



**Town of Cornelius
Architectural Review Board**

**Agenda
August 25, 2017
12:00 PM
Cornelius Town Hall - Room 204**

- 1. Call To Order**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
 - A. July 28, 2017**
- 4. Review And Recommendation On Agenda Items**
 - A. Fountain Court at Edinburgh Square**
 - B. REZ 06-17 Catawba at Knox**
- 5. Old Business**
- 6. New Business**
- 7. Next Meeting**
- 8. Adjournment**

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: August 25, 2017

To: ARB Member

From: Summer Smigelski, Planning Admin.

Action Requested:

Approval of Minutes

Manager's Recommendation:

Approval

ATTACHMENTS:

Name:	Description:	Type:
 ARB_Minutes_07282017-Draft.docx	July 28, 2017 Minutes	Backup Material

Minutes
TOWN OF CORNELIUS
ARCHITECTURAL REVIEW BOARD MEETING

July 28, 2017
12:00 pm

Members Present

Recah Harward
Teresa Hawkins
David Eve, Chairman

Members Absent

Joe Harris, Vice Chair
Rick Kamakaris

Staff Present

Jason Pauling, Senior Planner
Summer Smigelski, Planning Admin.

VISITORS

See Sign-In Sheet

DETERMINATION OF QUORUM

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:06 p.m. He stated that a quorum was not present for all items.

APPROVAL OF MINUTES

Chairman Eve tabled the minutes for next meeting.

MAV 02-17 Zaika Group, LLC

Mr. Pauling presented MAV 02-17 Zaika Group, LLC with changes. The property is located at 19725 Jetton Rd. This is a corner property that fronts on Bethel Church and Jetton.



These are some of the buildings that are located around the property.





The applicants are requesting the following architectural variations from Chapter 4 of the Land Development Code:

1. Section 4.6.3(B)(3): A variation from the 70% window and door coverage requirement to allow for 56% storefront/window area on the Jetton Road side, and 38% on the Bethel Church Road side

Here is what the applicants presented last month



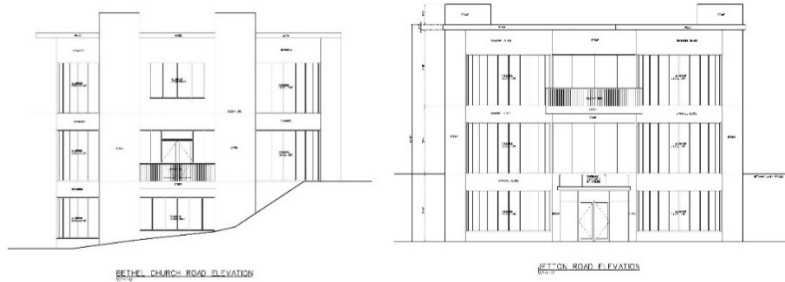
BETHEL CHURCH ROAD ELEVATION



JETTON ROAD ELEVATION



Here are the changes



The columns are a little narrow; the windows are extended with more divisions. The main entrance is on Jetton Rd. The third floor window is a little narrower and taller. The changes consist of more glass on the first and second floor and the element that was not shown on the previous plan.

Chairman Eve: "One of the concerns that we had was the corner between Bethel Church and Jetton Rd. and how this building addresses both. I do not feel like any substantial changes have been made to address that. I like the extra glass and it's a more realistic view of the curves. I do not have as much problem with the front as I do the corner and the one mass on the front. It's a corner lot and I feel like it hasn't addressed that corner piece."

Ms. Harward: "Is there a way you can make the columns on the Bethel Church Rd. elevation narrow?"

Applicant: "We have, we scaled them back about 10 feet."

Chairman Eve: "I have a hard time giving a recommendation to approve the variance with just 38 percent glass on the one side. I do not have a problem as much on the front."

Ms. Harward: "Inaudible"

Chairman Eve: "Do we know what the percentage is?"

Ms. Harward: "The top window in the middle feels small compared to the other two."

Mr. Pauling: "The board is asking about the window and if you could walk us through on why that is smaller."

Applicant: "We did have it expanded originally. We expanded the height and we expanded left to right but we have taken it back because on the right side of the window, that is where the

refrigerator is and on the left side that is where the microwave and oven are. We have tried other ways to reorganize the kitchen but it just does not work. That is why we need it to be in this area.”

Chairman Eve: “Looking at the plan it looks as though the refrigerator hangs over the window a little. Our main concern last time was that front tower just feels massive. If there was a way to change the front it could change the feel of the building. That is what we struggled with last time which is why we asked for this to be brought back. We are not saying it has to be all glass or that it cannot have stone, its only that view that bothers us. If you were in and interior lot and had a building on both sides we would not have this problem because we would only be focused on the front.”

Applicant: “I would not know how to change that without changing the integrity of the design.”

Chairman Eve: “We just have to figure out a way to take away the mass even if you have to pull the glass out on the side so it’s more prominent. The glass that you have added is stuck back and so you get this void that pronounces that front.”

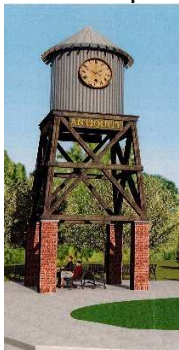
After discussion the board agreed that if any changes are made before the planning board meeting on August 14th that the applicant submit electronically to the Architectural Review Board so they can address any comments.

Antiquity Tower & Green

Mr. Pauling presented Antiquity Tower & Green. The site in question is a little open green area in front of the new apartment building on the corner of Old Canal St.



Here is a picture of the proposed clock tower.



Mr. Pauling: "I think the applicants are looking for something that would take some of the elements off of the barn bridge that is located in the back of Antiquity.

Mr. Pauling presented a schematic site plan to the board.



Chairman Eve: "The site plan does not match and seeing that there is a building located behind the clock tower, it's totally out of context on that rendering."

Ms. Hawkins: "The site plan makes it look larger than it actually is. It just doesn't look like it matches the site."

Chairman Eve: "It looks like a water tower for a steam engine with a clock face on one side. I would expect a clock tower to have a clock on multiple sides. My opinion is that it's just not in keeping with the rest of Antiquity. We need to see this in relationship to the buildings. There is just not enough information anyway. We need a more accurate site plan, need elevations and context."

After discussion the board agreed Antiquity Tower & Green would need to be brought back once they have made changes.

ADJOURNMENT

The meeting ended at 12:57 p.m.

REQUEST FOR BOARD ACTION

 **Print**

Date of Meeting: August 25, 2017

To: Architectural Review Board Members

From: Jason T. Pauling, AICP - Senior Planner

Action Requested:

A request by Fortune Architects to construct a two-story, approximately 7,500 square foot building on the corner of West Catawba and Edinburgh Square Drive based on previously approved plans for both outparcels.

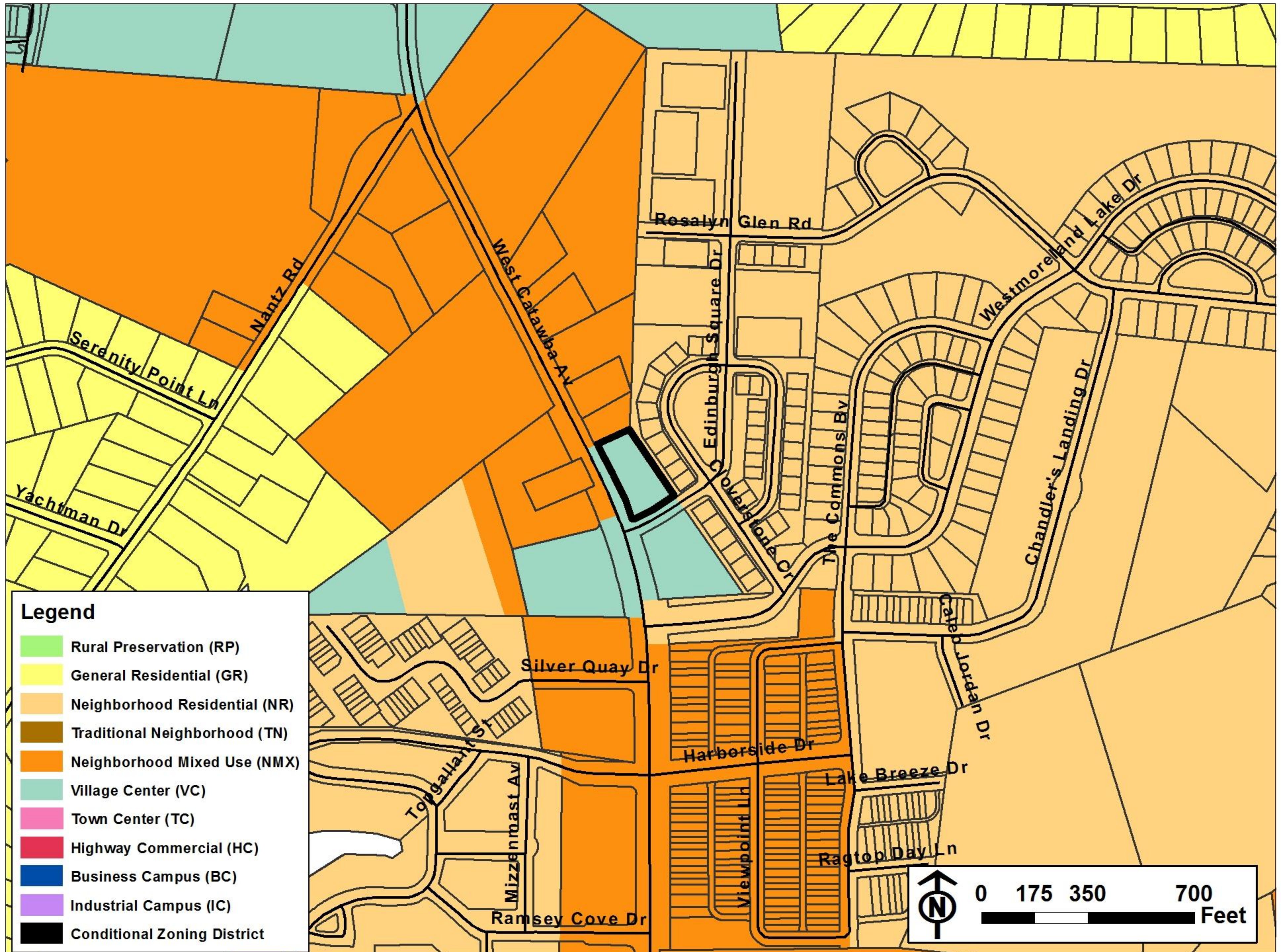
Manager's Recommendation:

Review d Provide Direction

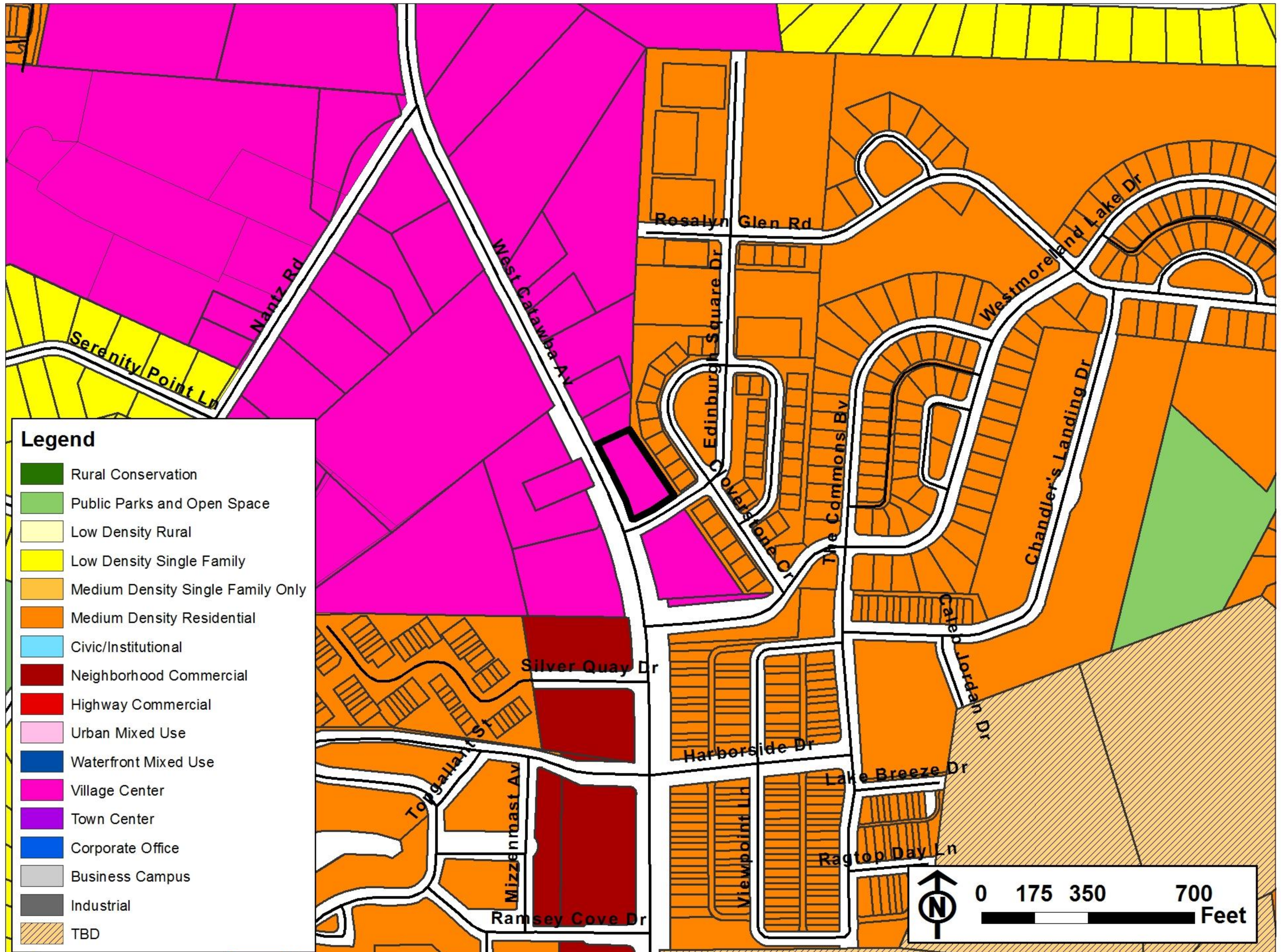
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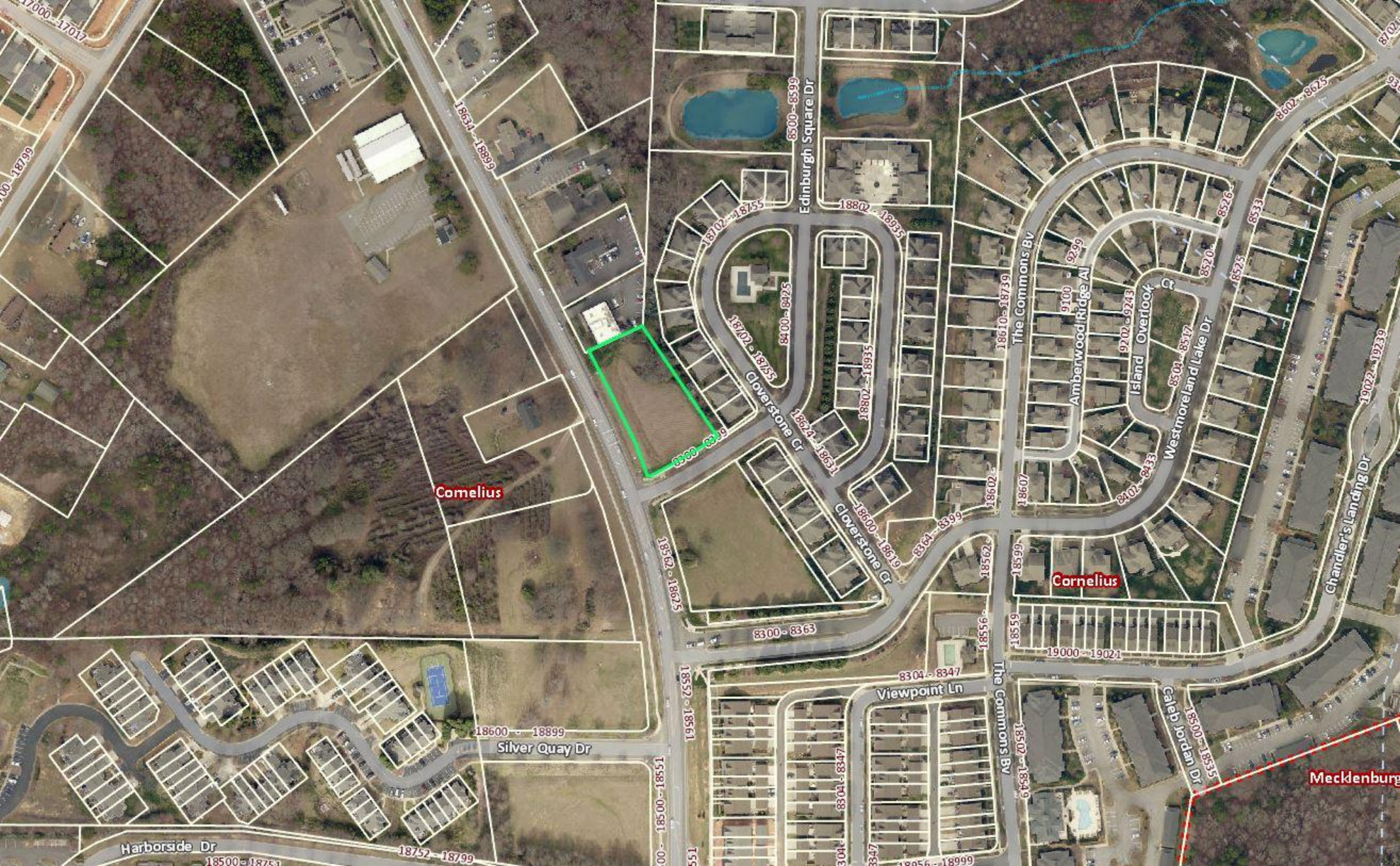
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 FountainCt_LU.jpg	Land Use Map	Backup Material
 Aerial_Vicinity_Map.JPG	Aerial Vicinity Map	Backup Material
 Aerial_Property_Map.JPG	Aerial Property Map	Backup Material
 Street_View_1.JPG	Street View 1	Backup Material
 Street_View_2.JPG	Street View 2	Backup Material
 Approved_Zoning_Plan-01.pdf	Original Approved Zoning Plan	Backup Material
 Architectural_review_checklist__submittal_requirements001.pdf	ARB Submittal Checklist	Backup Material
 Architectural-Exterior_Elevations.pdf	Elevations	Backup Material
 Fountain_Court_colored_front_elevation.pdf	Color Front Elevation	Backup Material
 Site_Plan.pdf	Color Site Plan	Backup Material
 Architectural-First_floor_Plan.pdf	First Floor Plan	Backup Material
 Architectural-Second_floor_Plan.pdf	Second Floor Plan	Backup Material

