



**Town of Cornelius  
Architectural Review Board**

**Agenda  
May 26, 2017  
12:00 PM  
Cornelius Town Hall - Room 204**

- 1. Call To Order**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
  - A. April 28, 2017
- 4. Review And Recommendation On Agenda Items**
  - A. MAV 02-17: Quantum Technology Group
  - B. Hirschfeld Marketing Solutions
- 5. Old Business**
  - A. REZ 01-17: Mama's Pizza
- 6. New Business**
  - A. Industrial Design Standards
- 7. Next Meeting**
- 8. Adjournment**

## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: May 26, 2017

**To:** Architectural Review Board Members

**From:** Summer Smigelski, Planning Admin.

**Action Requested:**

Approval of Minutes

**Manager's Recommendation:**

Approval

**ATTACHMENTS:**

Name:	Description:	Type:
 <a href="#">ARB_Minutes_02-24-2017-Draft.docx</a>	April 28, 2017 Minutes	Backup Material

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**Minutes  
TOWN OF CORNELIUS  
ARCHITECTURAL REVIEW BOARD MEETING**

April 28, 2017  
12:00 pm

**Members Present**

Joe Harris, Vice Chair  
Rick Kamakaris  
David Eve, Chairman  
Recah Harward

**Members Absent**

Teresa Hawkins

**Staff Present**

Jason Pauling, Senior Planner  
Summer Smigelski, Planning Admin.

**VISITORS**

See Sign-In Sheet

**DETERMINATION OF QUORUM**

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:06 p.m. He stated that a quorum was present for all items.

**APPROVAL OF MINUTES**

Mr. Kamakaris made a motion to approve the minutes from February 24, 2017 with edits. Ms. Harward second. All in favor and motion approved.

**In Favor:** Mr. Eve, Mr. Kamakaris  
Ms. Harward, Mr. Harris

**Opposed:** None

**REVIEW & RECOMMENDATION ON AGENDA ITEMS**

**REZ 01-17: Mama's Pizza**

Mr. Pauling presented REZ 01-17 Mama's Pizza. The property is zoned NMX (Neighborhood Mixed Use) and is within the transitional residential overlay. The Land Use Plan has the property as Town Center. The town has been considering some of the area for The Art District Overlay. The property fronts on three streets which is part of the reason for the conditional zoning. The old downtown block plan had layouts of this site with the building being pulled up. The applicants provided a revised plan based on the comments that the board made. The overall concept is the building is in the back fronting on Tryon and Hickory with an outdoor dining area. The dumpster will need to be at that ten foot line. The project proposes 3,250 square feet of restaurant area and 2,000 square feet for commercial space next door. The applicant may use the commercial space for a little café area.

The applicant would like to keep the original building up and running while the new building is under construction.

The board made some comments about the dumpster location and requested a different location.

Chairman Eve: “The building is a very nice building and then you are going to stick that right in front of it.”

The applicants are working on finding a better location on the property for the dumpster.

One citizen spoke up with some concerns with the oak tree that is located on the property. Ms. Halliday is worried that the oak tree will be removed and the proper tree will not be planted in its place.

Jason Pauling informed Ms. Halliday of the Land Scape Ordinance and that it recommends the types of trees that can be planted. The trees that are intended to be planted will shade the property and of course there will be a four foot wall that will have some landscaping in the front.

The board asked about the parapet height and if the air handling units were screened. The parapet is screening the front and the sides of the building; the back facing Tryon St. does not have screening.

Mr. Harris and Chairman Eve informed the applicants, if there is any mechanical equipment on the roof that they would need roof access and their access would possibly need to be internal.

The board feels this is a great improvement but agreed that the details on the site plan needs to match the floor plan and the elevations. They would like to see the applicants back in May with changes made to the site plan.

### **Villages at Oakhurst II – Cowboy Restaurant**

Mr. Pauling presented the second revised plan for Cowboy’s Restaurant. The concept here is about 33 thousand square feet of commercial property with three buildings that was approved. The green boxes on the property cannot be screened and the Oakhurst clock tower will be relocated. The applicants plan to leave footprints for future development.





The board has some concerns with the equipment on the top that needs to have screening. The site plan does not show parapet height. There also aren't enough details for the clock tower.

Mr. Pauling will get the details for screening and the clock tower to provide to the board.

**ADJOURNMENT**

The meeting ended at 12:58 p.m.

DRAFT

## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: May 26, 2017

To: Architectural Review Board Members  
From: Jason T. Pauling, AICP - Senior Planner














### Action Requested:

A request by Charles Wilber and the Quantum Technology Group to develop a three-story commercial/office building of just over 12,000 square feet at the northwest intersection of Jetton Road Extension and Bethel Church Road (19725 Jetton Road; PID 00512302). The applicant(s) are asking for the following architectural variations for this request: 1) Reduction in the percentage of windows and doors on the front elevation to 49.8%. 2) Variation from section 4.6.3 (B)(4) requiring penetrations of windows and doors no greater than 16-feet apart. All other requirements of chapter 4 are being met.

### Manager's Recommendation:

Review and Provide Direction

### ATTACHMENTS:

Name:	Description:	Type:
 <a href="#">major_architectural_variation.pdf</a>	MAV Request Letter	Backup Material
 <a href="#">Quantum_Tech_Zoning.jpg</a>	Zoning Map	Backup Material
 <a href="#">Quantum_Tech_LU.jpg</a>	Land Use Map	Backup Material
 <a href="#">Quantum_Tech_Vicinity.jpg</a>	Vicinity Map	Backup Material
 <a href="#">Quantum_Tech_Property.jpg</a>	Property Map	Backup Material
 <a href="#">Photo_Page.pdf</a>	Photo Page	Backup Material
 <a href="#">C4-Grd-Erosion.pdf</a>	Site Plan	Backup Material
 <a href="#">bethel_church_elevation.pdf</a>	Bethel Church Elevation	Backup Material
 <a href="#">jetton_elevation.pdf</a>	Jetton Elevation	Backup Material
 <a href="#">parking_elevation.pdf</a>	Parking Elevation	Backup Material
 <a href="#">level_1.pdf</a>	Level 1 Floor Plan	Backup Material
 <a href="#">level_2.pdf</a>	Level 2 Floor Plan	Backup Material
 <a href="#">level_3.pdf</a>	Level 3 Floor Plan	Backup Material

# THE ZAIKA GROUP, LLC

PO Box 762 Cornelius, NC 28031

Phone: (704) 506-7044

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We are requesting variation for Section 4.6.3(B)(3) due to the fact that we will not be having 70% windows on the street frontage. Our storefront/window area will be 49.8%.

We would also like to request variation for Section 4.6.3(B)(4), requiring penetrations no greater than sixteen (16) on the street facade.

