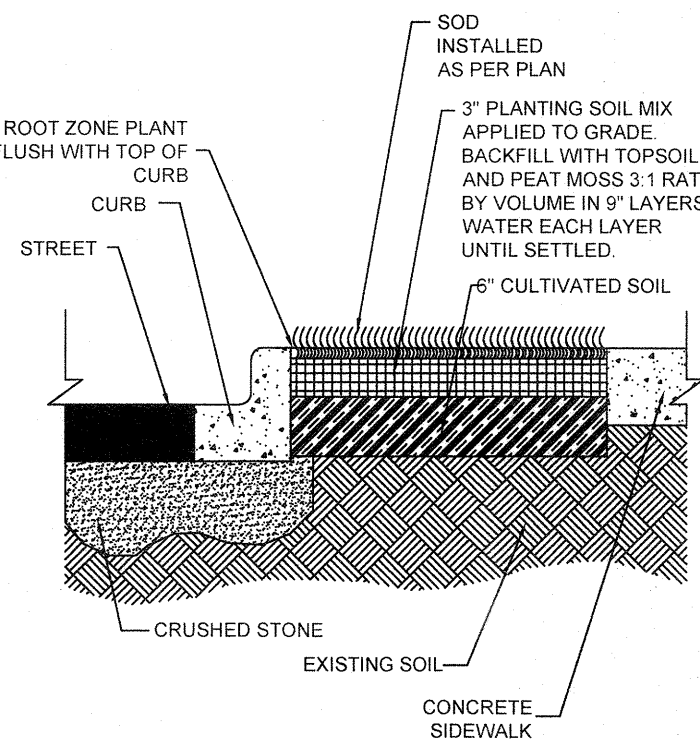


#### SOD PLACEMENT DETAIL

NOT TO SCALE

##### NOTES:

- SOD SHALL NOT HAVE GAPS OF GREATER THAN 1/4" AT JOINTS. SOD SHALL BE CUT TO FIT AROUND ALL EXISTING STRUCTURES.



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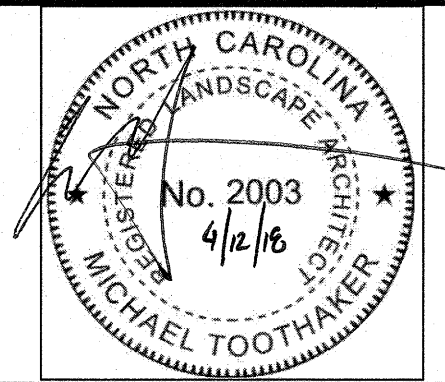
#### STARBUCKS COFFEE

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STARBUCKS TEMPLATE VERSION 12015.01.19



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STORE #:

PROJECT #:

CASEWORK CONCEPT: CONCEPT  
ISSUE DATE: APRIL 12, 2018  
DESIGN MANAGER: ERIKA ZAKAMAREK  
LEED® AP: XXX  
PRODUCTION DESIGNER: MAT  
CHECKED BY: MSL

##### Revision Schedule

| Rev | Date | By | Description |
|-----|------|----|-------------|
|     |      |    |             |
|     |      |    |             |
|     |      |    |             |

SHEET TITLE:

#### LANDSCAPE DETAILS

SCALE: AS SHOWN

SHEET NUMBER:

L-1.1