Fountain Court @ Edinburgh Square



Fountain Court @ Edinburgh Square

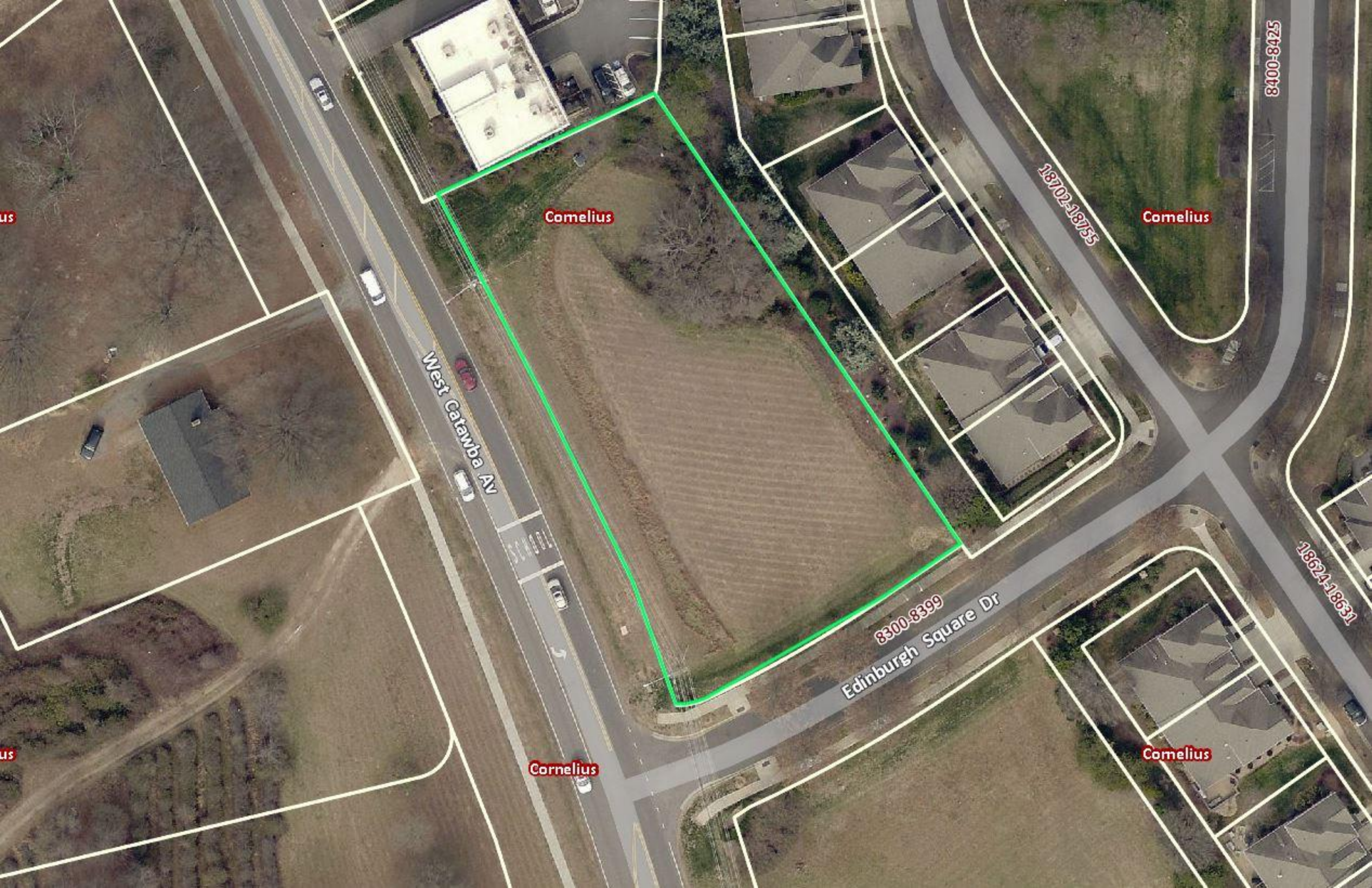




Cornelius

Cornelius

Mecklenburg



West Catawba Av

Edinburgh Square Dr

Cornelius

Cornelius

Cornelius

Cornelius

8400-8425

18702-18755

18624-18631

8300-8399





RESIDENTIAL OPEN SPACE CALCULATIONS

18 APARTMENTS / 2.13 ACRES = 8.45 DU/AC

REQUIREMENT: 413 SF/BEDROOM x 25 BEDROOMS = 10,325 SF OPEN SPACE REQUIRED

URBAN PARK BETWEEN BLDG 2&3 = 2,892 SF

10,325 - 2,892 = 7,433 SF (APPROX 0.17 ACRE) TO BE PAYMENT IN LIEU

IMPERVIOUS DATA

BUILDING 1 AREA=4,243 SF
BUILDING 2 AREA=4285 SF
BUILDING 3 AREA=6702 SF

PARKING, SIDEWALKS AND OTHER IMPERVIOUS AREAS WHEN COMBINED WITH THE BUILDINGS NOT TO EXCEED A TOTAL OF 70% FOR THE OVERALL PROJECT

TOTAL ALLOWABLE IMPERVIOUS AREA=63548 SF = 70%

THIS SITE IS INCLUDED IN EDINBURGH SQUARE MASTER PLAN HIGH DENSITY OPTION.

Time Table:

Project shall begin upon approval and end within 6 months.

TREE DATA

STREET TREES 40' O.C.
PARKING SPACES ALL WITHIN 60' OF TREE
SCREEN ALL PARKING, TYPE B SCREEN
SCREEN ADJACENT PROPERTY, OPAQUE SCREEN OF EVERGREEN SHRUBS, TREES 40'O.C. (TYPE A)

PARKING DATA

15,230 SF leasable space/250 = 61 spaces req'd
for medical office space (max requirement)
+ 25 spaces for residential = 86 total req'd

Parking Provided: 85 spaces + 3 HC spaces = 88 spaces total

HOURS OF OPERATION:

TYPICALLY, FROM 8 AM TO 8 PM

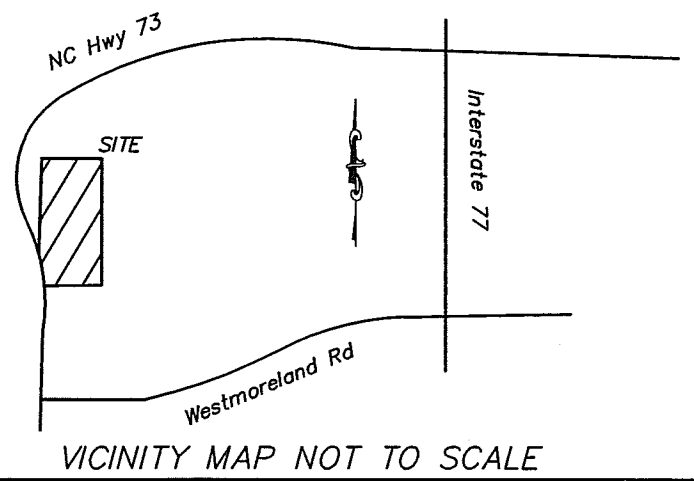
SITE DATA

CURRENT ZONING: NMX-CD
PROPOSED ZONING: VC-CZ
PARCEL #: 005-111-91, 005-111-92
EXISTING TOTAL ACREAGE: 2.13 ACRES
PROPOSED TOTAL ACREAGE: 2.04 ACRES

BUILDING SETBACKS: FRONT = 25'
SIDE = 0'
REAR = 48'
LANDSCAPE BUFFER = 10'

CURRENT USE: VACANT
PROP. USE: MIXED COMMERCIAL AND MEDICAL OFFICE w/ RESIDENTIAL ABOVE

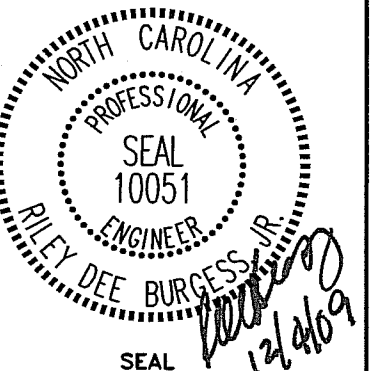
SITE IS NOT WITHIN FEMA FLOOD ZONE
WATERSHED= MNT. ISLAND LAKE
CLASS=PA



Note:

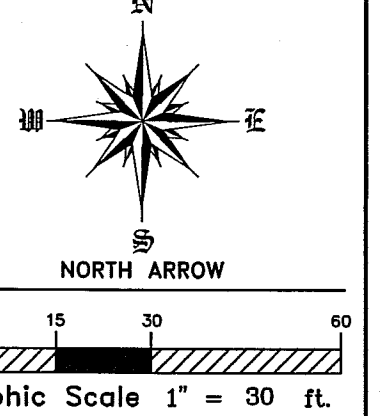
- 1) Signage to be permitted separately, and shall be compliant with chapter 10 of LDC.
- 2) Exterior Lighting Shall be provided and shall comply with LDC. All site Lighting Shall be permitted separately.

environmental
DESIGN
landscape architecture
civil engineering
land planning
land surveying
20816 n. main street suite 204
cornelius, nc 28031
t: 704.896.8020
f: 704.892.5479
e: edpa@edesign.net



THIS PLAN IS A FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION UNLESS INITIALED/DATED AS APPROVED BY ENGINEER.

INITIAL DATE

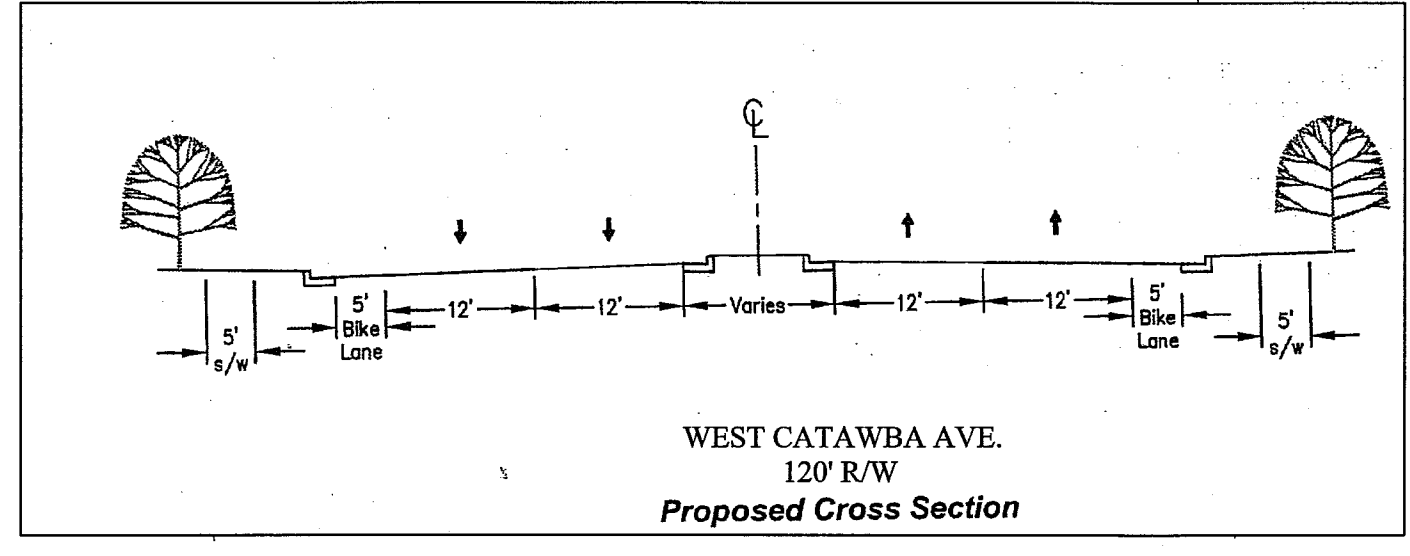
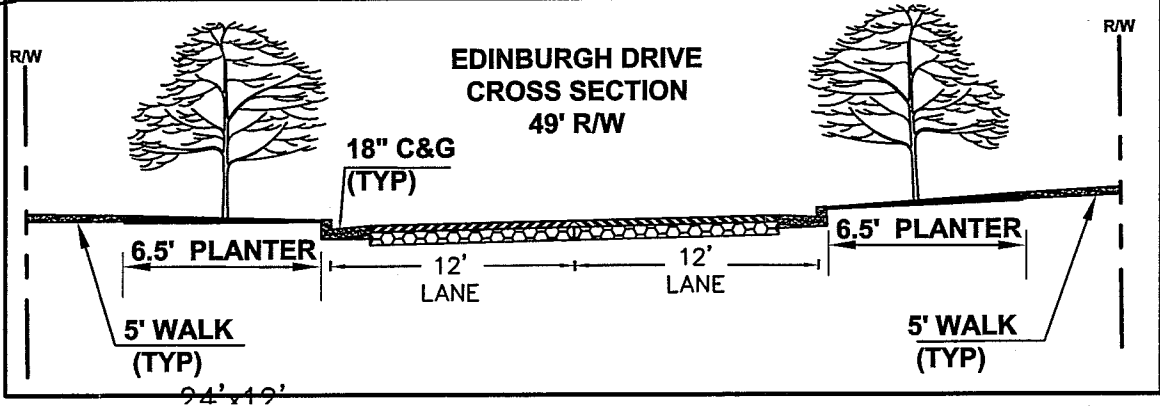


Fountain Court
West Catawba Ave, Cornelius, NC
Township of Deweese
C.Z. Rezoning Plan

DEVELOPER/OWNER
White Oak Group, LLC
Cornelius, NC 28031
704-904-5282

Designed By **EDPA**
Drawn By **RDB**
Date **11/19/09**
Revisions
11-24-09: notes, park.
12-3-09: parking notes

Sheet **1** of **1**
Project Number



IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



TOWN OF CORNELIUS:

ARCHITECTURAL REVIEW CHECKLIST & SUBMITTAL REQUIREMENTS

Please review the following information carefully and check to be sure all requirements of Chapter 4 have been met, be prepared to discuss if any variations are appropriate with staff and the Architectural Review Board:

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☒ **Building materials, scale and style** – Building materials, scale and style are appropriate with surrounding uses. Building walls are brick, cast concrete, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block, and siding (non-vinyl) materials may only be used on building walls not visible from a public street or as an accent material only. Two wall materials may be combined horizontally, but the heavier material is below.

☒ **Building Articulation** – Frontage wall has adequate articulation, no wall shall remain unpierced by a window, door, or general access point for more than 16 feet. Doors that are intended to provide access contain a stoop, porch or awning that forms as the predominant aspect of the building design. For buildings greater than 100 feet in width, there shall be no uninterrupted wall length exceeding 75 feet. An interruption may consist of a change in place or a change in texture/masonry patterns. For buildings less than 75 feet, one interruption is required within 30 feet on either side of the center of the building.

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SUBMITTAL REQUIREMENTS FOR ARCHITECTURAL REVIEW BOARD

☒ **Elevations** of all four sides with dimensions, features and materials clearly labeled drawn to scale by a registered architect.

☒ **Color elevations, color samples, or photo examples**

☒ Site Plan – May contain multiple pages, drawn to scale by an engineer or landscape architect. Include locations of buildings, lots, streets, parking, proposed grading, landscaping/screening, open space, watershed/storm water information, associated storm water measures, and proposed utilities and lighting. Shall also include general information from adjoining lots

☒ Perspective drawings/renderings shown at different angles

☒ Floor plans

★ *Additional info may be necessary based upon the Land Development Code, or as determined by the Planning Director.*

THE ARCHITECTURAL REVIEW BOARD (ARB)

- A. Pursuant to G.S. 160A-361, the Town of Cornelius has an Architectural Review Board (ARB) consisting of seven (7) persons who are residents or property owners within the Town. At least four of the members are required to be architects, landscape architects, building designers or other design professionals. At least one (1) of the members shall reside east of I-77. The Town Board may also designate one of its members as a non-voting (ex-officio) member of the ARB. Each member of the ARB and its chair are appointed by the Town Board
- B. The ARB typically meets on the 4th Friday of every month at 12:00 PM. The deadline to submit materials for the ARB is by the **2nd Friday of every month**. Digital files can be emailed to Planning Staff or be on a disk.
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1 WEST CATAWBA AVENUE ELEVATION
A2.0 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
A2.0 1/8" = 1'-0"



2 PARKING LOT ELEVATION
A2.0 1/8" = 1'-0"



3 LEFT SIDE ELEVATION
A2.0 1/8" = 1'-0"



**Fortune
Architects**

8510 McAlpine Park Drive
Suite 204
Charlotte, North Carolina
28211

704/366-3639
704/364-9578 FAX

**FOUNTAIN
COURT
BUILDING
ONE**

**CORNELIUS,
NORTH CAROLINA**

Content:
**PRELIMINARY
ELEVATIONS**

Project 12416
Date 08/10/17
Revisions

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A2.0



2 WEST CATAWBA AVENUE ELEVATION
A1.0

FOUNTAIN COURT BUILDING ONE

CORNELIUS,
NORTH CAROLINA

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Date 08/09/17



FOUNTAIN COURT

SCALE: 1" = 20'



Woodbine Design, P.C.
Land planning & civil engineering

blending  nature & man



Fortune
Architects

8510 McAlpine Park Drive
Suite 204
Charlotte, North Carolina
28211

704/366-3639
704/364-9578 FAX

FOUNTAIN COURT BUILDING ONE

CORNELIUS,
NORTH CAROLINA

Content:
PRELIMINARY
FIRST FLOOR PLAN

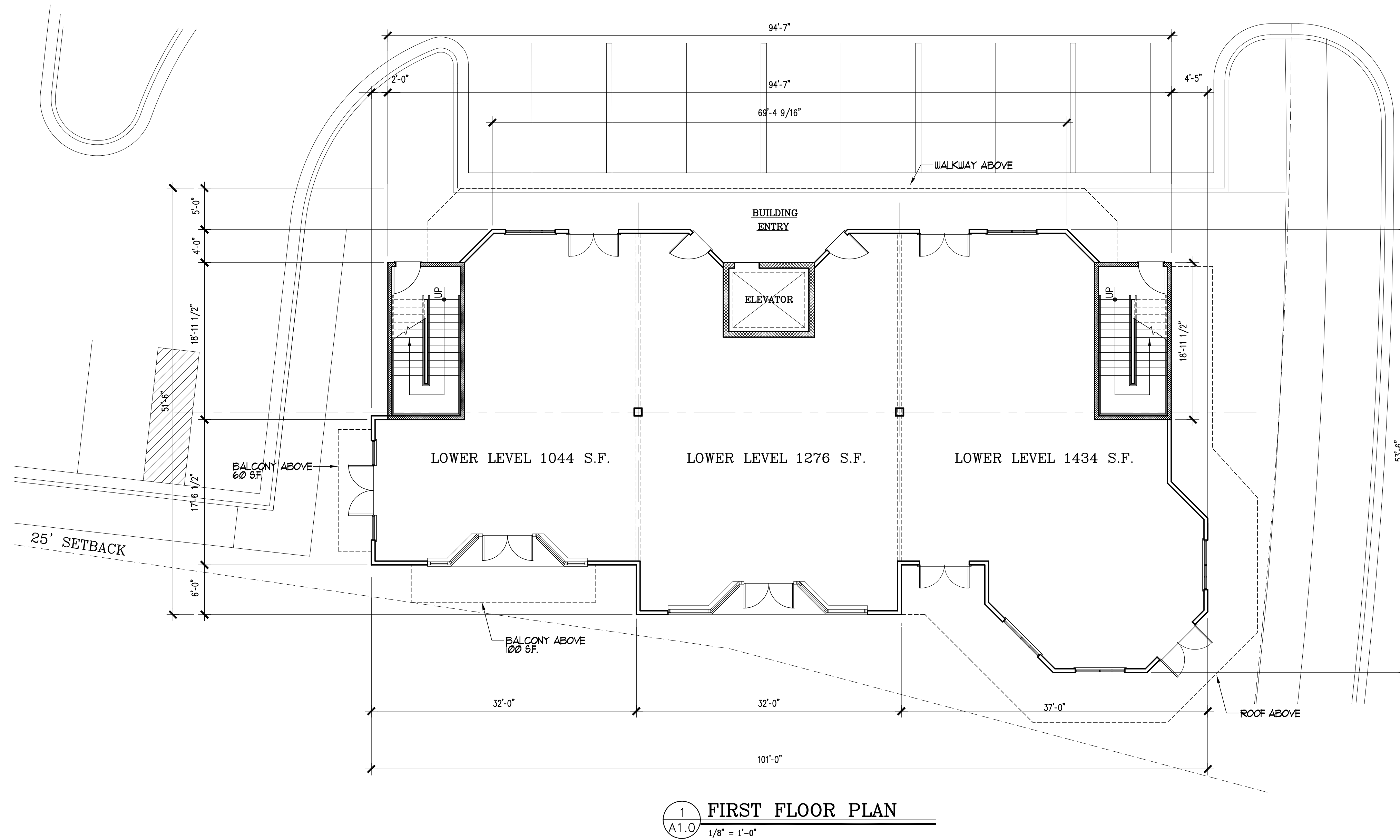
Project 12416
Date 08/10/17
Revisions

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A1.0



LEASABLE-SPACE-CHART
LOWER LEVEL TOTAL = 3754 S.F.
UPPER LEVEL TOTAL = 3988 S.F.