Under the General Principles 4.6.1, we will be in compliance with the 10 items listed. Our scale and massing are relative to the adjacent properties, and other existing properties in that vicinity. We are in compliance with the street orientation, lot width and setbacks. As for the architectural style, our proposed building is compatible with, (but not matching) the style of others in that area

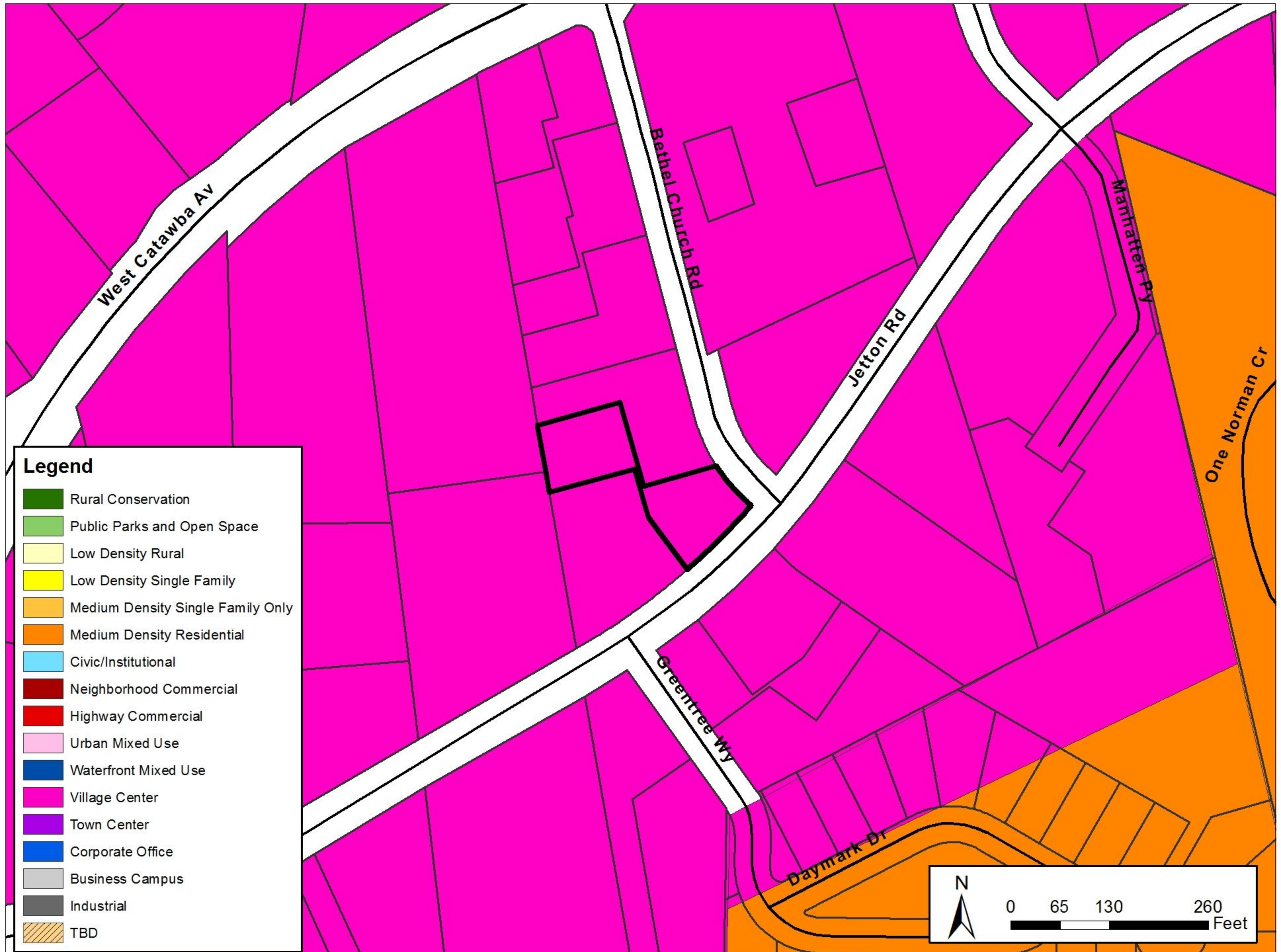


# MAV 02-17: Quantum Technology Group



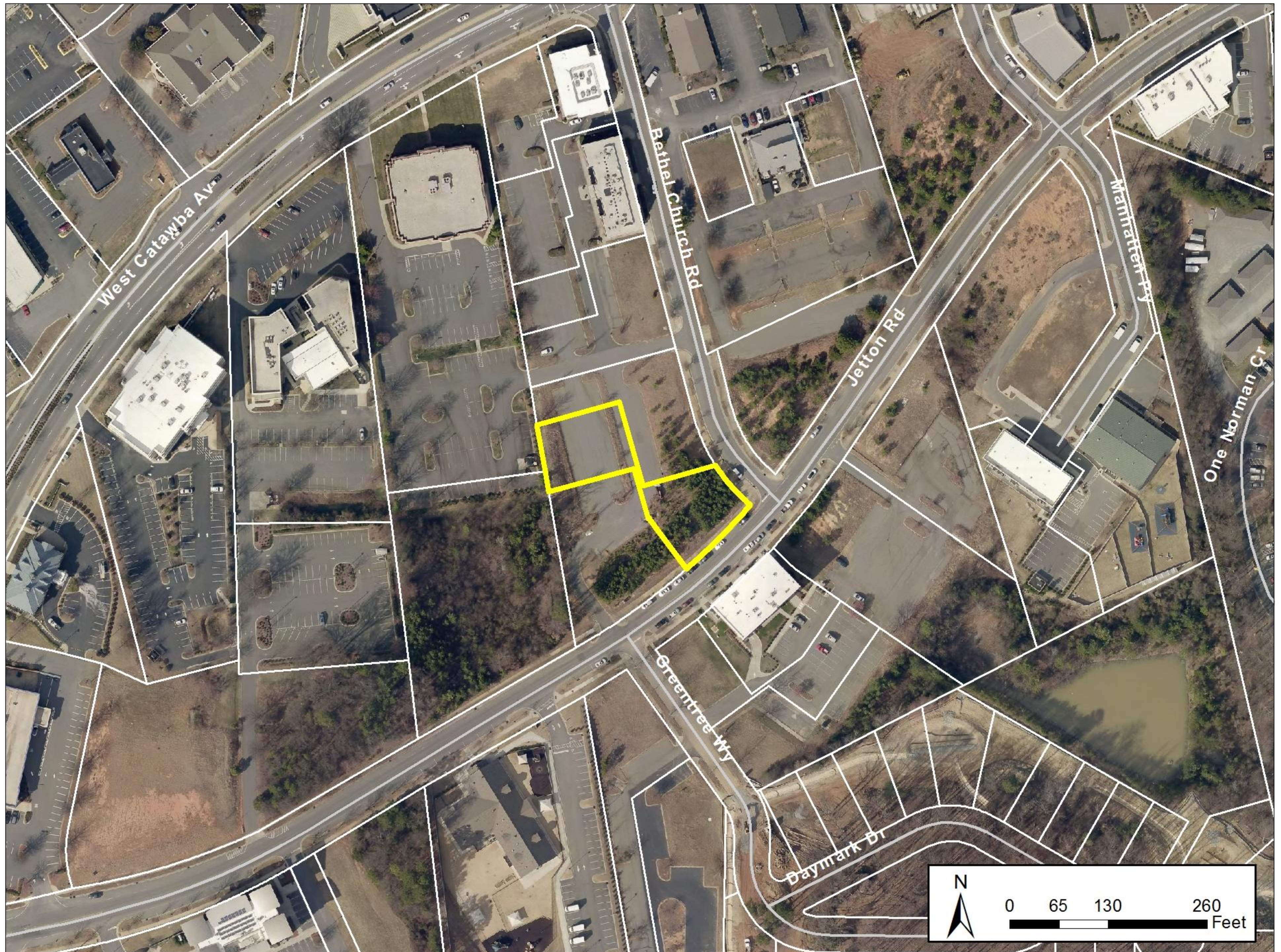


# MAV 02-17: Quantum Technology Group



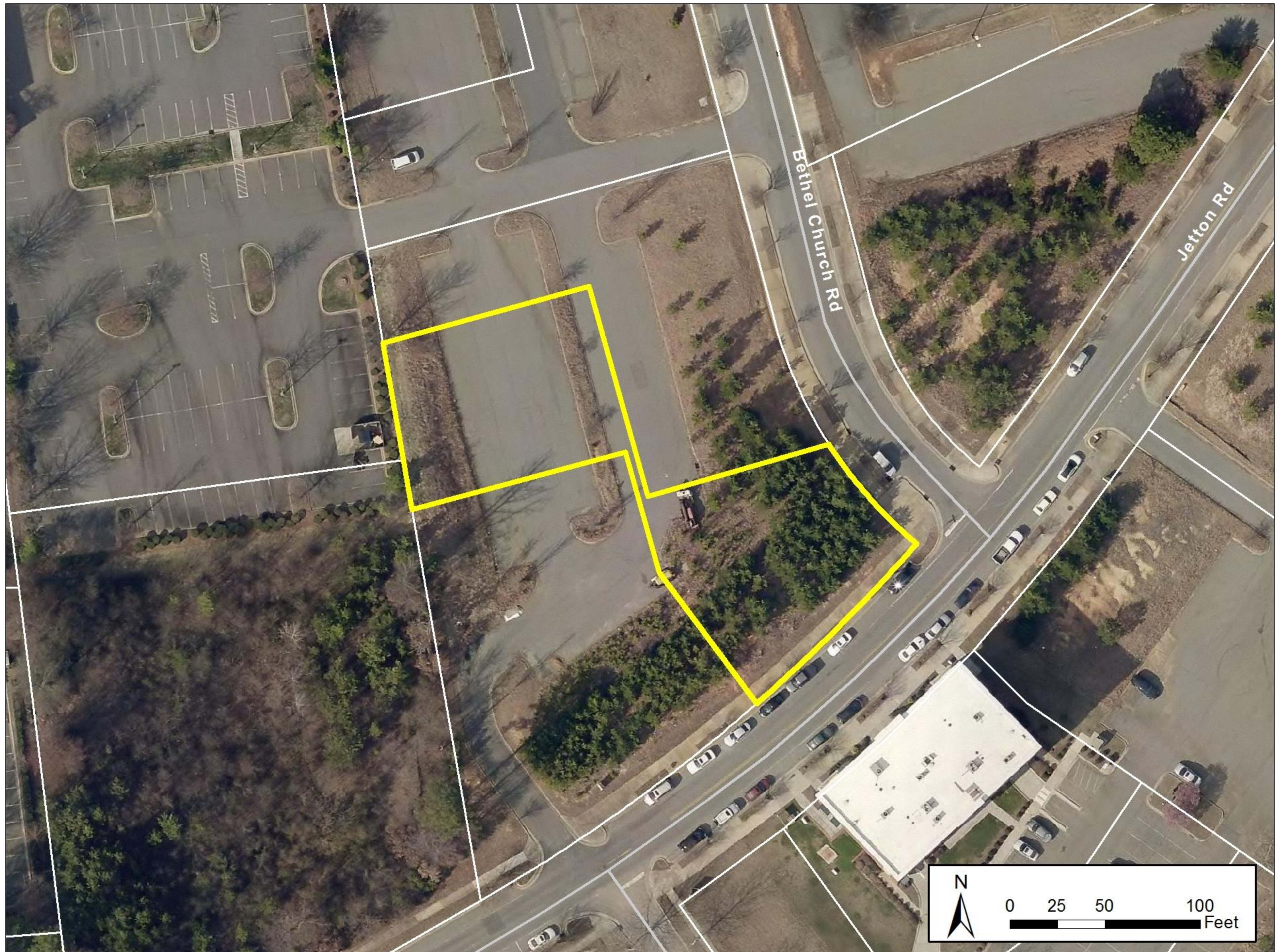


# MAV 02-17: Quantum Technology Group





# MAV 02-17: Quantum Technology Group













CONSTRUCTION SEQUENCE:

1. Obtain Grading/Erosion Control plan approval from Mecklenburg County LUESA.
2. Setup an on-site pre-construction conference with the following departments: LUESA Erosion Control Inspector, Land Development Inspector and Zoning Inspector. Failure to schedule such conference 48 hours prior to any land disturbing activity is subject to fine.
3. Install Silt Fence, Skimmer Basin, Construction Entrance, diversion ditches and other measures as shown on plans, clearing only as necessary to install these devices.
4. Call for on-site inspection by inspector. When approved Inspector issues the Grading permit and clearing and grubbing may begin.
5. The Contractor shall diligently and continuously maintain all erosion control devices and structure.
6. For phased erosion control plans, contractor shall meet with Erosion control inspector prior to commencing with each phase of erosion control measures.
7. The land development inspector should be called to conduct inspections on storm drainage, sidewalks, driveway on storm drainage and all aspects of road construction.
8. Stabilize site as areas are brought to finish grade.
9. Coordinate with Erosion Control Inspector prior to removal of erosion control measures.
10. All erosion control measures shall be constructed in accordance with NC Erosion and sediment control and design manual, U.S. department of Agriculture, Mecklenburg County Erosion Control Ordinance and the Charlotte Mecklenburg Land Development standards.
11. Call the Water Quality Inspector to setup a BMP Pre-Construction meeting prior to starting work on the BMP. This meeting should take place 48 hours prior to starting construction on any BMP and shall include the Design Engineer to ensure proper inspections are performed at key BMP installation phases.
12. The design engineer must verify the drainage area is properly stabilized, measures are in place to prevent sedimentation into the BMP, storm drains inlets and pavements have been properly cleaned prior to commencement of BMP construction.
13. Sand Filter shall not be brought online until the site is 100% stabilized.

EROSION CONTROL NOTES:

1. All "Sta" numbers refer to the Mecklenburg County Land Development Standards Manual (MCLDS).
2. On-site burial pits require an on-site demolition landfill permit from the zoning administrator.