Fortune
Architects

8510 McAlpine Park Drive
Suite 204
Charlotte, North Carolina
28211

704/366-3639
704/364-9578 FAX

FOUNTAIN COURT BUILDING ONE

CORNELIUS,
NORTH CAROLINA

Content:
PRELIMINARY
SECOND FLOOR
PLAN

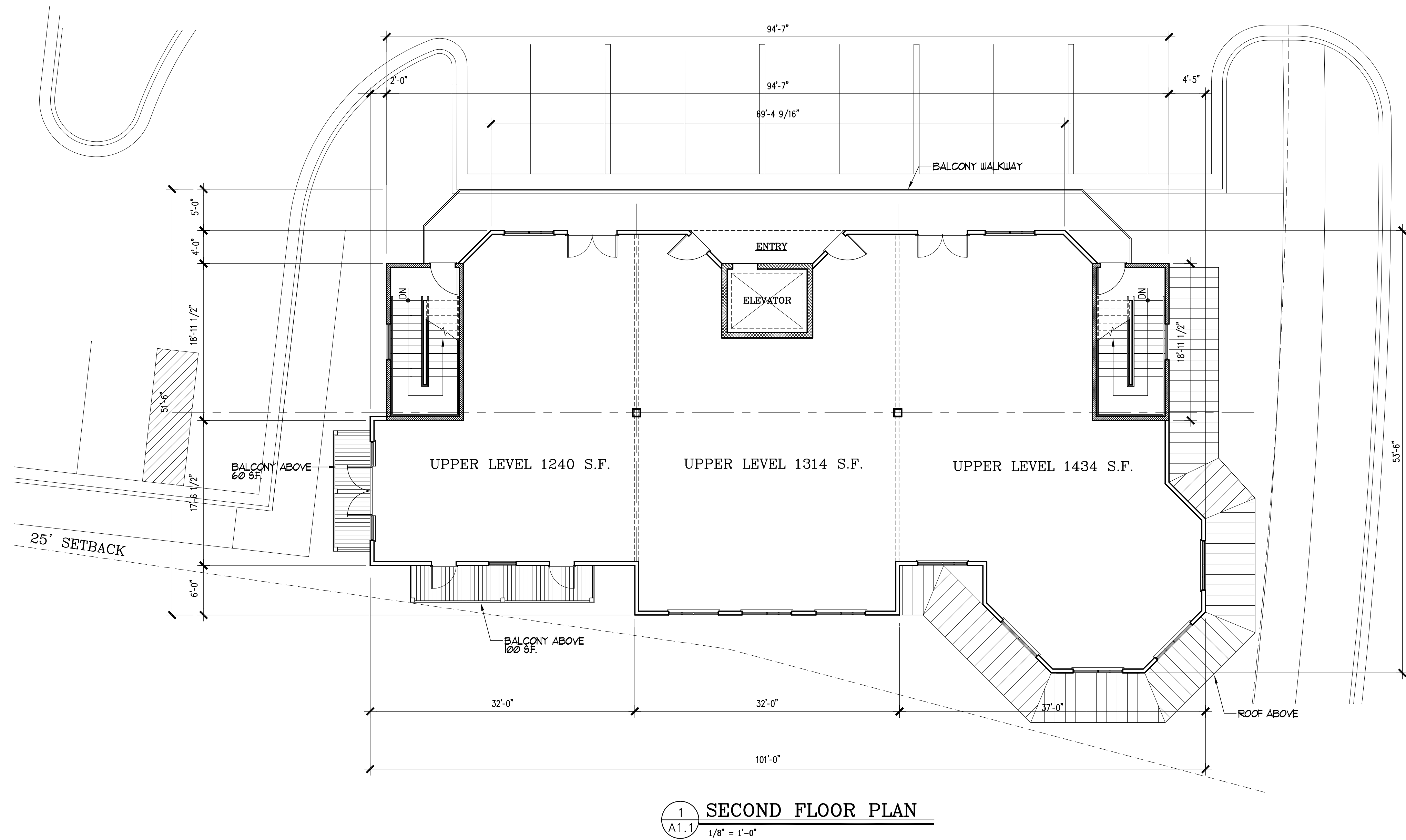
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REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: August 25, 2017

To: Architectural Review Board Members

From: Jason T. Pauling, AICP - Senior Planner





Action Requested:

A request from Charter Cornelius, LP to develop the commercial site at the corner of West Catawba Avenue, Knox Road, and One Norman Drive (former Hannaford site) with 48,225 square feet of new commercial within 5 buildings. Three buildings are proposed to front on West Catawba Avenue, two of which are proposed to have a drive-through facility. There will also be one primary grocery anchor at the back of the site, and one additional multi-tenant commercial/office building.

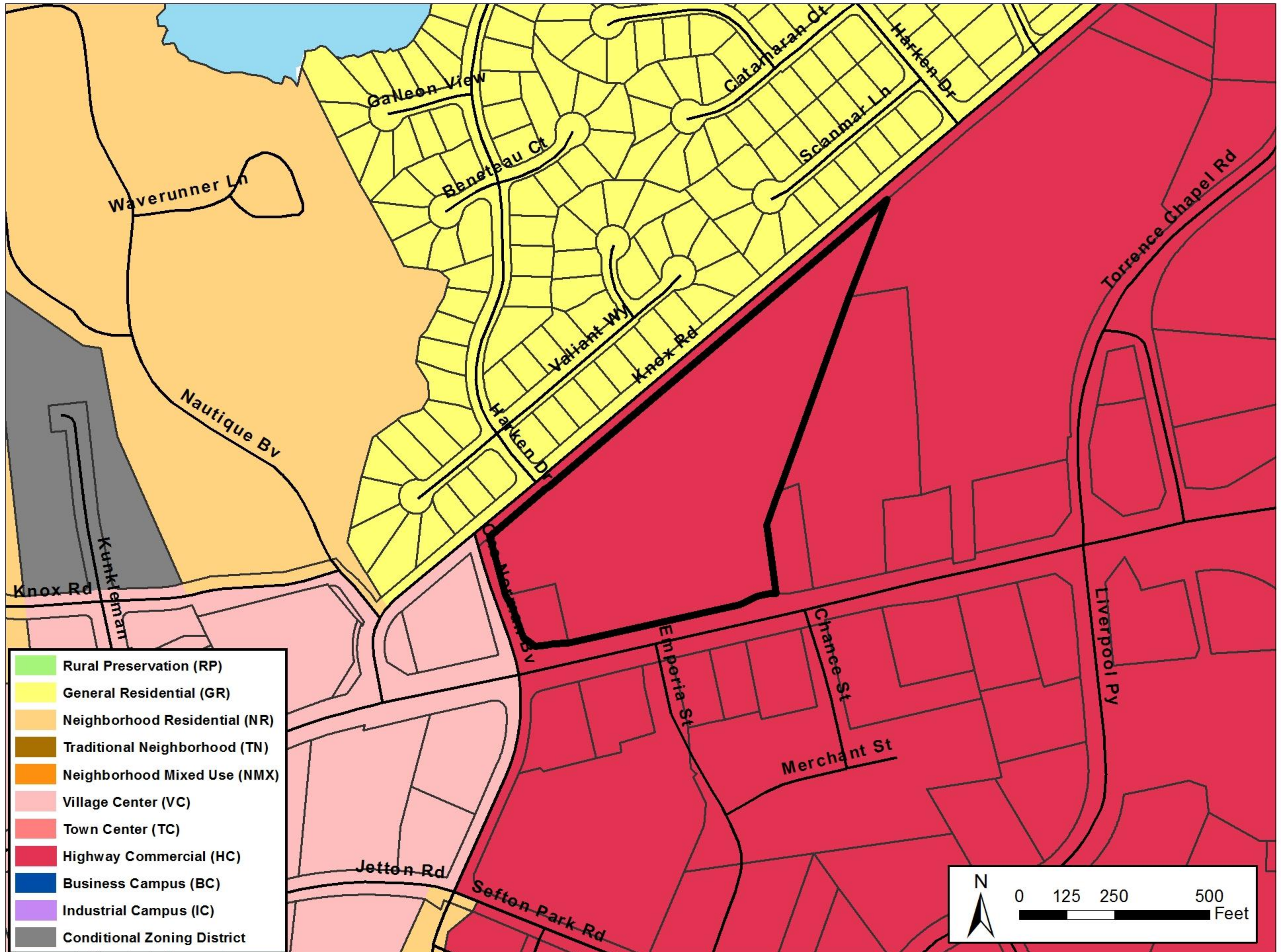
Manager's Recommendation:

Review and Provide Direction

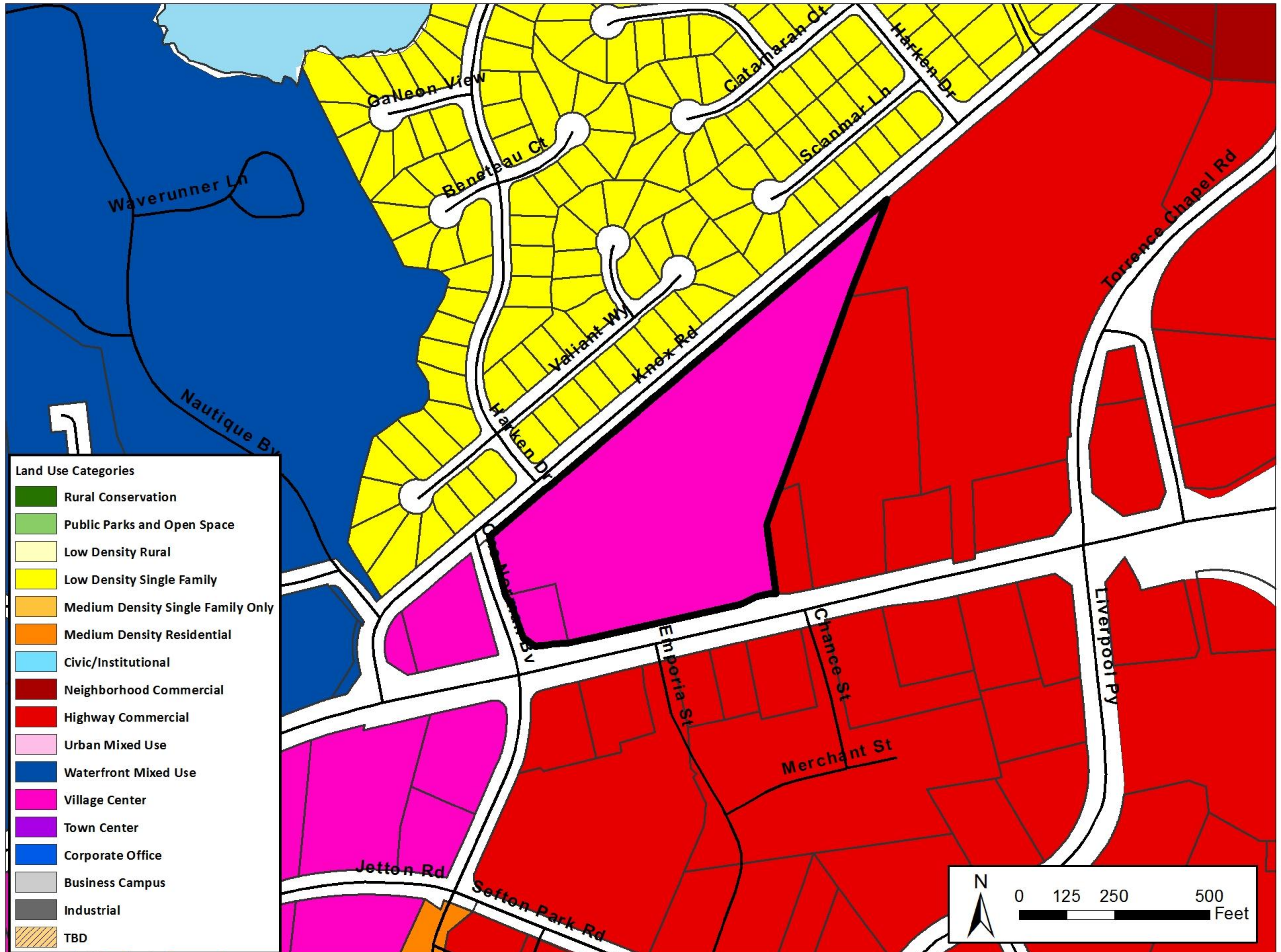
ATTACHMENTS:

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 Catawba-Knox_LU.jpg	Land Use Map	Backup Material
 Aerial_Property_Map.JPG	Aerial Property Map	Backup Material
 ARB_Checklist_Submittal_Requirements.pdf	ARB Submittal Checklist	Backup Material
 Property_Survey.pdf	Property Survey	Backup Material
 4493 - One Norman - ARB Site Plan - 0814.pdf	Site Plan	Backup Material
 Catawba at Knox - Illustrative Landscape Plan - 0403.jpg	Illustrative Site Plan	Backup Material
 West Catawba Architecture.pdf	West Catawba Architecture Comparison	Backup Material
 One Norman Cornelius_NC_08_11_17_ARB_Submittal_REDUCED.pdf	Elevation Package	Backup Material

Catawba-Knox Property



Catawba-Knox Property





Cornelius

11.05 acres

Mecklenburg

Cornelius

Cornelius



TOWN OF CORNELIUS:

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SUBMITTAL REQUIREMENTS FOR ARCHITECTURAL REVIEW BOARD

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- ☒ Color elevations, color samples, or photo examples
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- D. Decisions shall be by a simple majority of the board for those that are present at the meeting, and board members with a conflict of interest shall abstain from voting.
- E. The ARB operates in an advisory only capacity to the Planning Director, his/her staff, the Planning Board and the Town Board of Commissioners on a project by project basis. On cases that will be heard by the Planning Board and Town Board of Commissioners for final recommendation, the ARB’s recommendations will typically be noted in the staff report and staff analysis of the specific project.

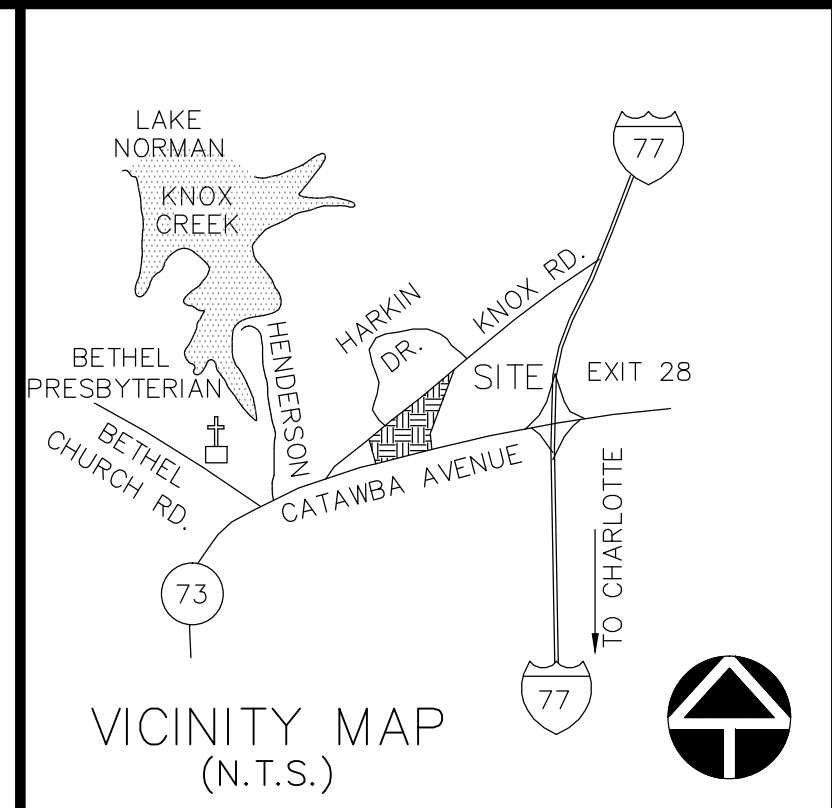
Preliminary.
Not for recordation,
sales or conveyances.

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



SURVEYOR'S NOTES:

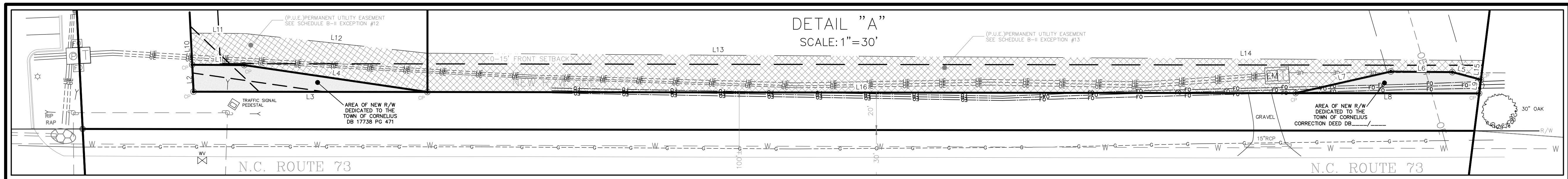
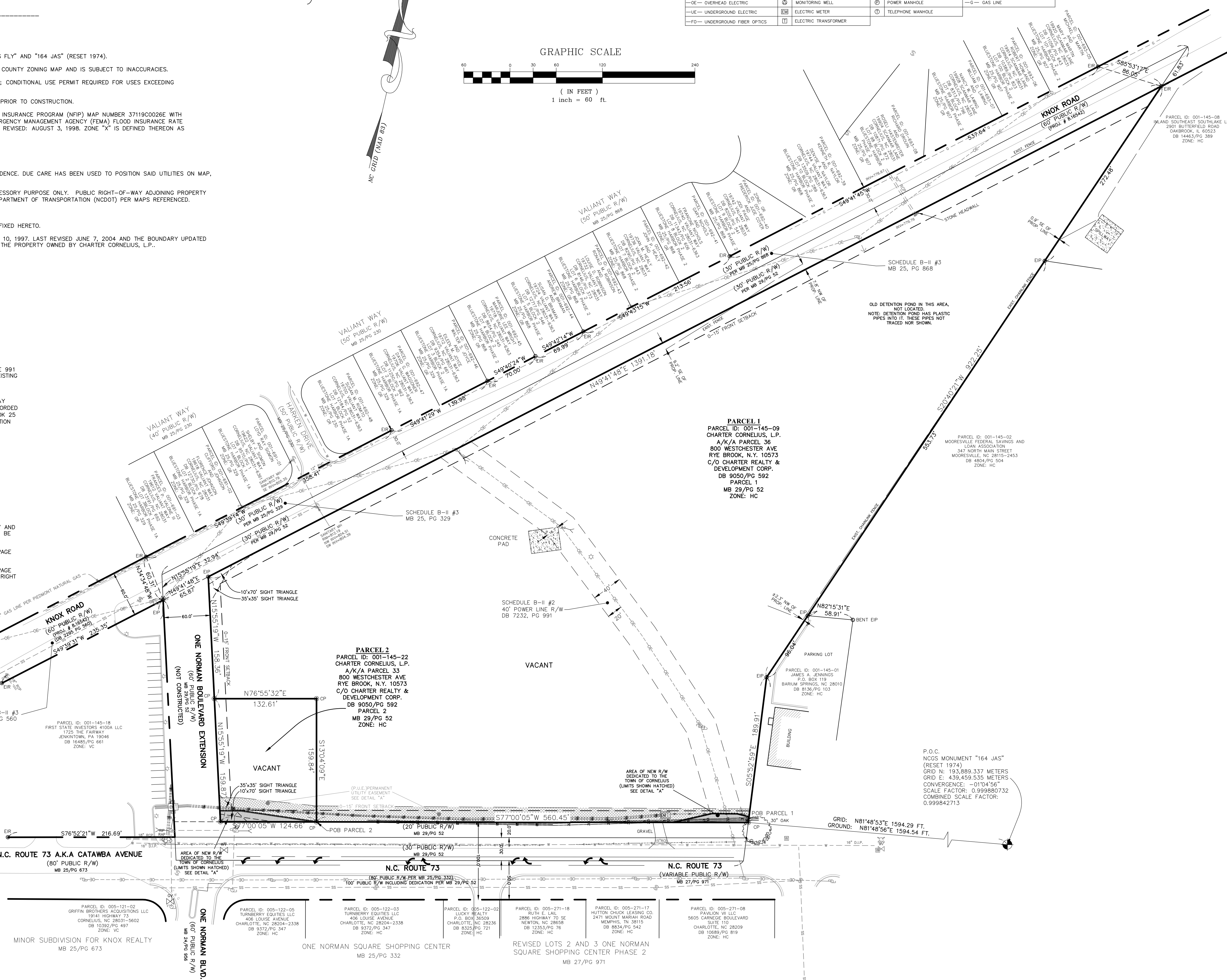
- 1) NORTH ORIENTATION BASED ON NORTH CAROLINA GEODETIC SURVEY MONUMENTS "HOSS FLY" AND "164 JAS" (RESET 1974).
- 2) ZONING INFORMATION SHOWN HEREON WAS OBTAINED FROM CHARLOTTE-MECKLENBURG COUNTY ZONING MAP AND IS SUBJECT TO INACCURACIES.
- 3) ZONE "HC" IS HIGHWAY COMMERCIAL - COMMERCIAL USES UP TO 30000 SQUARE FEET; CONDITIONAL USE PERMIT REQUIRED FOR USES EXCEEDING 30000 SQUARE FEET.
- 4) SETBACK LINES SHOWN HEREON BASED ON COUNTY ZONING AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
- 5) PARCELS SHOWN HEREON LIE WITHIN FLOOD ZONE "X" AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) MAP NUMBER 37119C02062E WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2004. THIS MAP ALSO REFERS TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) UNINCORPORATED AREAS COMMUNITY PANEL NUMBER 370158 0015 C MAP REVISED: AUGUST 3, 1998. ZONE "X" IS DEFINED THEREON AS AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN.
- 6) PARCELS SHOWN HEREON LIE WITHIN WATERSHED: LAKE NORMAN, CLASS; CA.
- 7) NO ENVIRONMENTAL ISSUES ADDRESSED DURING THE PERFORMANCE OF THIS SURVEY.
- 8) UTILITIES SHOWN HEREON ARE FROM GROUND SURVEY, RECORD MAPS AND PAROLE EVIDENCE. DUE CARE HAS BEEN USED TO POSITION SAID UTILITIES ON MAP BUT INACCURACIES OR DEFICIENCIES MAY EXIST.
- 9) PROPERTY CORNERS OF BLUESTONE HARBOR PHASE 1 AND PHASE 2 SHOWN FOR ACCESSORY PURPOSE ONLY. PUBLIC RIGHT-OF-WAY ADJOINING PROPERTY ALONG KNOX ROAD AND N.C. ROUTE 73 HAS BEEN DEDICATED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) PER MAPS REFERENCED.
- 10) SITE HAS HAD GRADING ACTIVITIES SINCE 2004 SURVEY.
- 11) THIS MAP IS INVALID UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL ARE AFFIXED HERETO.
- 12) THIS SURVEY BASED ON PREVIOUS SURVEYS BY QDA DESIGN ASSOCIATES DATED APRIL 10, 1997. LAST REVISED: JUNE 7, 2004 AND THE BOUNDARY UPDATED ON JUNE 5, 2004 AND THAT, EXCEPT AS NOTED HEREON, IT CORRECTLY REPRESENTS THE PROPERTY OWNED BY CHARTER CORNELIUS, L.P..

SCHEDULE B-II EXCEPTIONS

1. NOT A MATTER OF SURVEY

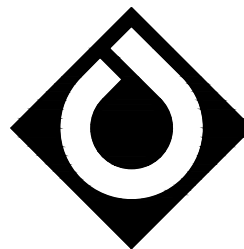
2. EASEMENT TO CRESCENT ELECTRIC MEMBERSHIP CORP RECORDED IN BOOK 7232, PAGE 911 OF MECKLENBURG COUNTY REGISTRY, AS SHOWN ON SURVEY, NOTE CONCRETE PAD INSIDE EXISTING EASEMENT.
3. RIGHT OF WAY TO STATE HIGHWAY COMMISSION RECORDED IN BOOK 2295, PAGE 560, MECKLENBURG COUNTY REGISTRY, AS SHOWN ON SURVEY, DB 2295 PG 560 (RIGHT OF WAY, 20' WIDE, 10' PROX) # 16542 SHOWN HEREON AS DETERMINED BY MAPS RECORDED IN MAP BOOK 25 AT PAGE 329 (A REVISION OF MAP BOOK 25 PAGE 230) AND MAP BOOK 25 AT PAGE 268 (BLUESTONE HARBOR PHASE 1A AND PHASE 2) AND EXISTING MONUMENTATION RECORDED.
4. RIGHT(S)—OF—WAY HIGHWAY 73 AND KNOX ROAD, AS SHOWN ON SURVEY.
5. NOT A MATTER OF SURVEY.
6. SEE SURVEY NOTE # 12.
7. NOT A MATTER OF SURVEY.
8. NOT A MATTER OF SURVEY.
9. NOT A MATTER OF SURVEY.
10. NOT A MATTER OF SURVEY.
11. EASEMENTS TO CORNELIUS MUTUAL CORPORATION RECORDED IN BOOK 1546, PAGE 57 AND 1546, PAGE 103, MECKLENBURG COUNTY REGISTRY, IS GENERAL IN NATURE AND CAN NOT BE PLOTTED.
12. PERMANENT UTILITY EASEMENT TO TOWN OF CORNELIUS RECORDED IN BOOK 17738, PAGE 178, MECKLENBURG COUNTY REGISTRY, AS SHOWN ON SURVEY.
13. PERMANENT UTILITY EASEMENT TO TOWN OF CORNELIUS RECORDED IN BOOK 17738, PAGE 487, MECKLENBURG COUNTY REGISTRY, AS MODIFIED BY CORRECTION DEED FOR HIGHWAY RIGHT OF WAY, RECORDED IN BOOK _____, PAGE _____, MECKLENBURG COUNTY REGISTRY, AS SHOWN ON SURVEY.

LINE TABLE		
LINE	LENGTH	BEARING
L1	27.77	S77°19'21"W
L2	14.38	S15°55'19"E
L3	124.66	N77°00'05"E
L4	98.65	S85°16'42"W
L5	15.70	N88°25'05"W
L6	32.80	S77°29'58"W
L7	51.98	S84°07'45"W
L8	92.75	N77°00'05"E
L9	7.40	N05°02'59"W
L10	16.93	S15°55'19"E
L11	28.73	S77°19'21"W
L12	98.05	S83°04'55"W
L13	309.85	S77°19'21"W
L14	252.83	S77°19'21"W
L15	10.30	N05°02'59"W
L16	462.69	N77°00'05"E



NO. REVISIONS (1) 12/17/96 REVISE SCALE, SHEET SIZE, AND TITLE. (2) 01/10/97 REVISE DATUM, ADD'L SANITARY TITLE. (3) 01/27/97 UPDATE TO ALTA SPECS. (4) 06/07/04 REFER TO UPDATE NOTES. (5) 02/28/07 SHOW PROPOSED NCDOT R/W & UPDATED TITLE COMMITMENT. (6) 04/22/07 REVISIONS PER ATTORNEY COMMENTS & UPDATED TITLE COMMITMENT.	OWNER ADDRESS: CHARTER CORNELIUS, L.P. 800 WESTCHSTER AVE. P.O. BOX 10273 C/O CHARTER REALTY & DEVELOPMENT CORP.		<h2 style="text-align: center; margin: 0;">STEWART</h2> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> 428 East Fourth Street Suite 408 (704) 373-1907 Charlotte, NC 28202 </div> <div style="width: 45%;"> 200 S COLLEGE STREET Suite 720 (704) 334-7925 Charlotte, NC 28202 </div> </div> <p style="text-align: center; margin-top: 10px;"> Surveying • Landscape Architecture • Civil Engineering </p>
<p>TITLE:</p> <h3 style="margin: 0;">ALTA/ACSM 2005 LAND TITLE SURVEY</h3> <p style="margin: 0;">UPDATE OF PROPERTY</p> <p style="margin: 0;">DESCRIBED IN DEED BOOK 9050 AT PAGE 592,</p> <p style="margin: 0;">COUNTY OF MECKLENBURG, STATE OF NORTH CAROLINA</p>			
SEAL:	DRAWING DATE: 12/29/2006	SURVEY DATE: 12/22/2006	PROJECT NO. <div style="font-size: 2em; font-weight: bold; text-align: center;">Z8169</div>
DRAWN BY: RSHNELLEY	CHECK BY: EAB	SHEET <div style="font-size: 2em; font-weight: bold; text-align: center;">1</div>	
PROJECT CROSS REFERENCE:	SCALE: 1"=60'		

File name: S:\CADD\PROJECTS\2006\Z6169 HANNAFORD ALTA\dwg\Z6169 ALTA UPDATE.DWG



**ColeJenest
& Stone**

Shaping the Environment
Realizing the Possibilities

Land Planning
Landscape Architecture
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Urban Design

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url+ www.colejeneststone.com

CHARTER CORNELIUS, LP

75 Holly Hill Lane, Suite 305
Greenwich, Connecticut 06830

ONE NORMAN

20101 West Catawba Avenue
Cornelius
North Carolina, 28031

SITE PLAN - ARCHITECTURAL REVIEW

Project No.
4493

Issued
08/14/17

Revised



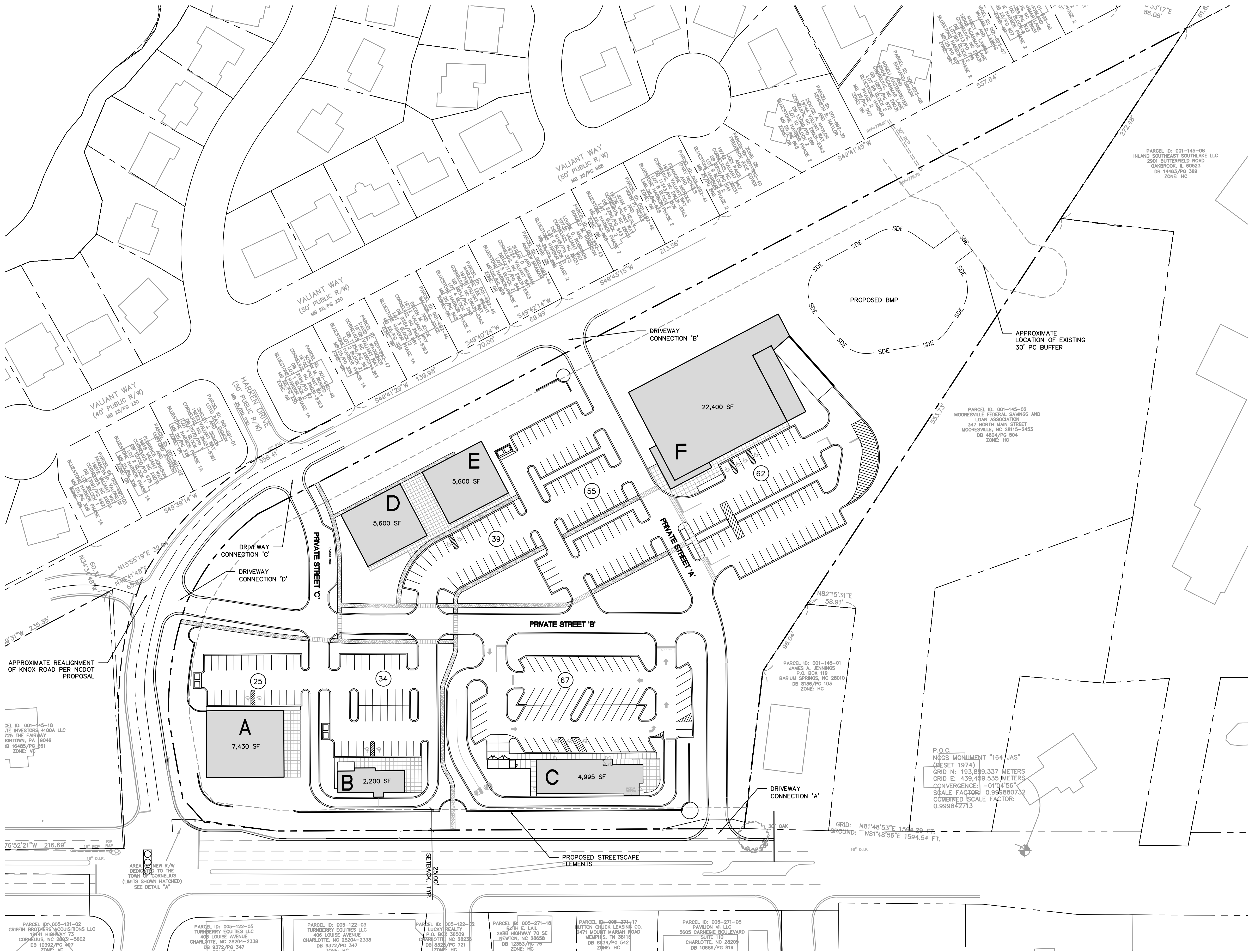
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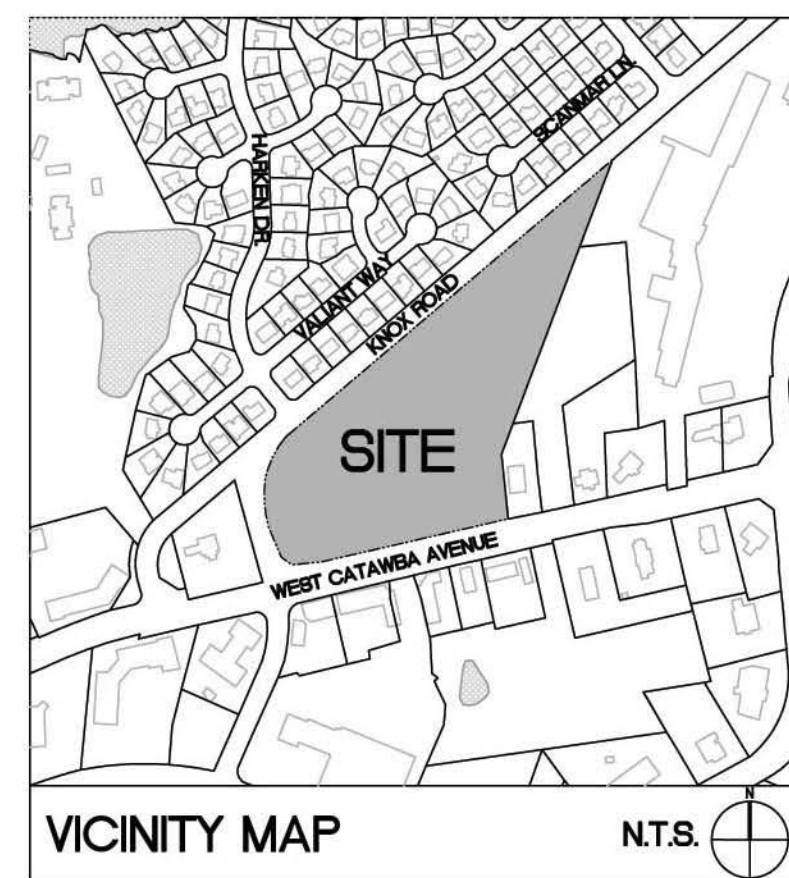
ARB-001

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- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CHARLOTTE-MECKLENBURG UTILITIES SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

[illegible]

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url+ www.colejeneststone.com

**CHARTER
CORNELIUS, LP**

**75 Holly Hill Lane, Suite 305
Greenwich, Connecticut 06830**

CATAWBA AT KNOX

20101 West Catawba Avenue
Cornelius
North Carolina, 28031

ILLUSTRATIVE LANDSCAPE PLAN

Project No.
4493

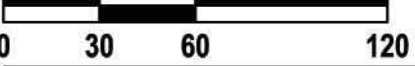
Issued
04/03/17

Revised



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
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4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

SCALE: 1"=60'



MP-002

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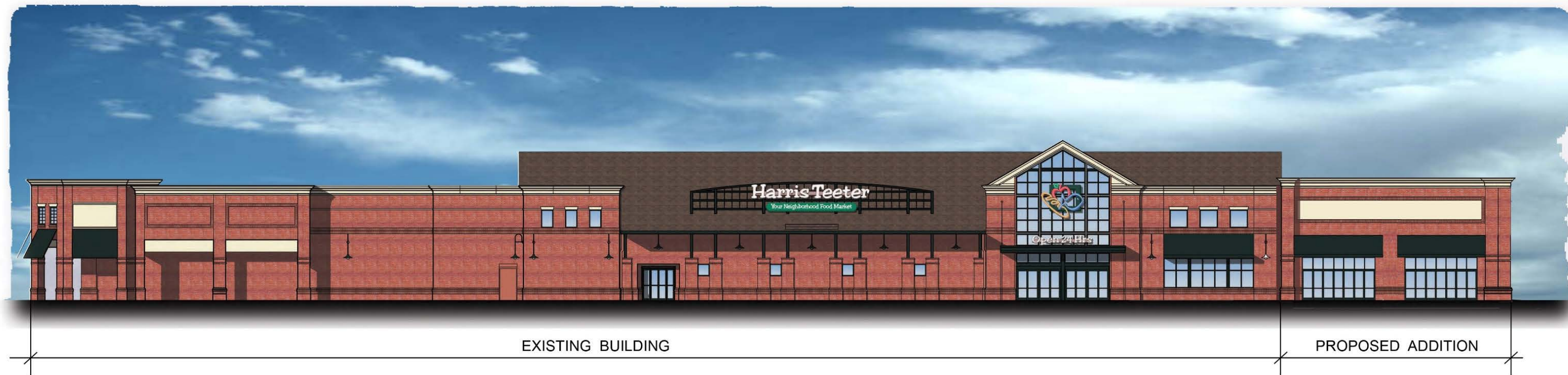
ColeJenest & Stone, P.A. 2017 ©