3. Any grading beyond the denuded limits shown on the plan is a violation of the County Erosion Control Ordinance and is subject to a fine.
4. Grading more than one acre without an approved Erosion Control plan is a violation of the County Erosion Control Ordinance and is subject to a fine.
5. All perimeter areas and slopes greater than 3:1 shall be stabilized within 7-days. Ground Stabilization on all other areas must be completed within 14-days. Refer to the Erosion Control Ordinance for additional requirements.
6. Additional Measures to control erosion and sediment may be required by a representative of the County.
7. A grading plan must be submitted for any lot grading exceeding one acre that was not previously approved.
8. Temporary Driveway permit for construction entrances in the NCDOT right of way must be presented at the pre-construction meeting.
9. All embankments must be constructed per section 4.0.6 Embankment Requirements in the BMP design manual.
10. Slopes shall be graded no steeper than 2:1. Slopes greater than 10 feet require adequate terracing (MCLDSM #30.16). Soils engineer to verify the stability of slopes greater than 2:1.
11. Soil compaction tests are required on any berm >= 5-ft in height from the natural grade. Soil Compaction must be at 95% proctor and certified by a licensed soil engineer.

ENHANCED EROSION CONTROL NOTES:

1. Surface water draw down devices (risers or skimmers) shall be installed in all sediment basins. Foreboys shall be used in conjunction with all sediment basins. Rock forebay embankments may be used in lieu of porous baffles.
2. Polyacrylamides (PAM) shall be used to reduce turbidity and suspended solids whenever a sediment trap, basin, pit, hole or building foundation is being pumped out to remove sediment laden water. PAM is not required when any of the above is being pumped to an approved sediment basin on-site. This activity must be inspected and approved by the Mecklenburg County Erosion control inspector.
3. Double silt fence shall be used along wetlands, streams, lakes, or other surface water bodies as well as adjacent to SWIM or other water quality buffers. High Hazard silt fence with wire backing and washed stone will be installed as determined necessary by the County Engineer or Inspector.
4. The amount of uncovered area at any one time shall be limited to no more than 20 acres, unless approved by the County Engineer.
5. A 10-foot undisturbed buffer shall be provided around the outside edge of drainage features such as intermittent and perennial streams, ponds, and wetlands. Incidental drainage improvements or repairs will be permitted within the buffer as approved by county staff.
6. Installation of Temporary ground cover or seeding must be performed within 5 working days or slope drains installed after fill slopes are brought up to height.
7. Permanent terraces shall be installed on 2:1 or steeper slopes over 10-ft in height to reduce runoff velocity coming down the slope.

GENERAL EROSION CONTROL NOTES:

1. Prior to construction of new pavement, site shall be graded so as to provide settling areas around catchbasins. Catch basin rims shall be set at finish grade. Areas immediately adjacent to basins shall be several inches below finish grade until pavement is constructed.
2. Erosion and sedimentation control measures shall be in place prior to the commencement of any site work or earthwork operations, shall be maintained during construction, and shall remain in place until all site work is complete and ground cover is established.
3. Stockpiles shall be surrounded on their perimeters with staked siltation fences to prevent and/or control siltation and erosion.
4. Tops of stockpiles shall be covered in such a manner that stormwater does not infiltrate the materials and thereby render the same unsuitable for fill use.
5. In any event, slopes left exposed shall be stabilized within 7 days of completion of any phase of grading, be planted or otherwise provided with temporary or permanent ground cover, devices or structures sufficient to restrain erosion. In addition all measures must be shown within the limits of construction.
6. Culvert/pipe inlets and outfalls shall be protected by filter berms until disturbed areas are permanently stabilized.
7. Erosion Control Inlet Berms shall be constructed at all existing catch basins. Temporary Silt fence shall be constructed at all proposed catch basins located in fill areas & subject to stormwater run-off from proposed fill areas during construction, or as directed by the owner/engineer. No sediments shall enter the on-site or off-site drainage systems at any time.
8. All erosion control measures shall be routinely inspected, cleaned and repaired or replaced as necessary throughout all phases of construction. In addition, inspection shall take place after each rainfall event.
9. All proposed slopes steeper than 3:1 shall be stabilized with S75 Matting or better and protected from erosion.
10. The contractor shall keep on site at all times extra siltation fencing for installation at the direction of the engineer or the Erosion Control Inspector to mitigate any emergency condition.
11. Disposal of all demolished materials is the responsibility of the contractor and must be taken off-site in accordance with all federal, state, and local municipal requirements.
12. The area or areas of entrance and exit to and from the site shall be maintained in a condition which will prevent tracking or flowing of sediment onto adjacent rights-of-way. All sediment spilled, dropped, washed or tracked onto adjacent right-of-way must be removed immediately.
13. Tree areas to remain shall be protected and delineated with orange construction fence.

GRADING AND DRAINAGE NOTES:

1. ALL GRADING AND SITE PREPARATION WILL CONFORM TO SPECIFICATIONS AS GIVEN IN REPORT OF GEOTECHNICAL INVESTIGATION.
2. CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATIONS OF EXISTING UTILITIES, AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL STORM SEWER PIPE TO BE RCP, EXCEPT WHERE NOTED ON THE PLANS OR REQUIRED BY JURISDICTION.
4. FOR DIMENSIONAL LAYOUT, SEE SITE PLAN.
5. FOR GRADING & DRAINAGE FACILITY DETAILS, SEE DETAIL SHEETS.
6. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER (SEE PLANS). UNLESS SHOWN OTHERWISE.
7. ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO APPLICABLE STATE AND LOCAL JURISDICTIONAL REQUIREMENTS.
8. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED, AND RIPRAP MUST BE PLACED AS NECESSARY TO CONTROL EROSION.
9. GRADING CONTRACTOR IS RESPONSIBLE FOR STRIPPING AND STOCKPILING OF TOPSOIL. GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR REMOVING FROM SITE EXCESS TOPSOIL. GRADING CONTRACTOR SHALL PREPARE SUBGRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TOPSOIL INSTALLATION IN LANDSCAPE ISLANDS.
11. CONTRACTOR SHALL CONFINE HIS OFF-SITE ACTIVITIES TO EXISTING RIGHTS OF WAY AND EASEMENTS.

NOTE:

- 1)APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 2) IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 3) THE PURPOSE OF THE STORM DRAIN EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 4) NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
- 5) TREE BARRICADE MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- 6) BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS CALL FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER.
- 7) TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES, APPENDIX 3) OR LAND DEVELOPMENT STANDARDS MANUAL 40.02.
- 8) NO CRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- 9) BRUSH, VINES AND SMALL TREES (<6" DIA. OR AS SMALL AS 2" IN CALIPER) MAY BE HAND CLEARED ONLY. CUT FLUSH WITH GROUND SURFACE. EXISTING TREES MAT BE LIMBED UP SIX FEET(LEAVING AT LEAST 1/3 OF THE BRANCHES TO IMPROVE VISIBILITY.
- 10) EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASAP TO MINIMIZE EXPOSURE TO AIR.
- 11) ASBUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT.



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DENUDED AREA= 0.23ac.

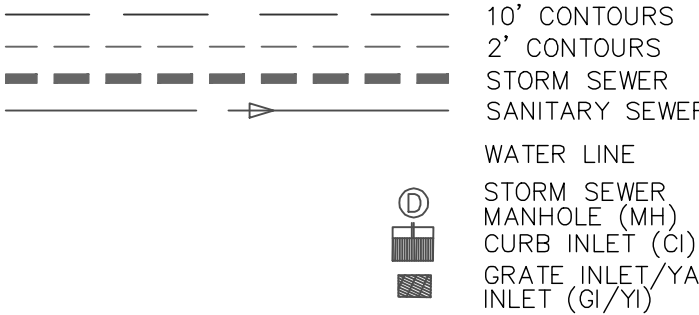
STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

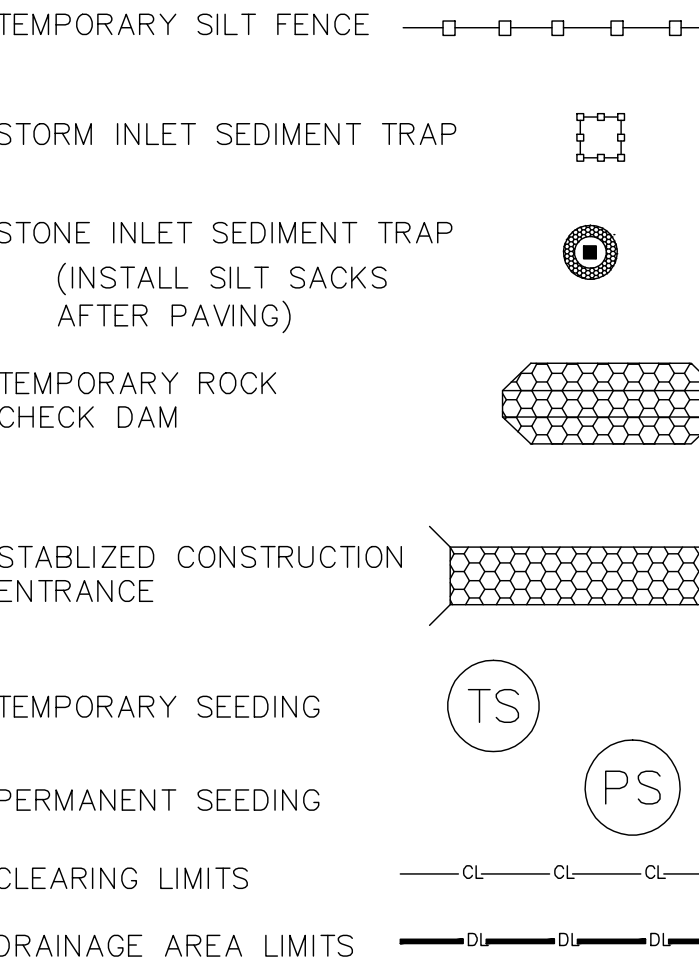
PROPOSED



EXISTING



EROSION CONTROL LEGEND



NOTE: CONTRACTOR SHALL FIELD VERIFY ALL GRADES PRIOR TO CONSTRUCTION.