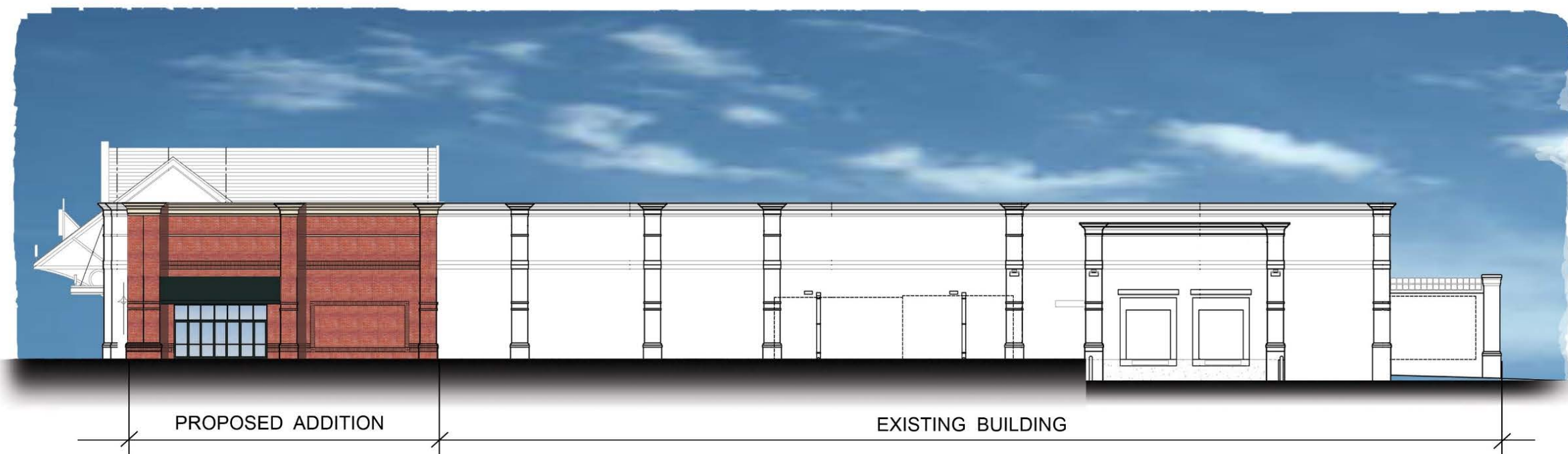
The Shops at Fresh Market

20623 Torrence Chapel Rd,
Cornelius, NC 28031
September 4, 2012



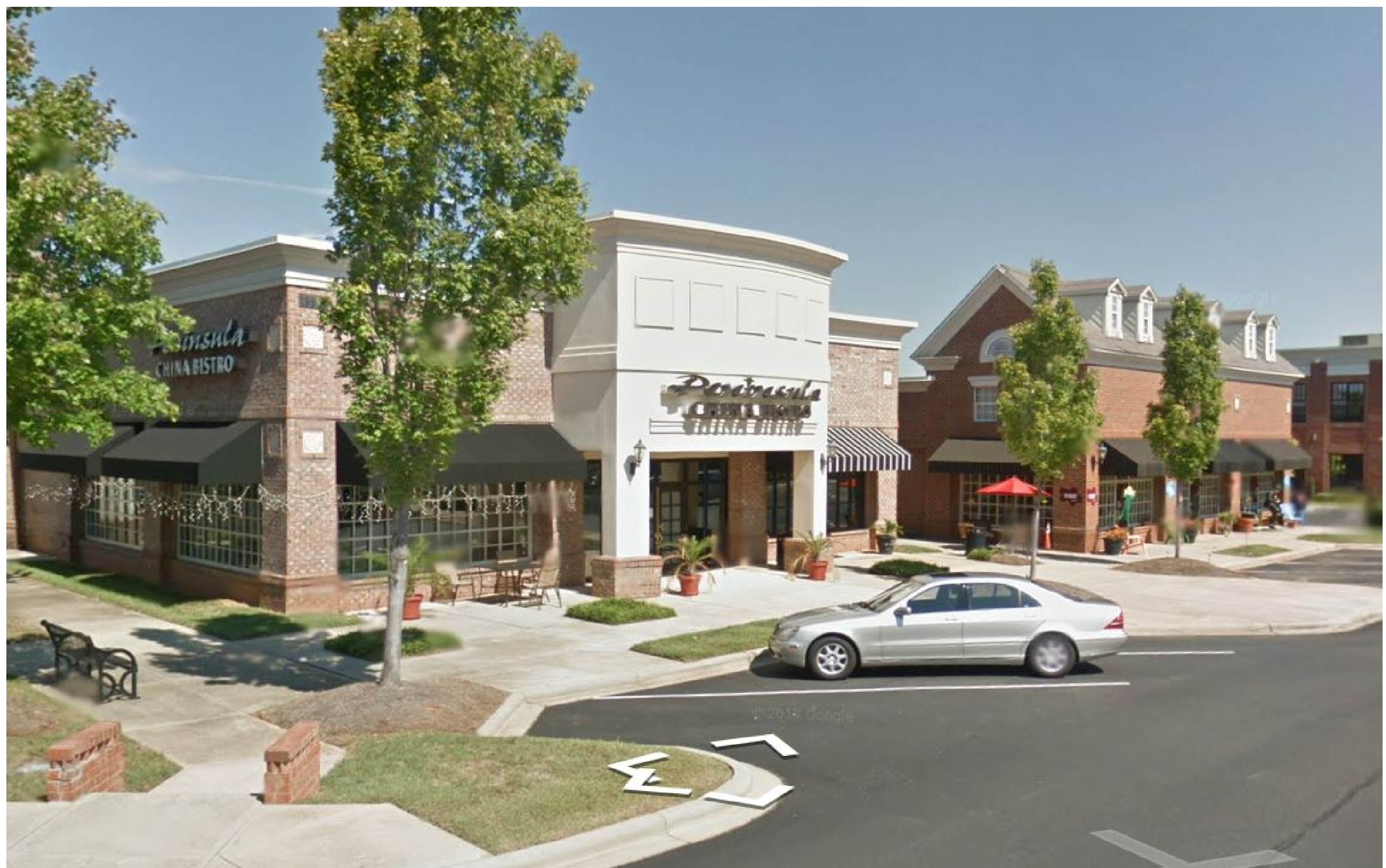


FRONT ELEVATION



SIDE ELEVATION

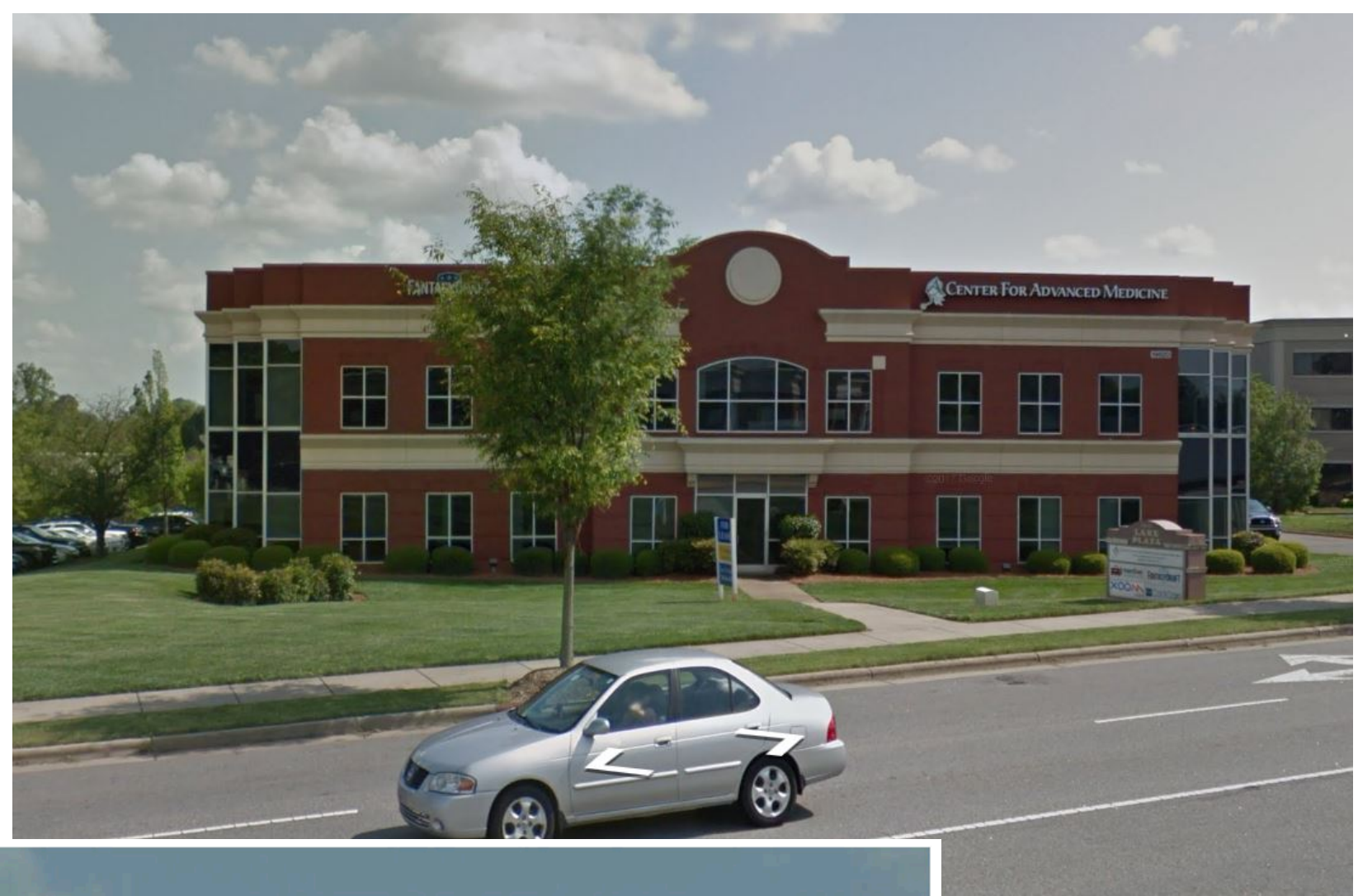
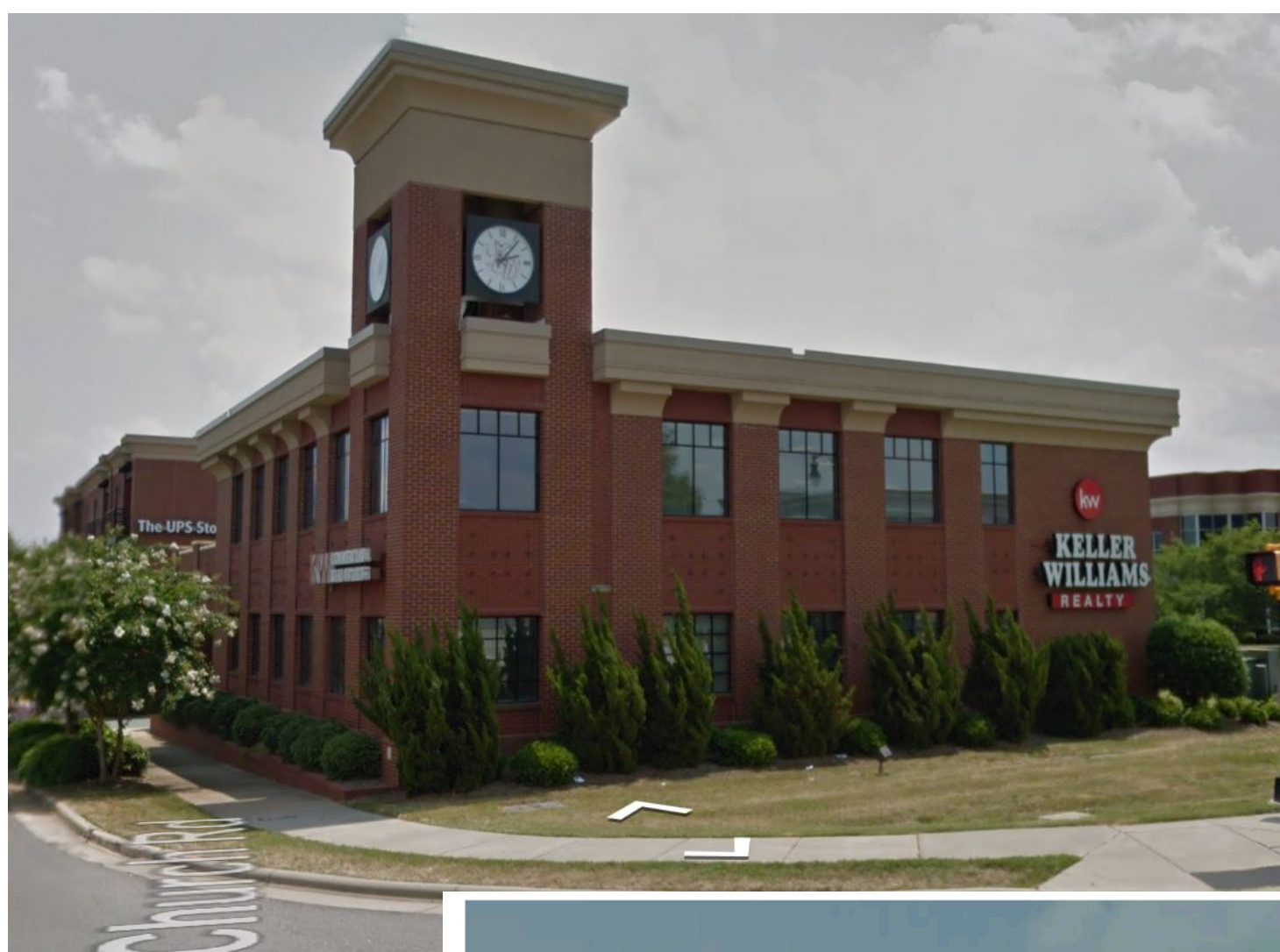






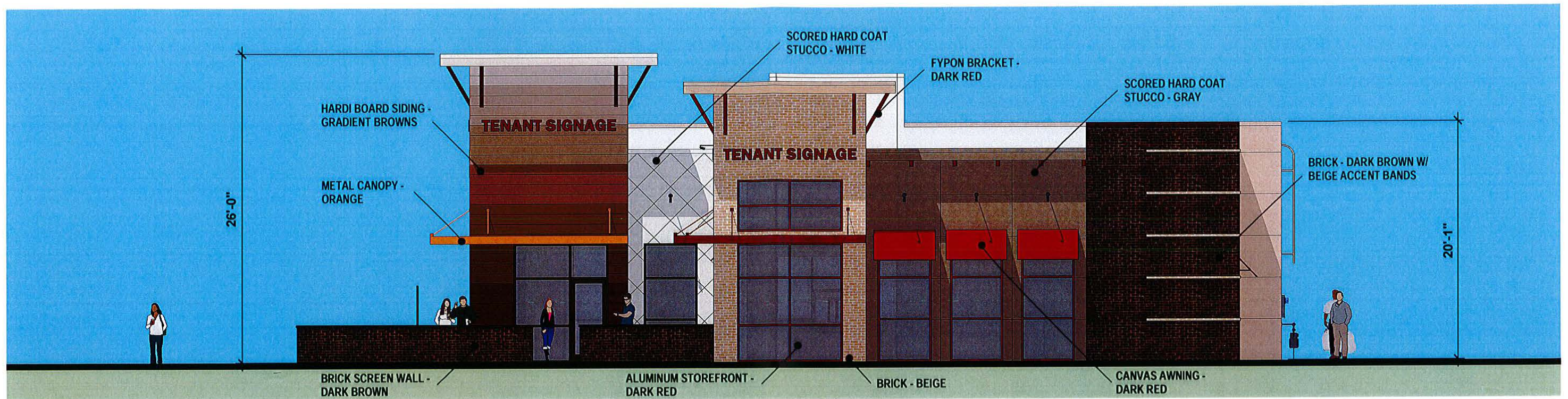




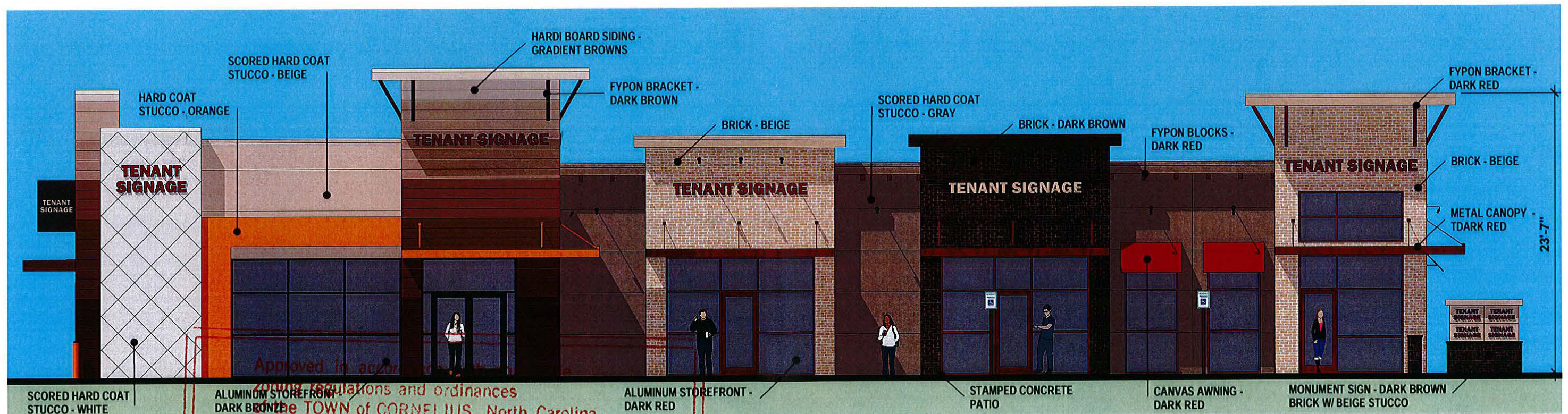


Catawba Avenue View

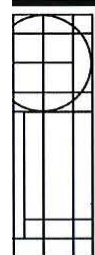




WEST ELEVATION (CATAWBA AVENUE) - Scale 1/4" = 1'-0"



NORTH ELEVATION (PARKING LOT) - Scale 1/4" = 1'-0"



ROGER LAYMAN
ARCHITECTURE
Commercial &
Residential
RLArchitecture.com

Jose J. Parley
Zoning Administrator

5/4/14
Date

CATAWBA RETAIL BUILDING PRELIMINARY APPROVAL SUBMITTAL

01/31/2014

SK-1



NORTH PERSPECTIVE



3D View of W Catawba Ave Looking Towards Corner at One Norman BLVD



3D View Building at Corner of W Catawba Ave & One Norman BLVD



3D View of Catawba Ave Opposite One Norman BLVD Corner



② One Norman Blvd Elevation
1" = 20'-0"



3D View at Corner of W Catawba Ave & One Norman BLVD



③ Corner of One Norman Blvd & W Catawba
Ave
1" = 20'-0"



① W Catawba Ave Elevation
1" = 20'-0"

Note: Elevations are conceptual and may be revised prior to final construction



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08/10/17

ARB
SUBMISSION
08/11/2017

One Norman
Elevations

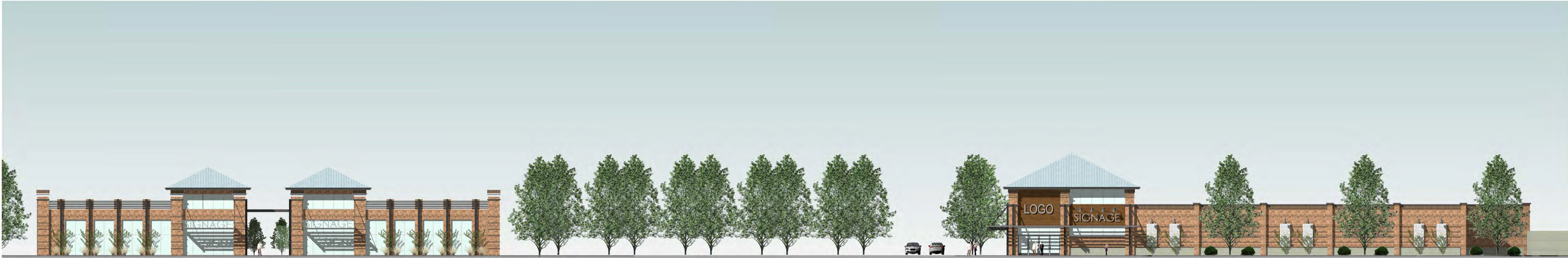
A101



3D View of Small Shops on Knox Rd Facing Parking



3D View of Grocery Facing Parking



② Parking Side Elevation of Knox Rd Buildings
1" = 20'-0"



① Grocery Rear Elevation on Knox Rd
1" = 20'-0"

Note: Elevations are conceptual and
may be revised prior to final construction



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One Norman
Elevations

A102



3D View on W Catawba Ave Opposite One Norman Blvd Corner with Monument Sign and Gateway Icon



3D View Looking Toward Corner on W Catawba Ave & One Norman Blvd



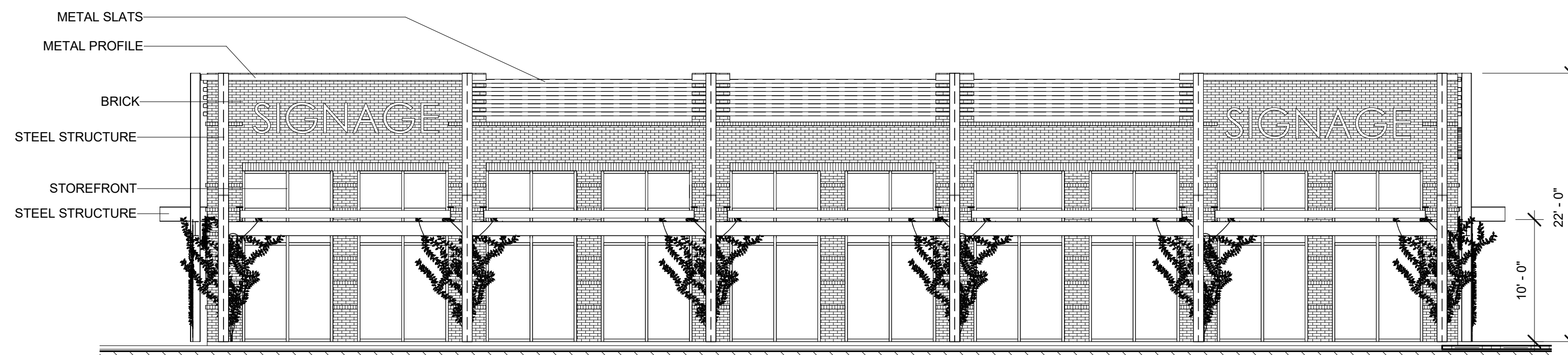
① Catawba Rd Building Elevations Toward
Parking
1" = 20'-0"