SEEDBED PREPARATION NOTES

1. SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLANS.
2. AREAS TO BE SEEDBED SHALL BE RIPPED AND SPREAD WITH AVAILABLE TOPSOIL 3" DEEP. TOTAL SEEDBED PREPARED DEPTH SHALL BE 4".
3. LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH THE ESTABLISHMENT AND MAINTENANCE OF VEGETATION. THE SURFACE FOR FINAL SEEDBED PREPARATION AT FINISHED GRADES SHOWN SHALL BE SMOOTH AND UNIFORM.
4. IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME ARE TO BE USED AS DESCRIBED ABOVE. IN ADDITION .15 LBS/1000 S.F. OF SUPERPHOSPHATE IS TO BE PROVIDED.
5. IF SOIL TEST IS TAKEN, PROVIDE FERTILIZER AND LIME ACCORDING TO RESULTS OF TEST.
6. LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.

Erosion Control & Water Quality Inspector:

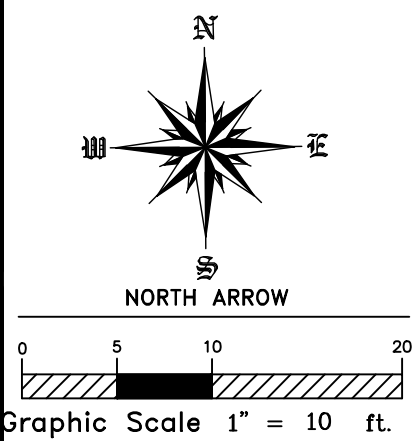
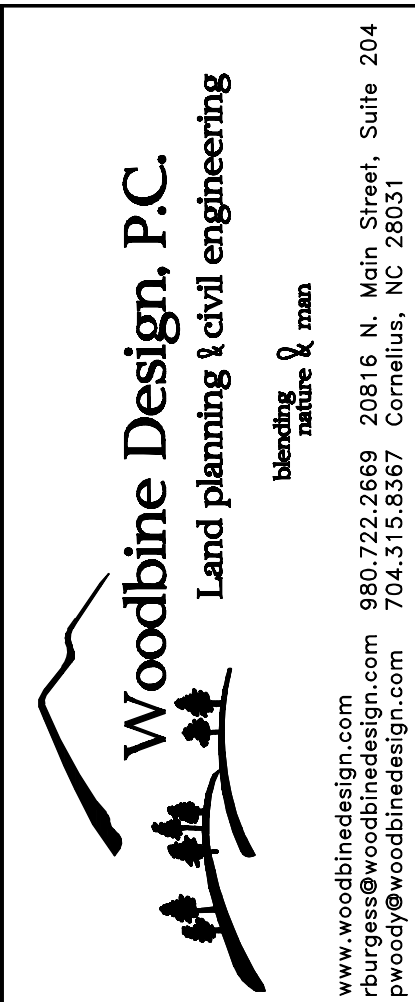
Nick Finelli – Cornelius, Davidson, Huntersville  
(980) 721-9390

Land Development Inspector:

Tommy Kozlch – Cornelius, Davidson, Huntersville  
(704) 634-6753

Zoning Inspector:

Brian Sifford – Cornelius, Davidson, Huntersville  
(980) 721-0924

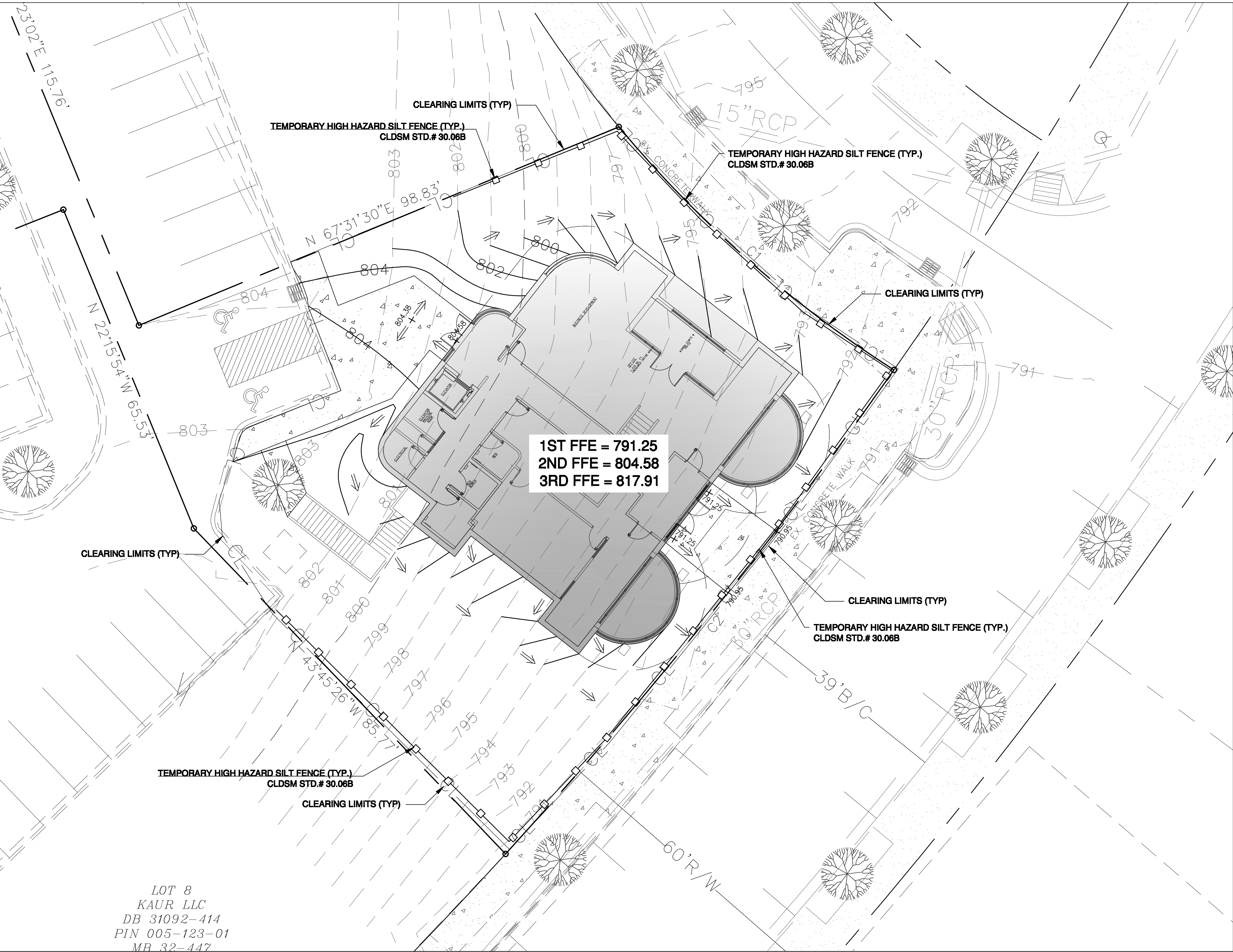


Project: CORNELIUS VILLAGE CENTER LOT #7  
Location: 19725 JETTON RD., CORNELIUS, NC 28031  
Sheet Title: GRADING & EROSION CONTROL PLAN

DEVELOPER/OWNER  
QUANTUM TECHNOLOGY GROUP  
JETTON RD.  
CORNELIUS, NC 28031

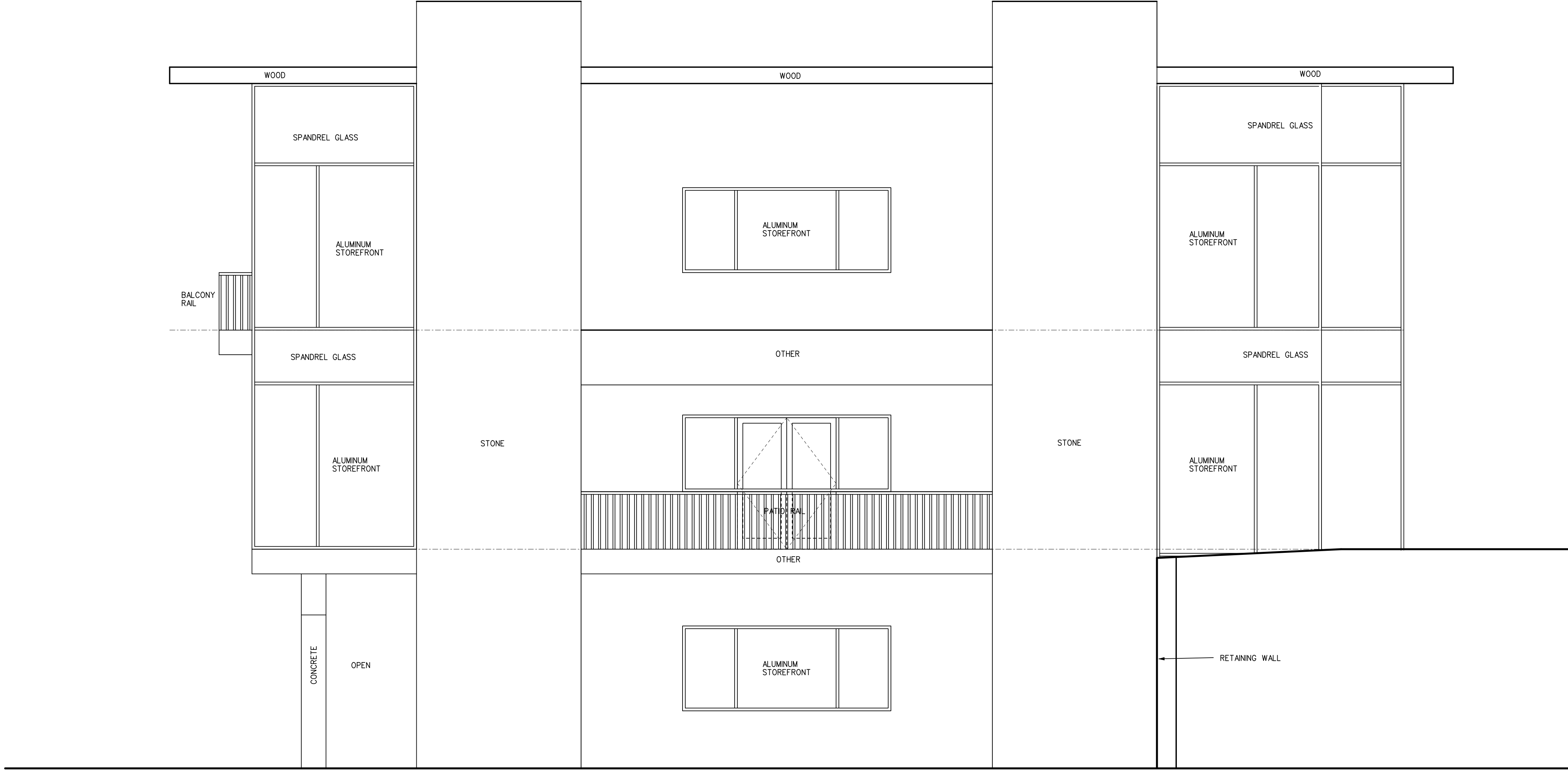
Designed By: Woodbine Design  
Drawn By: PW  
Date: 5/5/17  
Revisions:

Sheet C4 of 7  
Project Number 17006

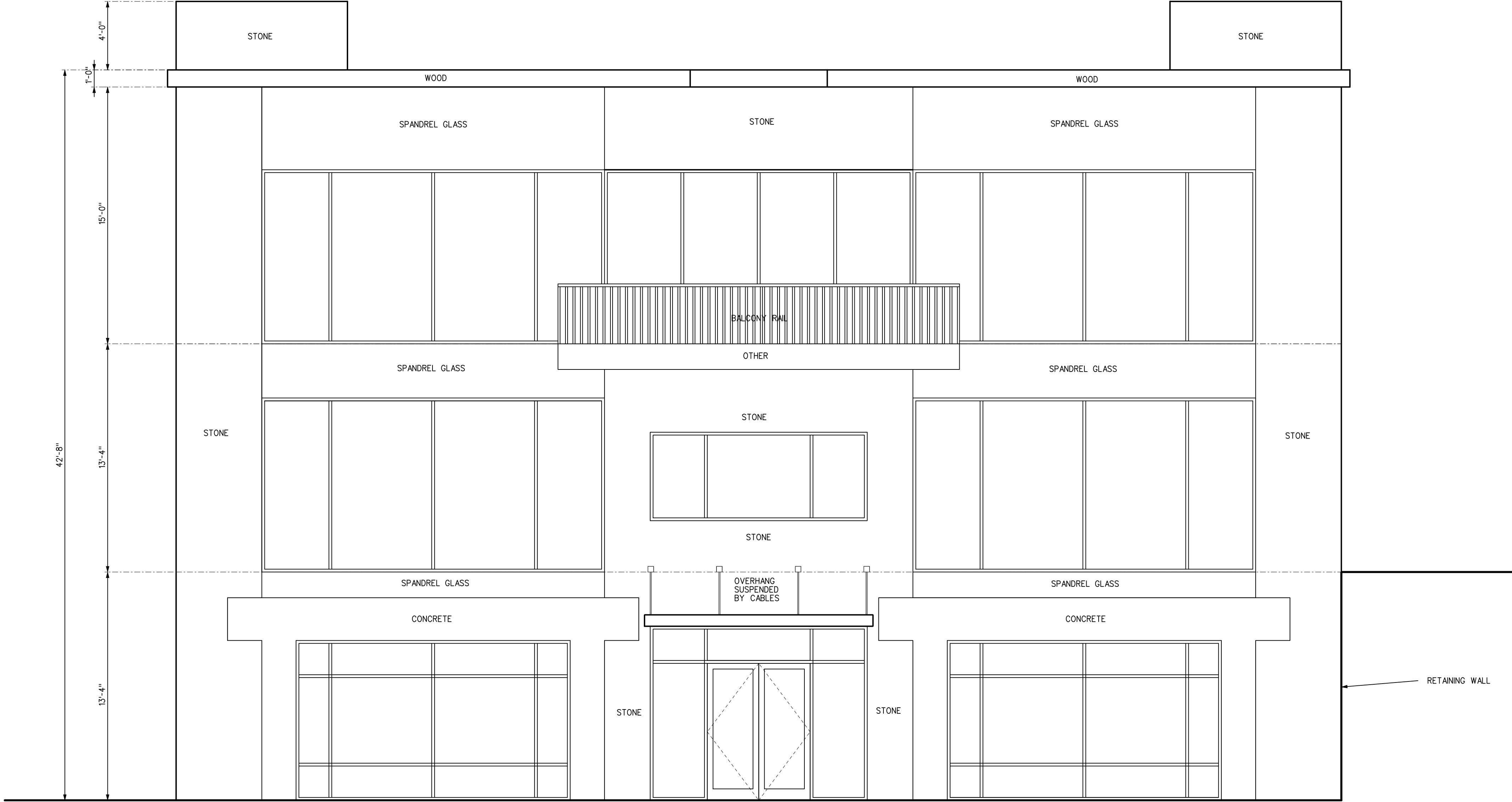


LOT 8  
KAUR LLC  
DB 31092-414  
PIN 005-123-01  
MB 32-447

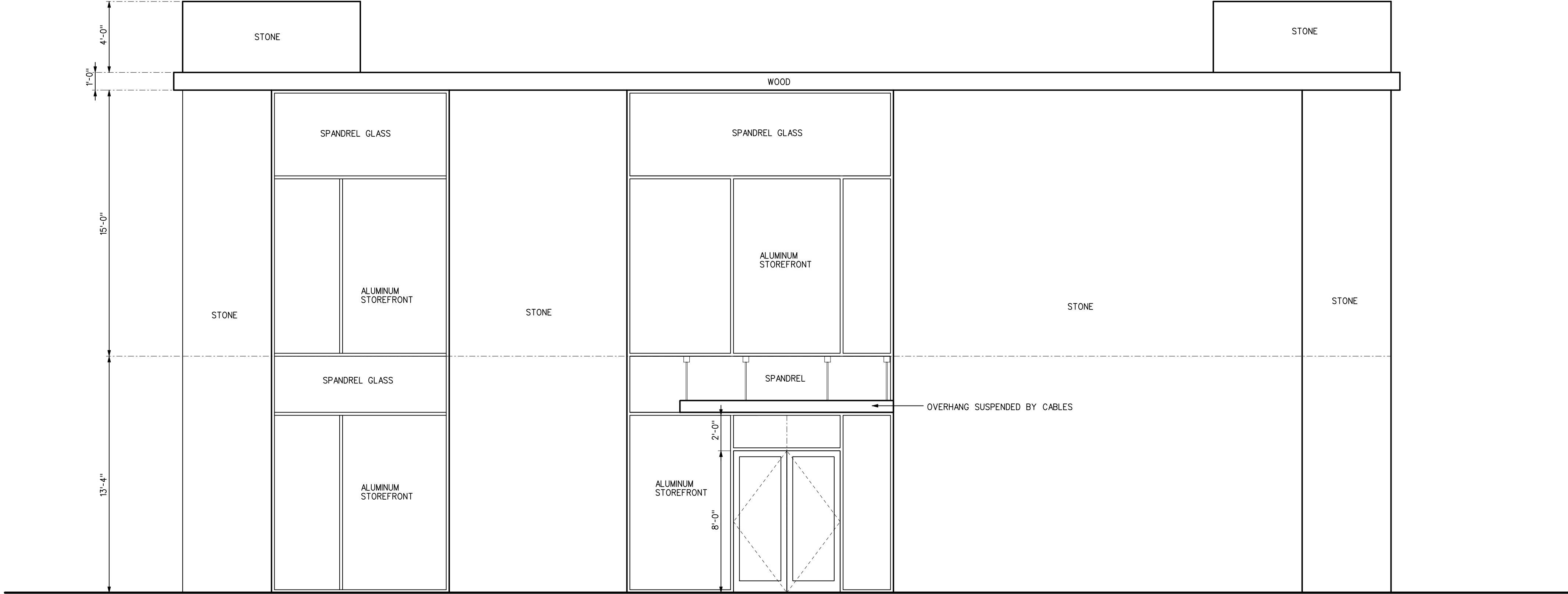




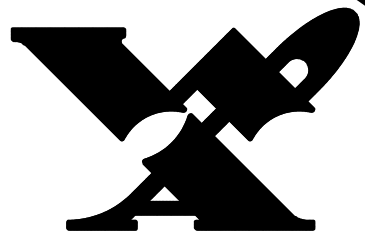
BETHEL CHURCH ROAD ELEVATION



JETTON ROAD ELEVATION  
1/4" = 1'-0"



PARKING ELEVATION  
1/4" = 1'-0"



Wilber Associates  
Architecture / Planning  
P.O. Box 428 - 20044 N. Zion St.  
Cornelius, N.C. 28031  
704-892-3633

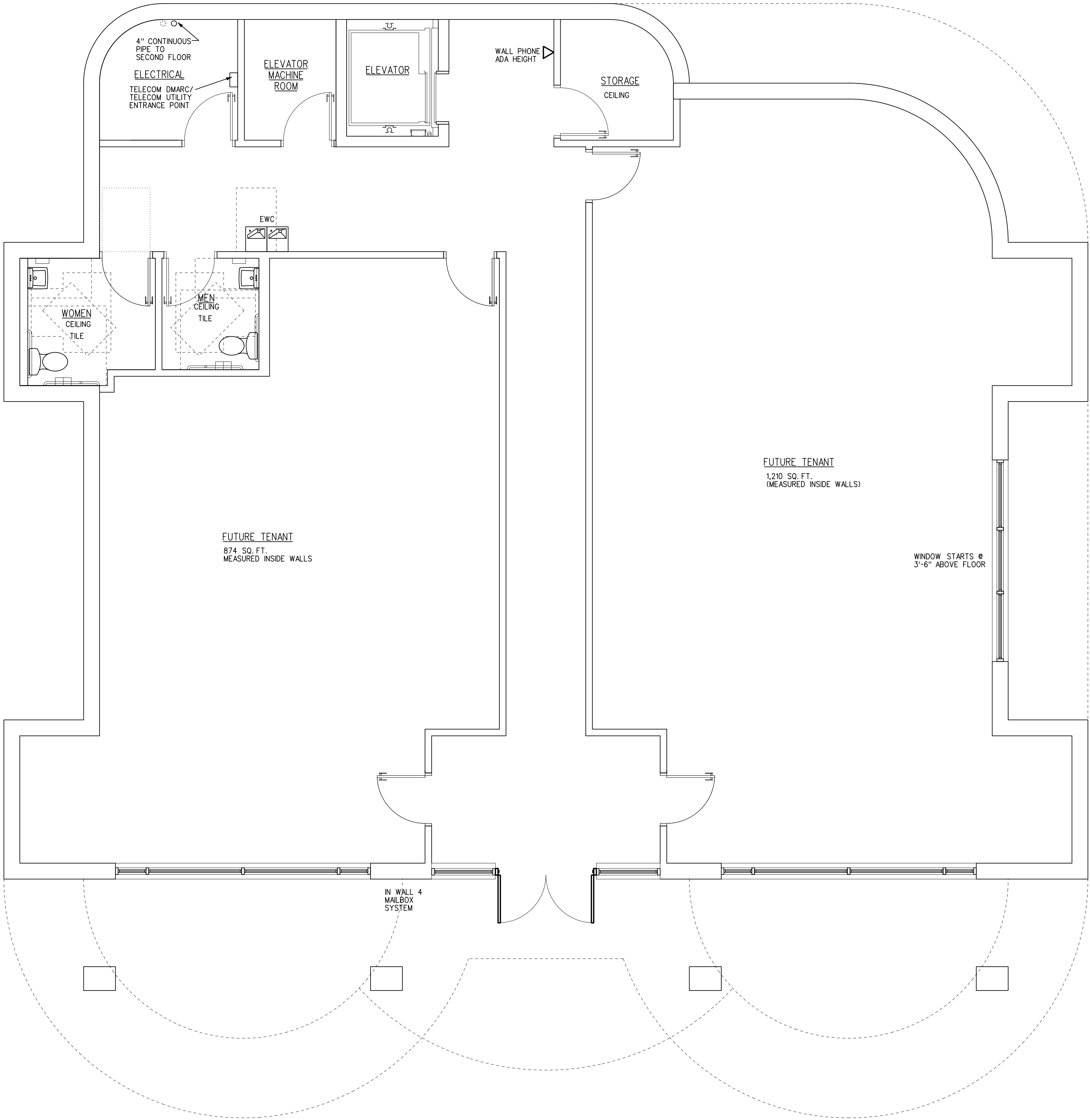
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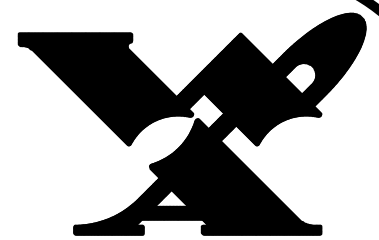
TITLE