Note: Elevations are conceptual and
may be revised prior to final construction

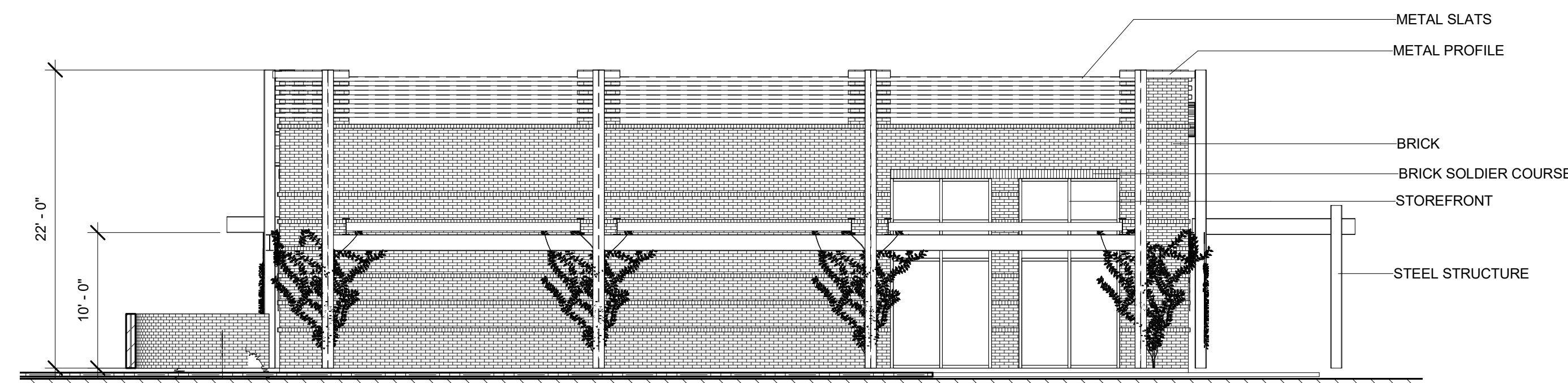
ARB
SUBMISSION
08/11/2017

One Norman
Elevations

A103



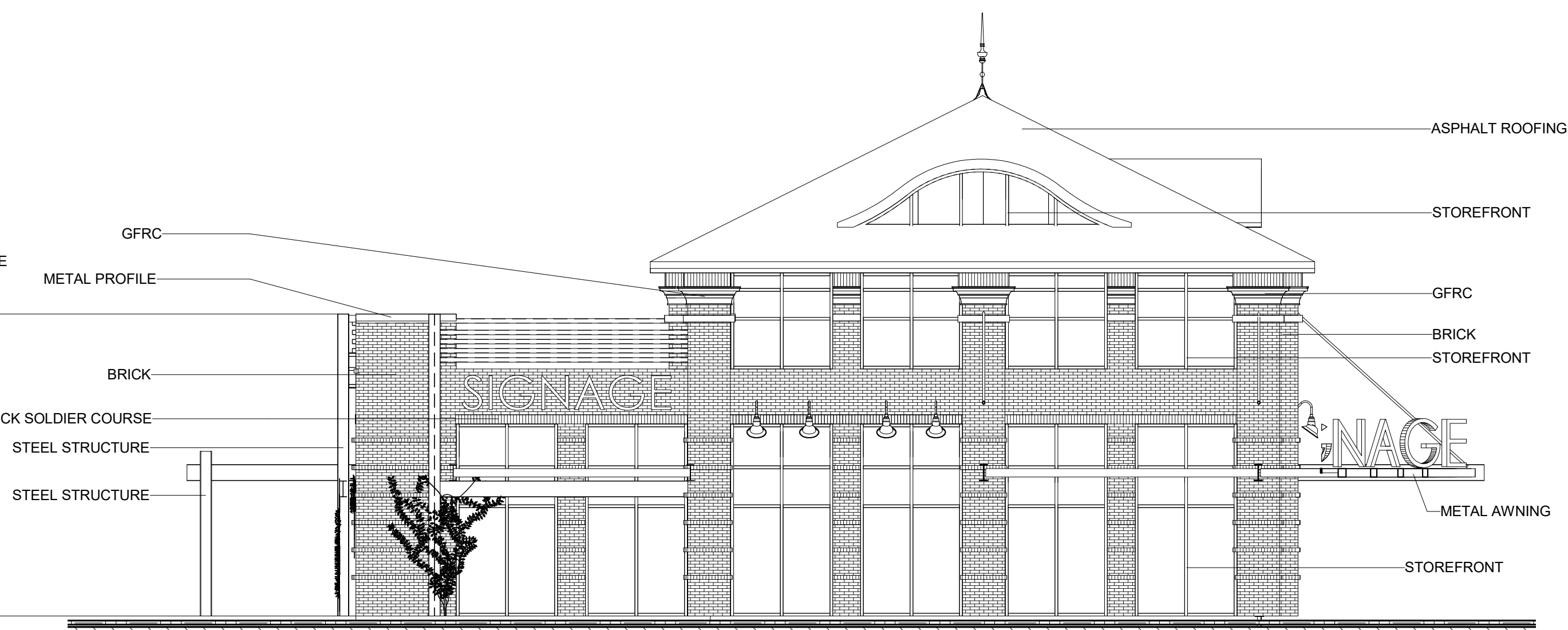
② Building A - North Elevation
1/8" = 1'-0"



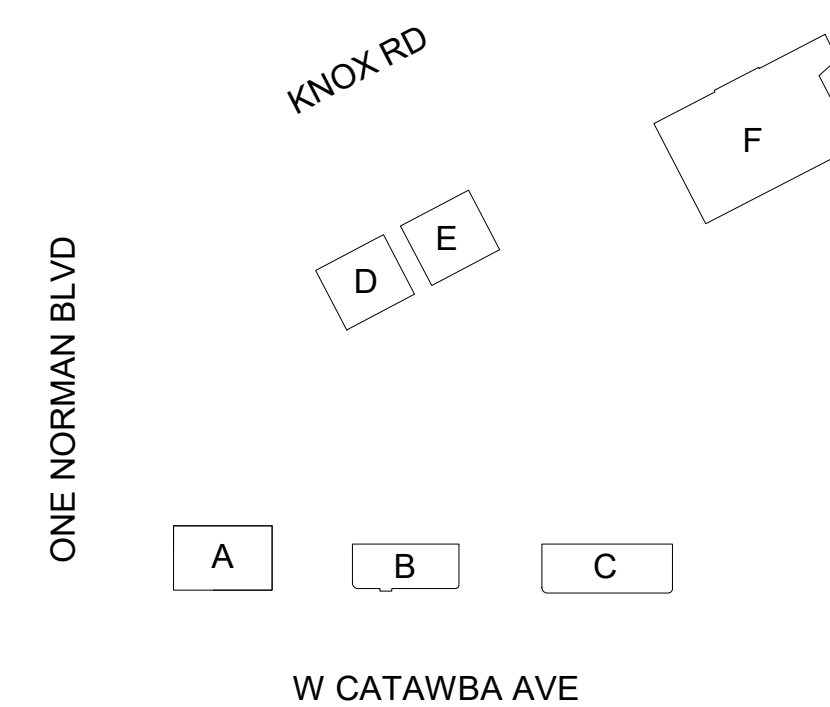
① Building A - East Elevation
1/8" = 1'-0"



③ Building A - South Elevation
1/8" = 1'-0"

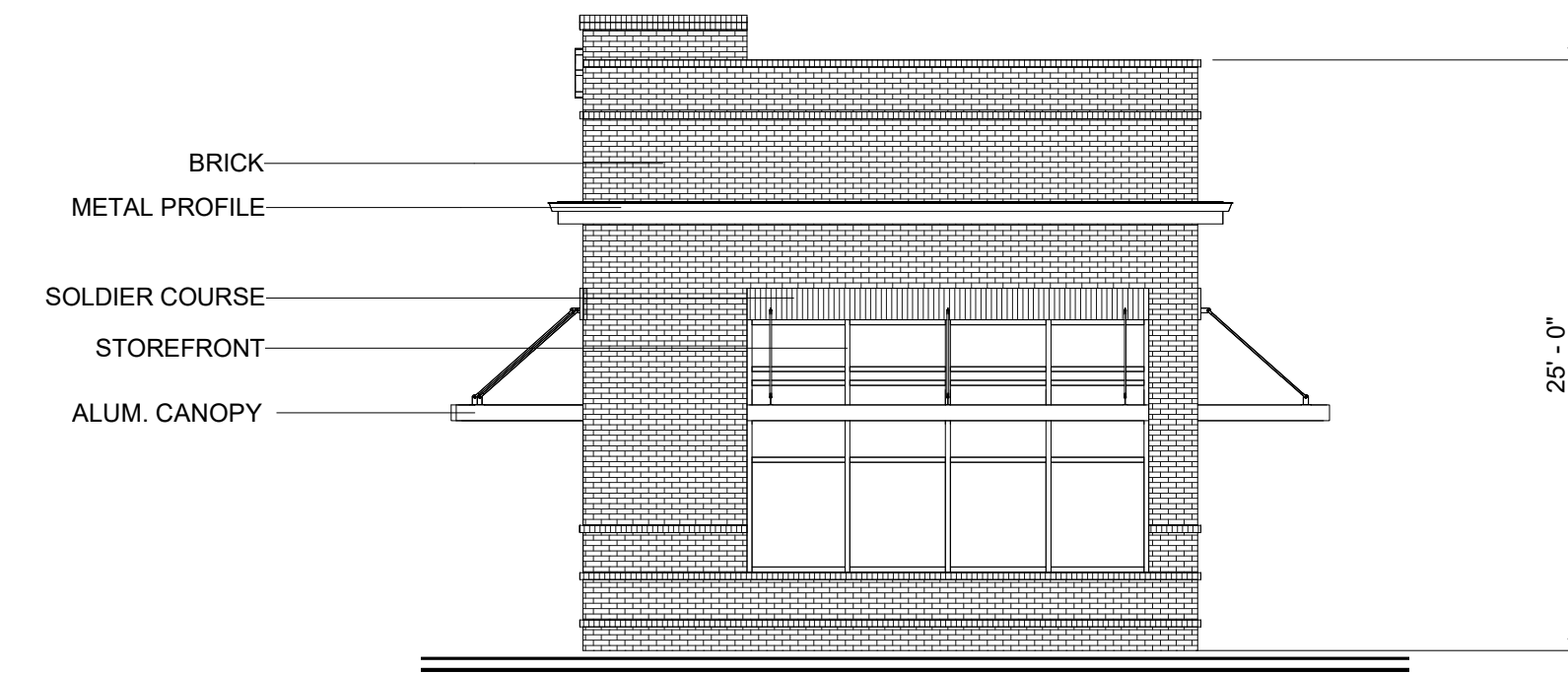


④ Building A - West Elevation
1/8" = 1'-0"

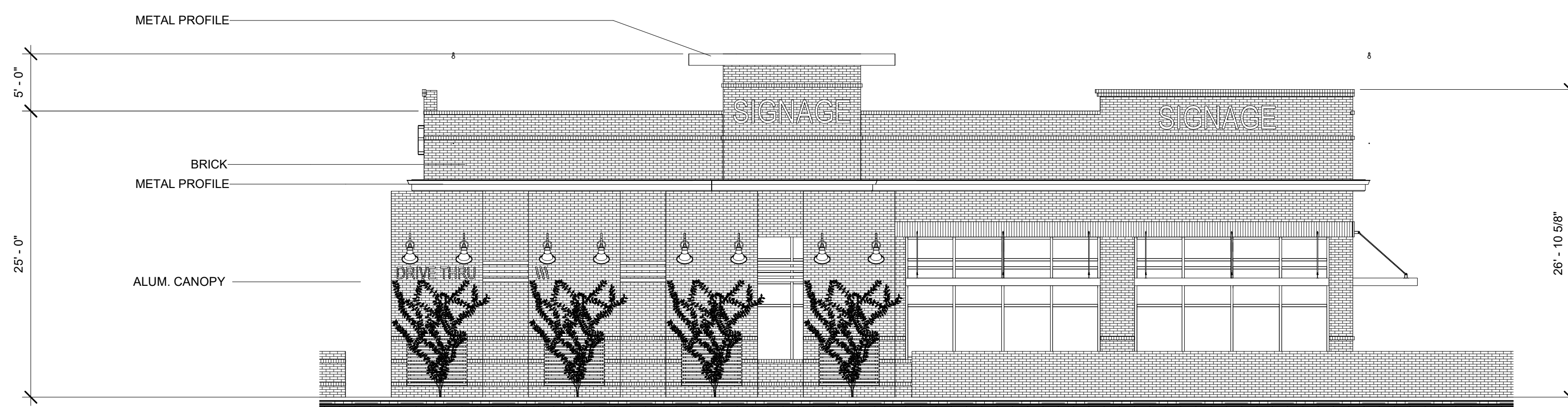




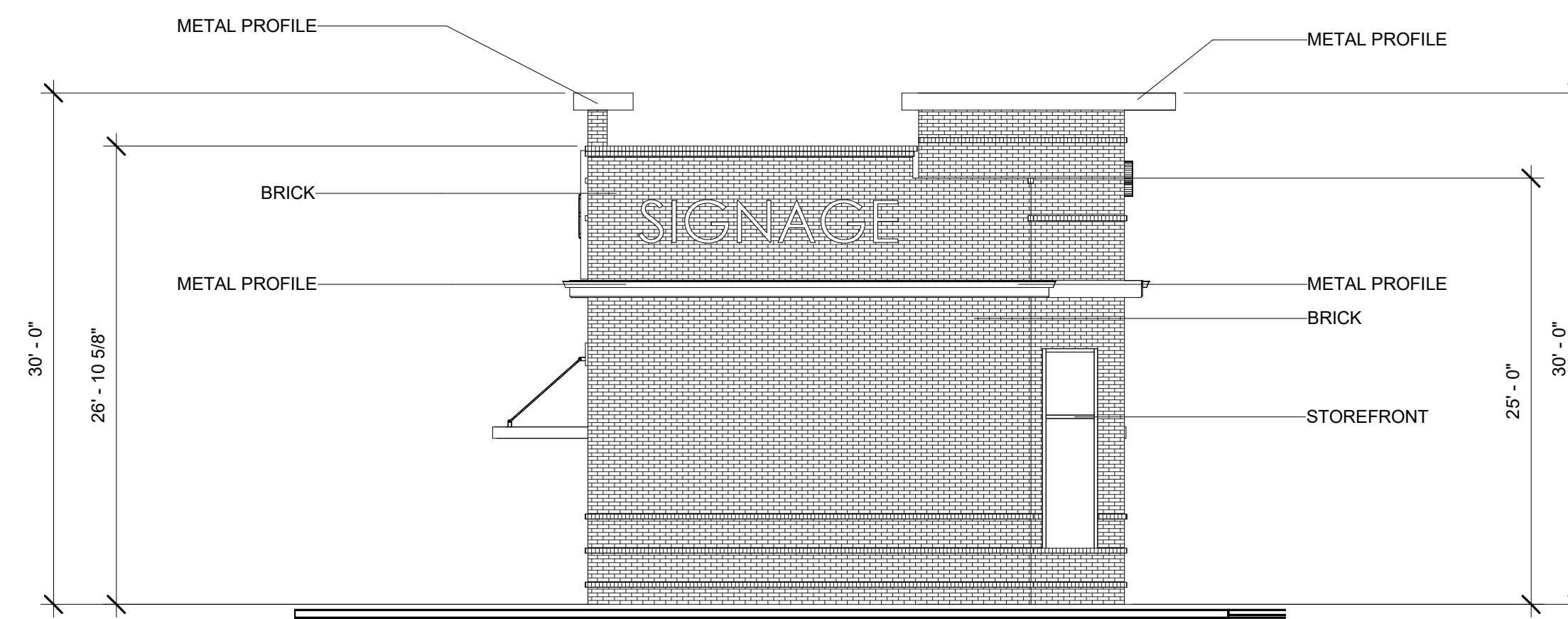
② Building B - North Elevation
1/8" = 1'-0"



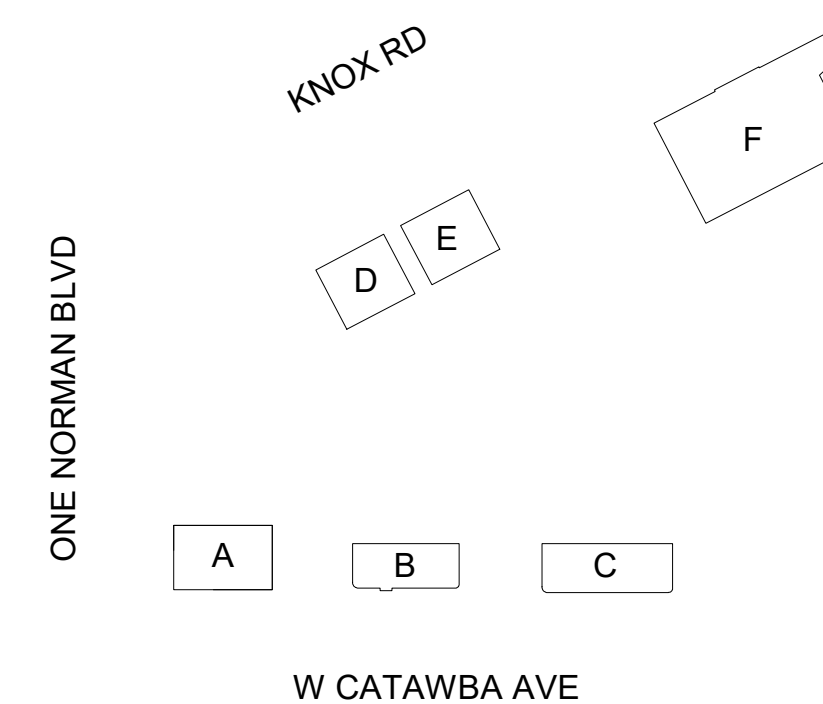
① Building B - East Elevation
1/8" = 1'-0"



③ Building B - South Elevation
1/8" = 1'-0"

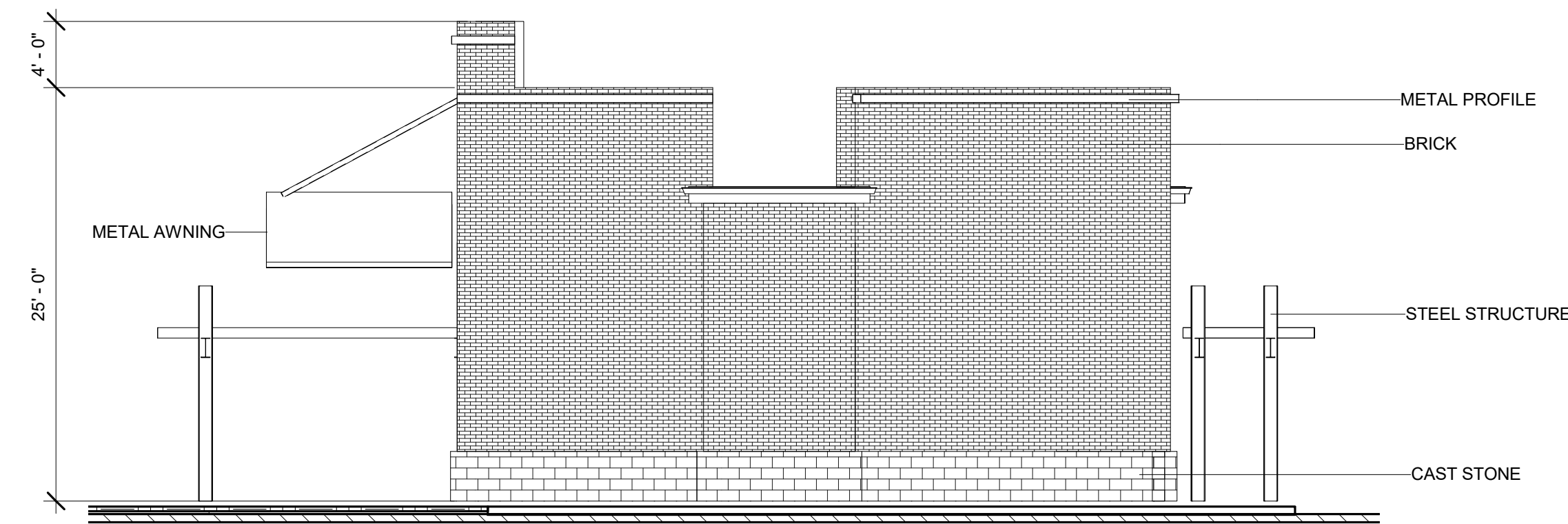


④ Building B - West Elevation
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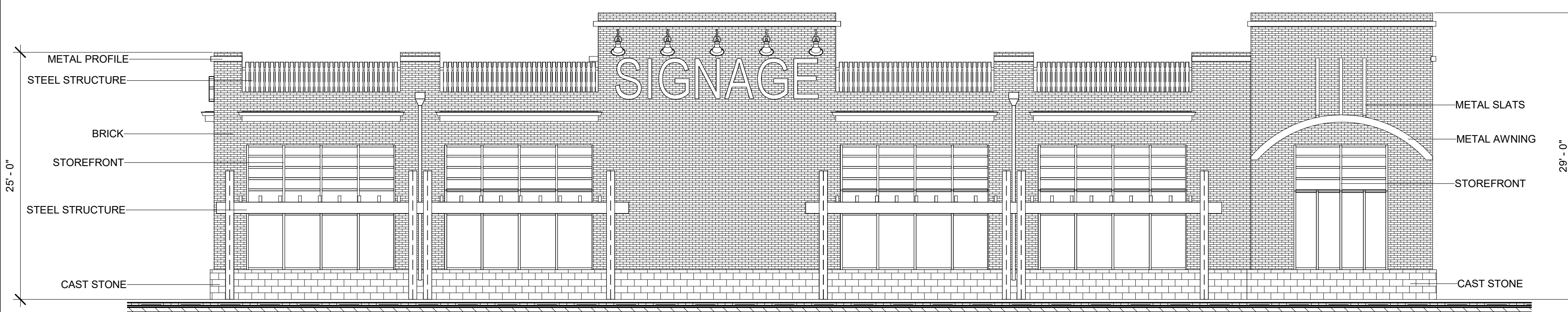




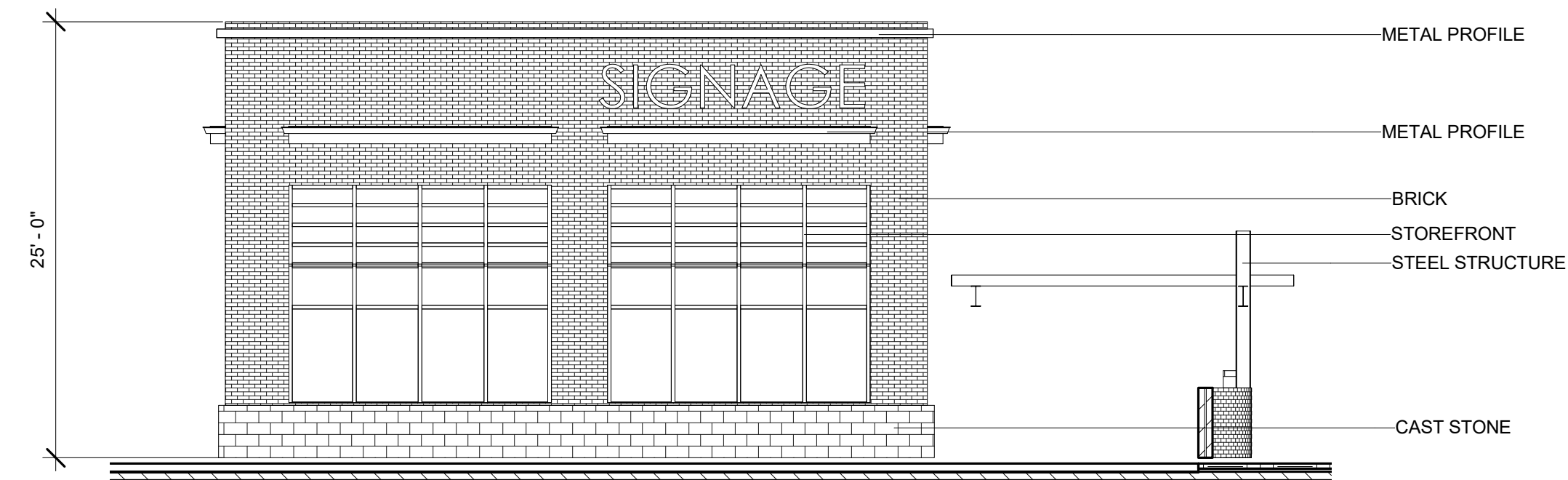
② Building C - North Elevation
1/8" = 1'-0"



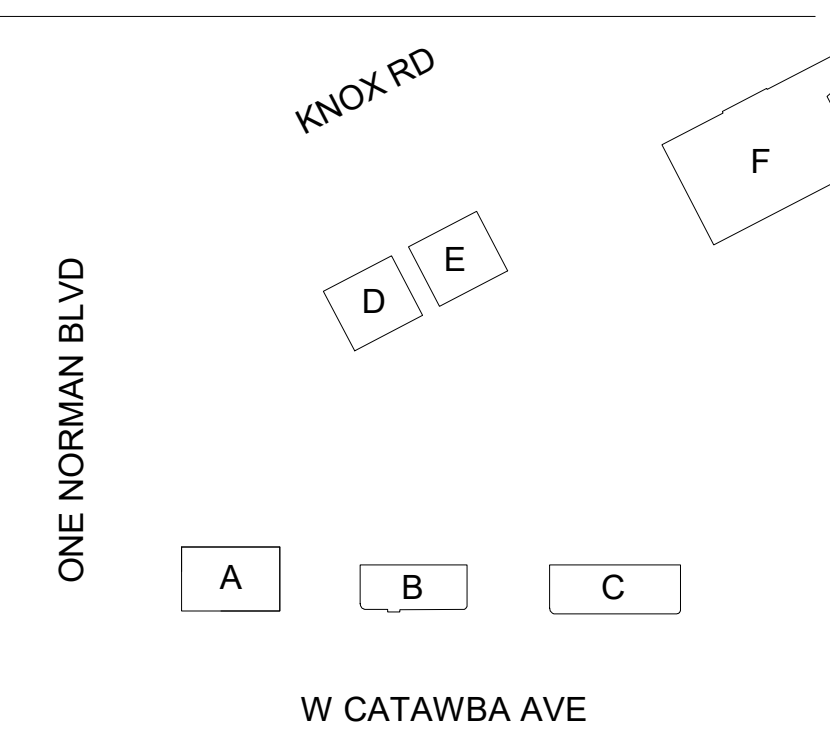
① Building C - East Elevation
1/8" = 1'-0"



③ Building C - South Elevation
1/8" = 1'-0"



④ Building C - West Elevation
1/8" = 1'-0"

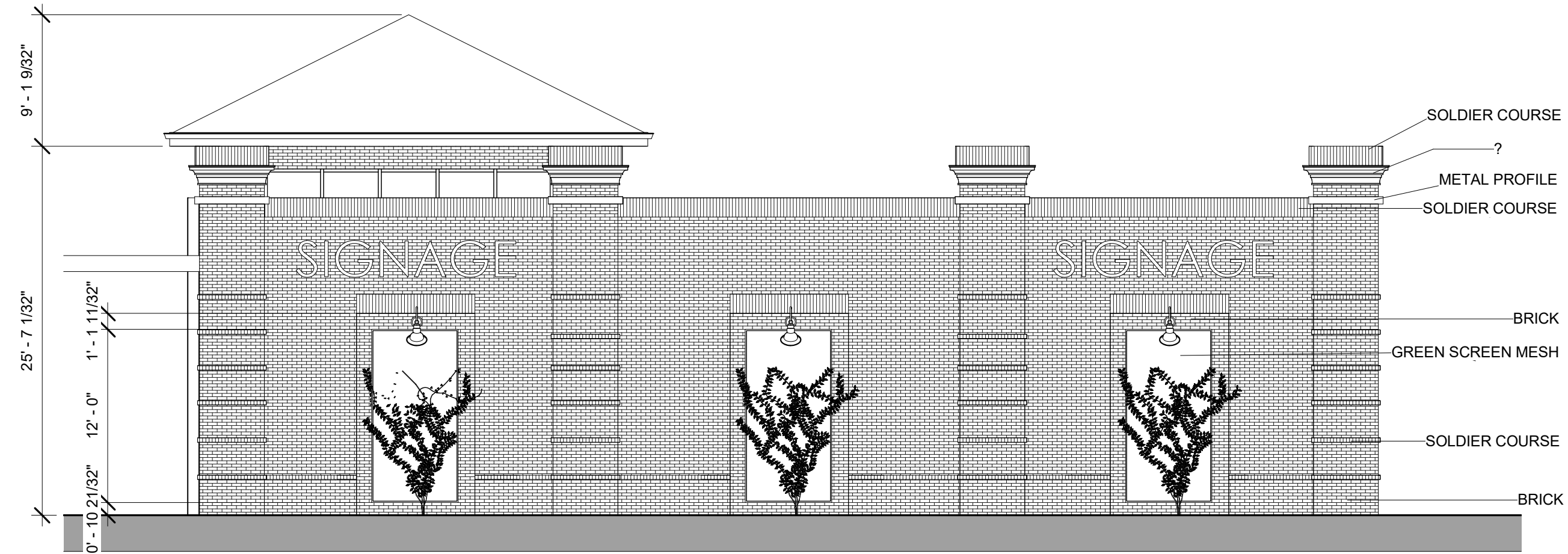


One Norman
Building C Elevations

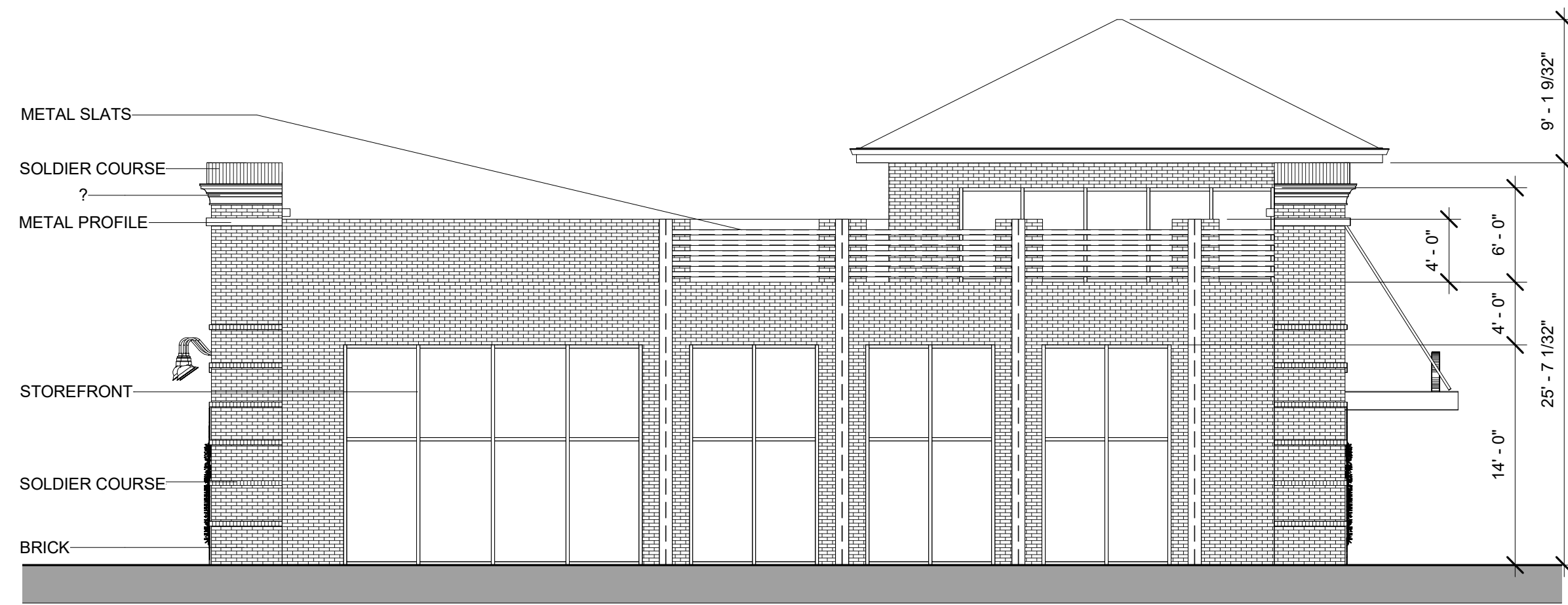
A106



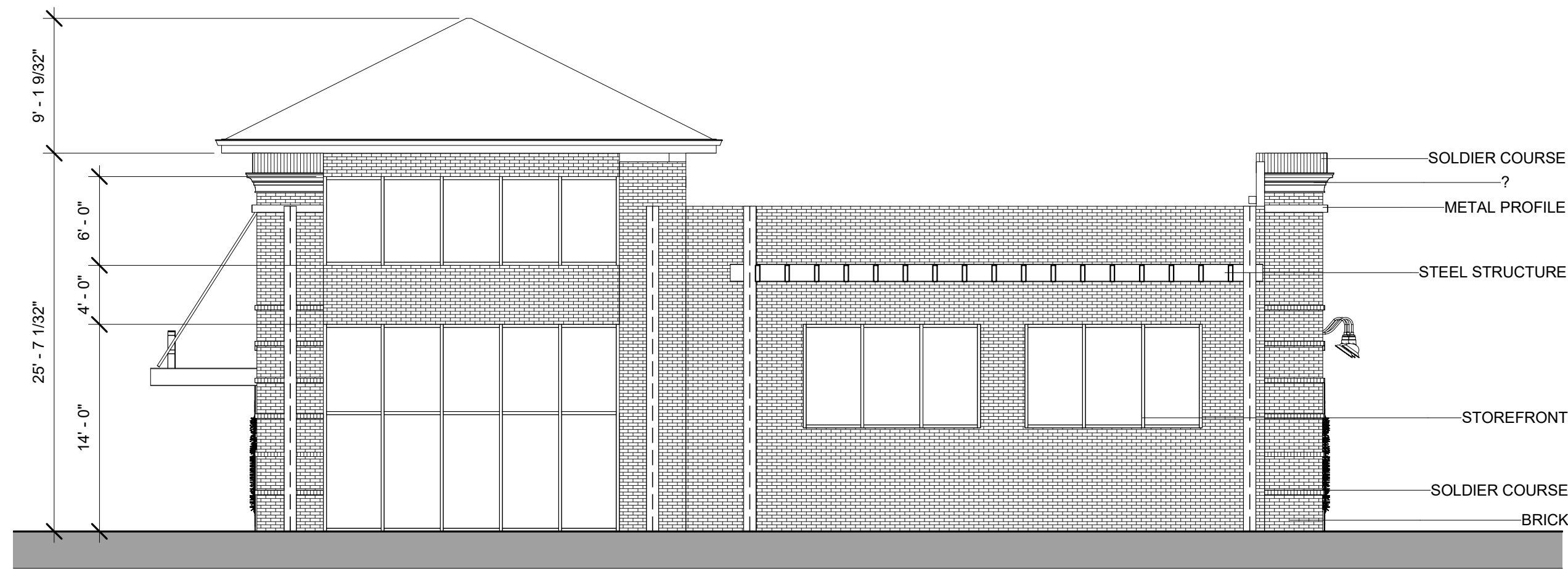
① Building D - South Elevation
1/8" = 1'-0"



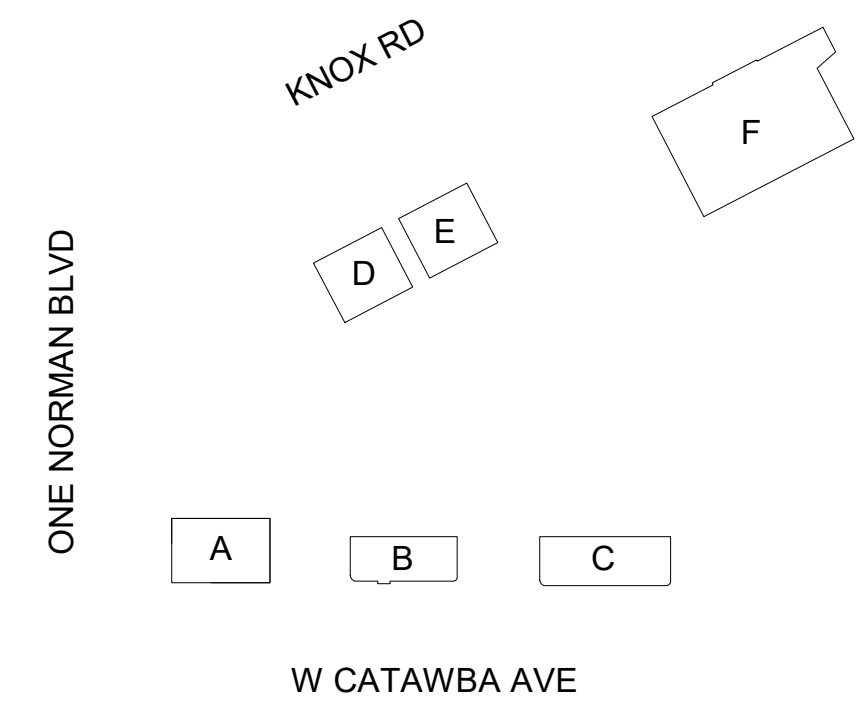
② Building D - North Elevation
1/8" = 1'-0"

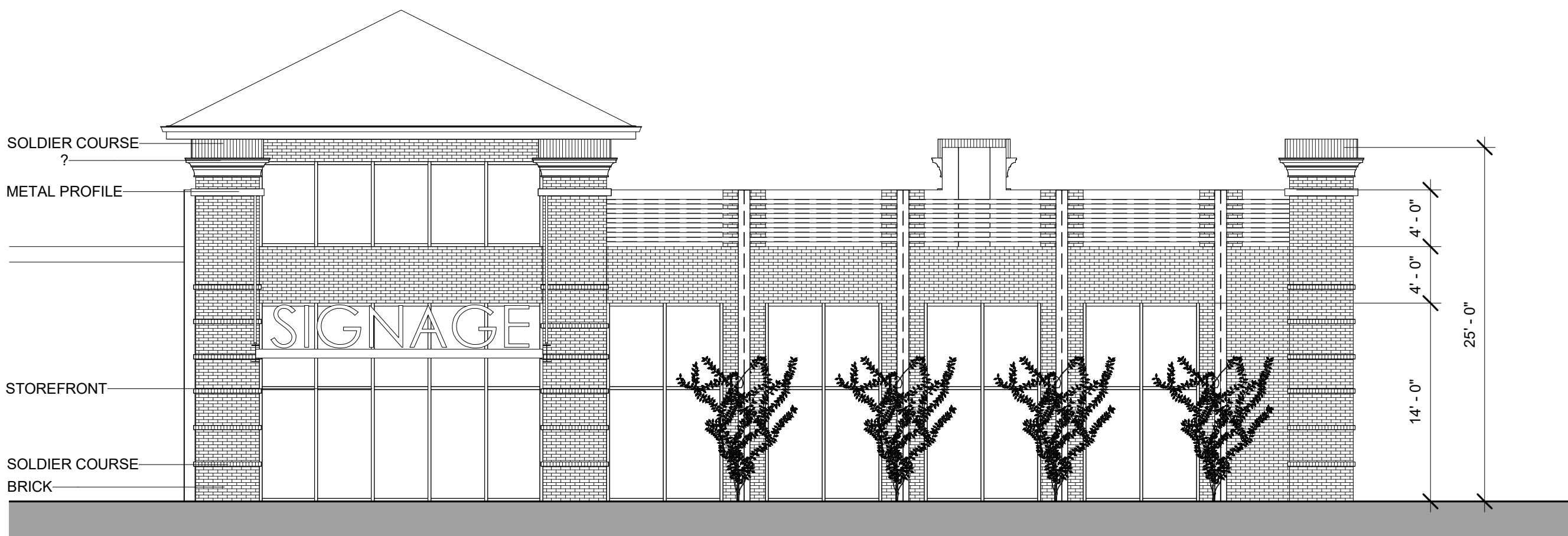


③ Building D - East Elevation
1/8" = 1'-0"

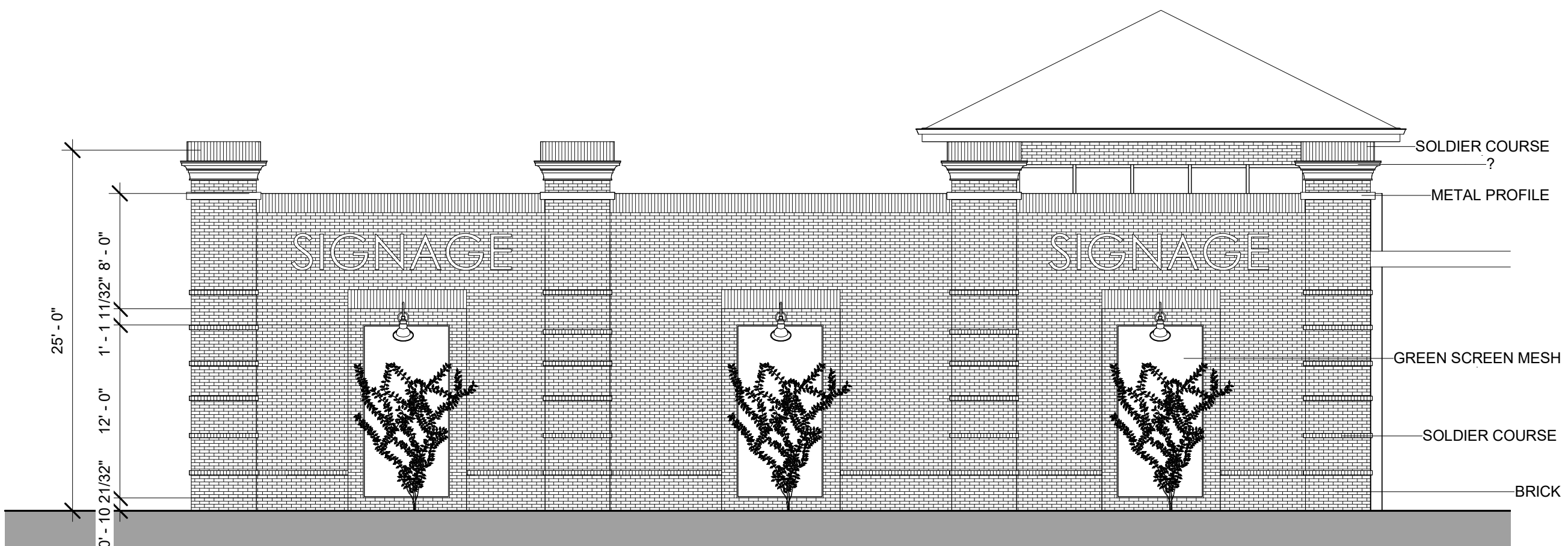


④ Building D - West Elevation
1/8" = 1'-0"

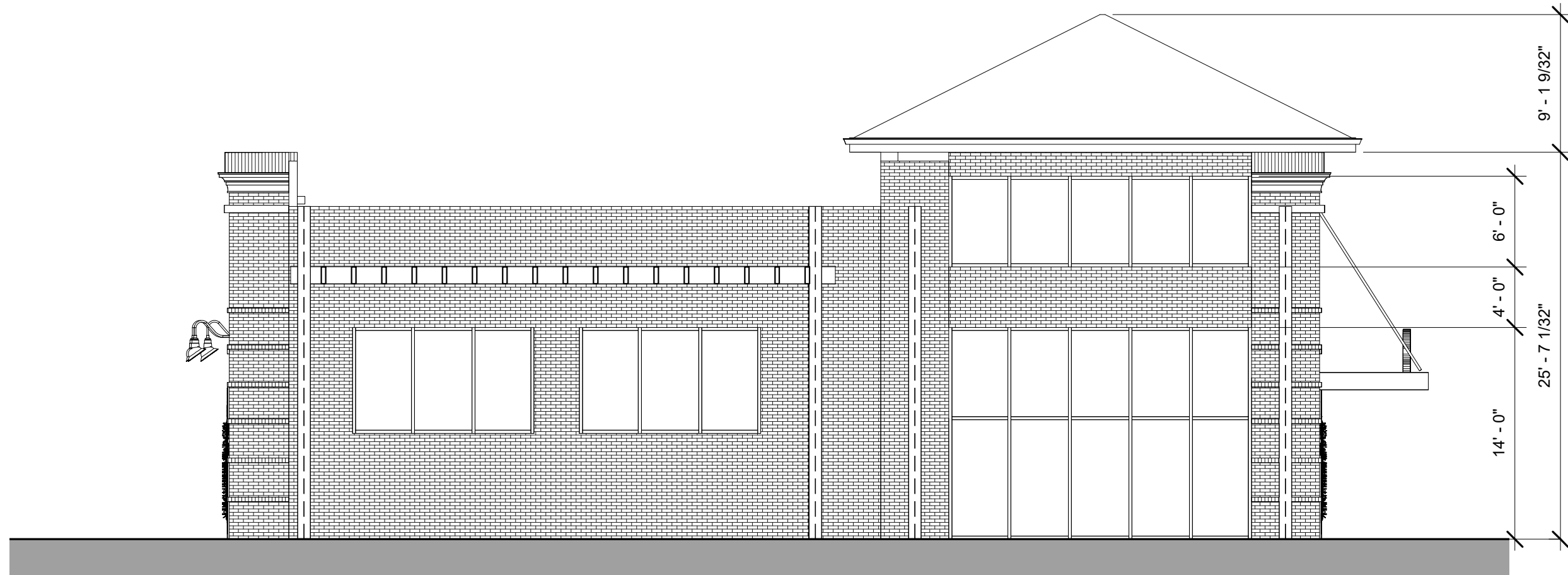




① Building E - South Elevation
1/8" = 1'-0"



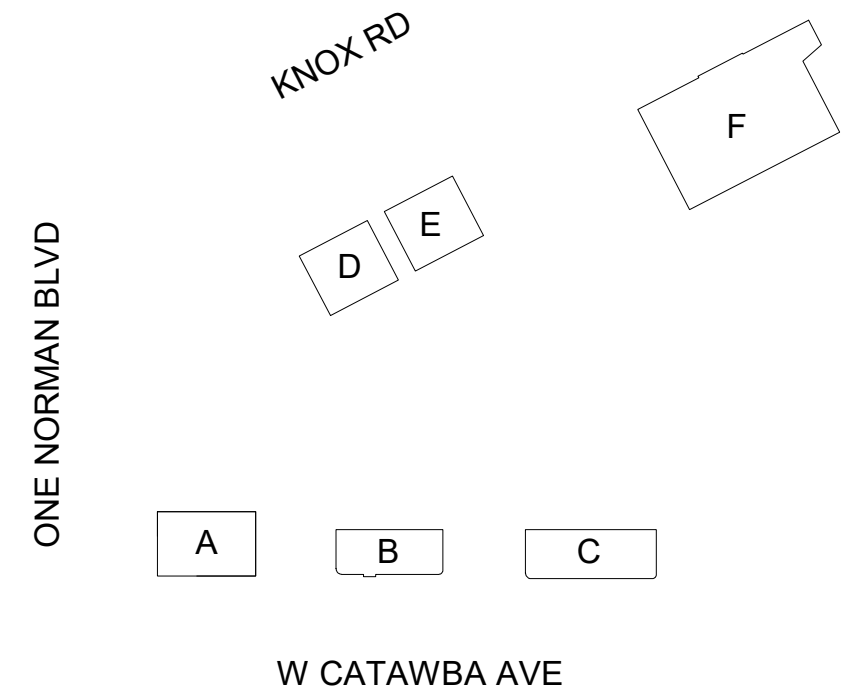
② Building E - North Elevation
1/8" = 1'-0"



③ Building E - East Elevation
1/8" = 1'-0"



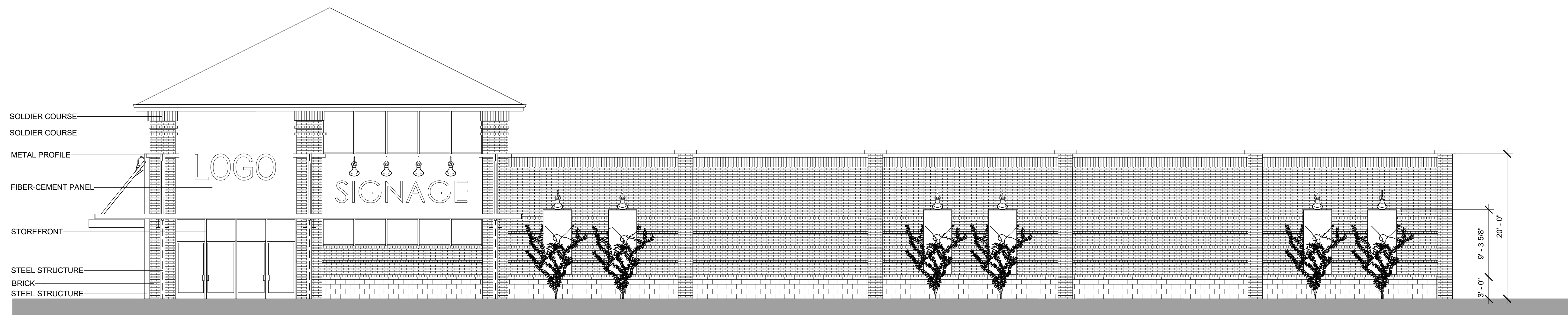
④ Building E - West Elevation
1/8" = 1'-0"



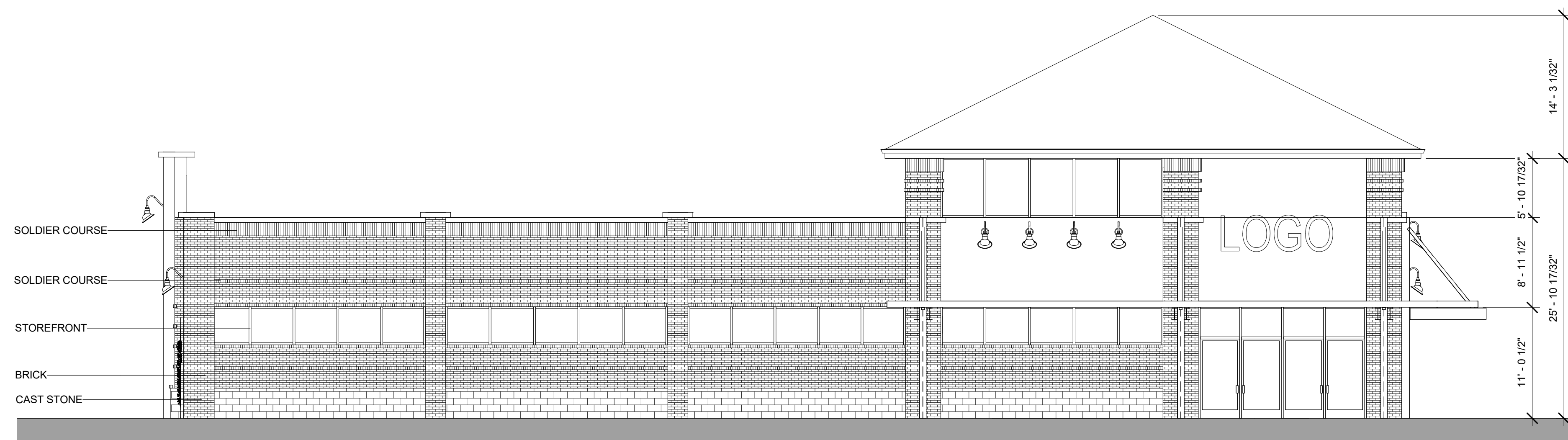
One Norman
Building E Elevations

A108

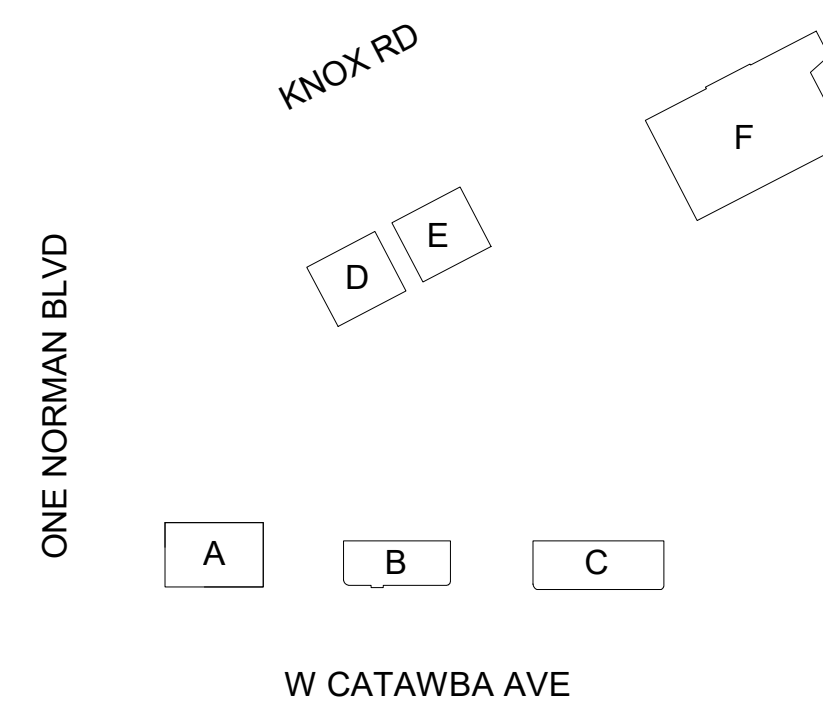


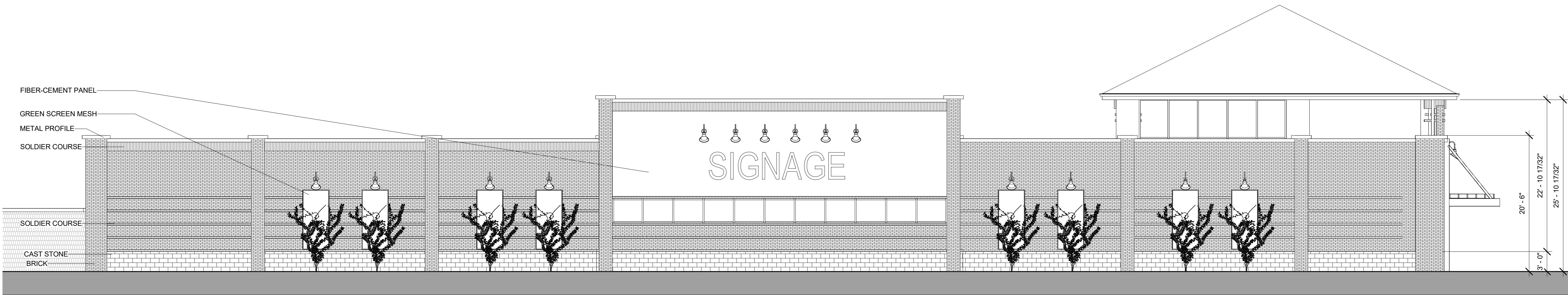


① Building F - South Elevation
1/8" = 1'-0"

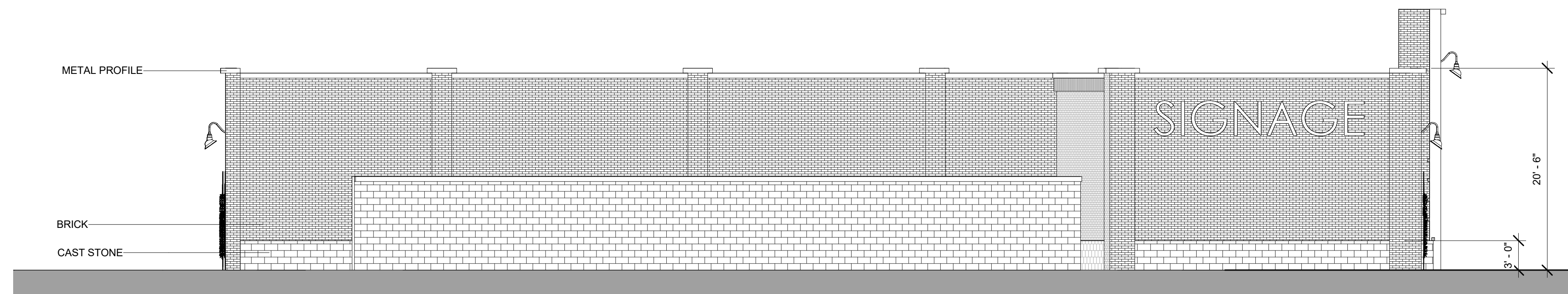


③ Building F - East Elevation
1/8" = 1'-0"

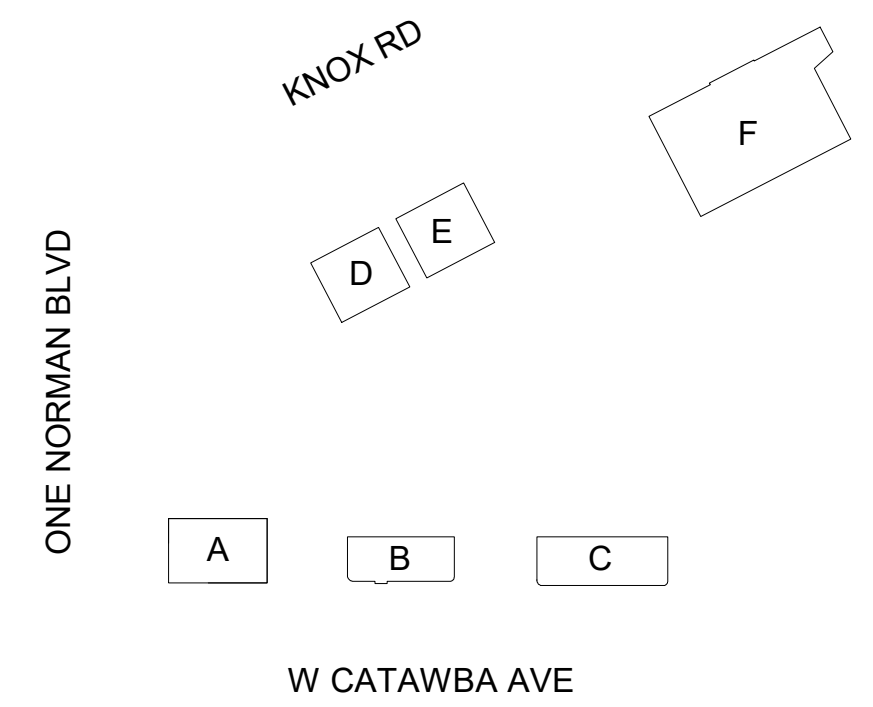




① Building F - North Elevation
1/8" = 1'-0"



② Building F - West Elevation
1/8" = 1'-0"



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One Norman
Building F Elevations

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