NEW BUILDING FOR  
**QUANTUM TECHNOLOGY GROUP**  
19725 JETTON ROAD  
CORNELIUS, NC

COMM. NO.	1693
DATE	5/12/17
REVISIONS	
SHEET	A-1
OF	-

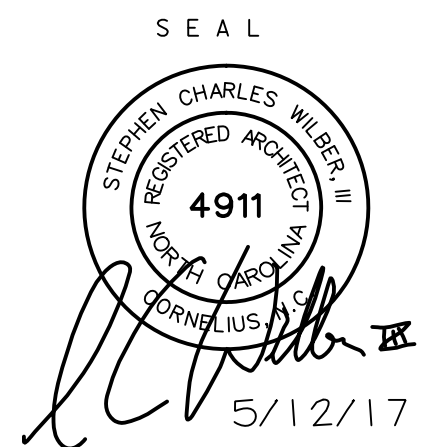


LEVEL ONE FLOOR PLAN  
1/4"=1'-0"



Wilber Associates  
Architecture / Planning  
P.O. Box 428 - 20044 N. Zion St.  
Cornelius, N.C. 28031  
704-892-3633

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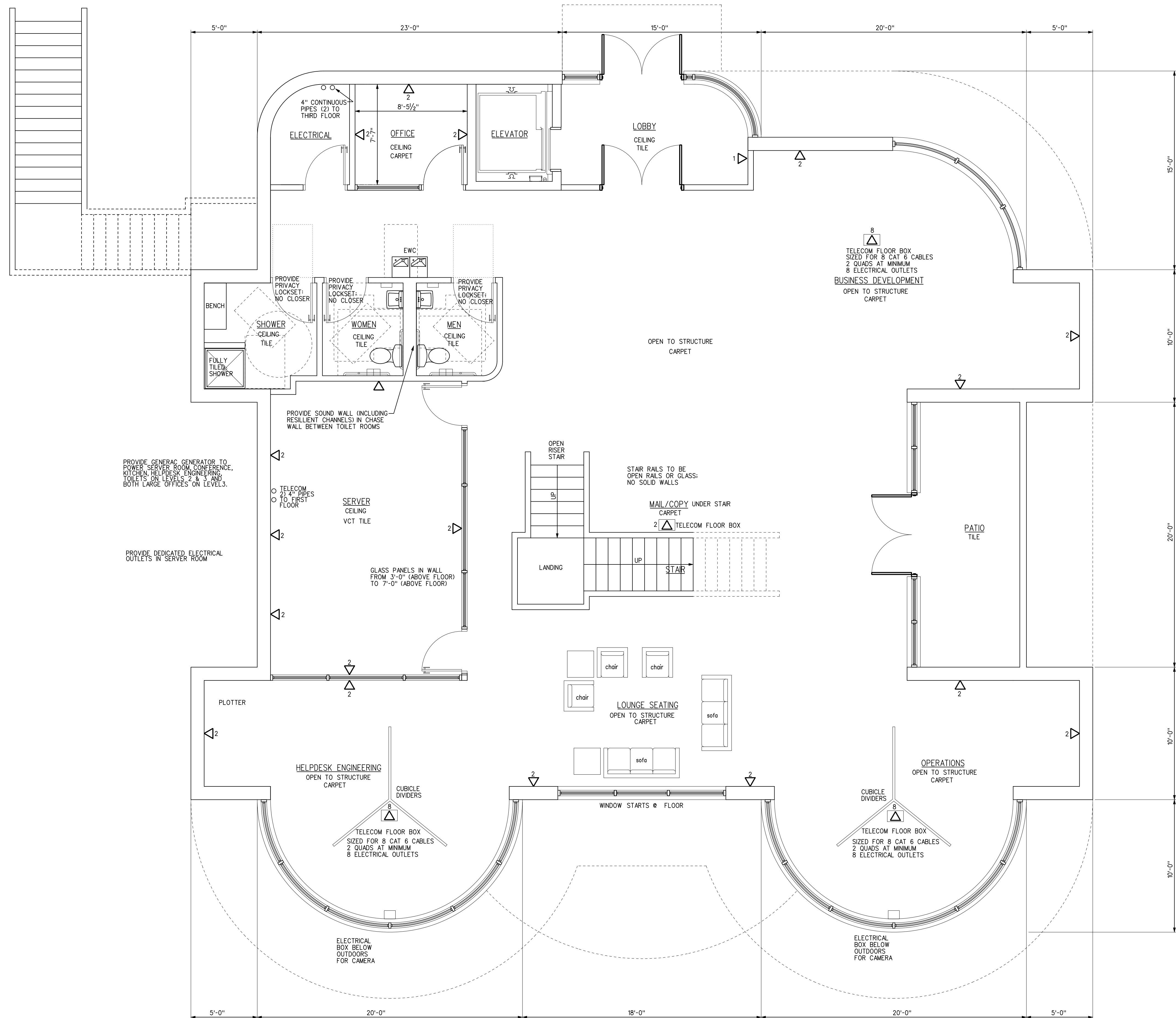


TITLE

NEW BUILDING FOR  
**QUANTUM TECHNOLOGY GROUP**  
19725 JETTON ROAD  
CORNELIUS, NC

COMM. NO. 1693  
DATE 5/12/17  
REVISIONS

SHEET  
**A-2**  
OF



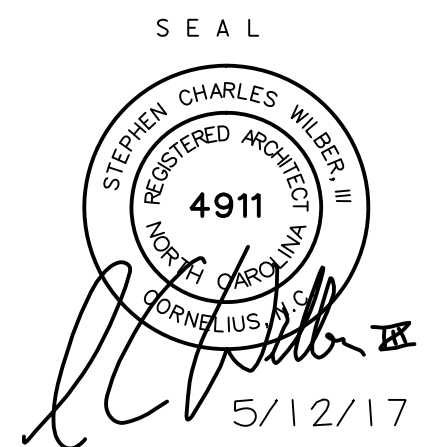
△ VOICE/DATA  
TV TV: NEED SINGLE GANG BOX  
△ VOICE/DATA FLOOR BOX  
NOTE: PROVIDE ELECTRICAL OUTLETS WHERE VOICE/DATA OUTLETS OCCUR

LEVEL TWO FLOOR PLAN  
1/4"=1'-0"



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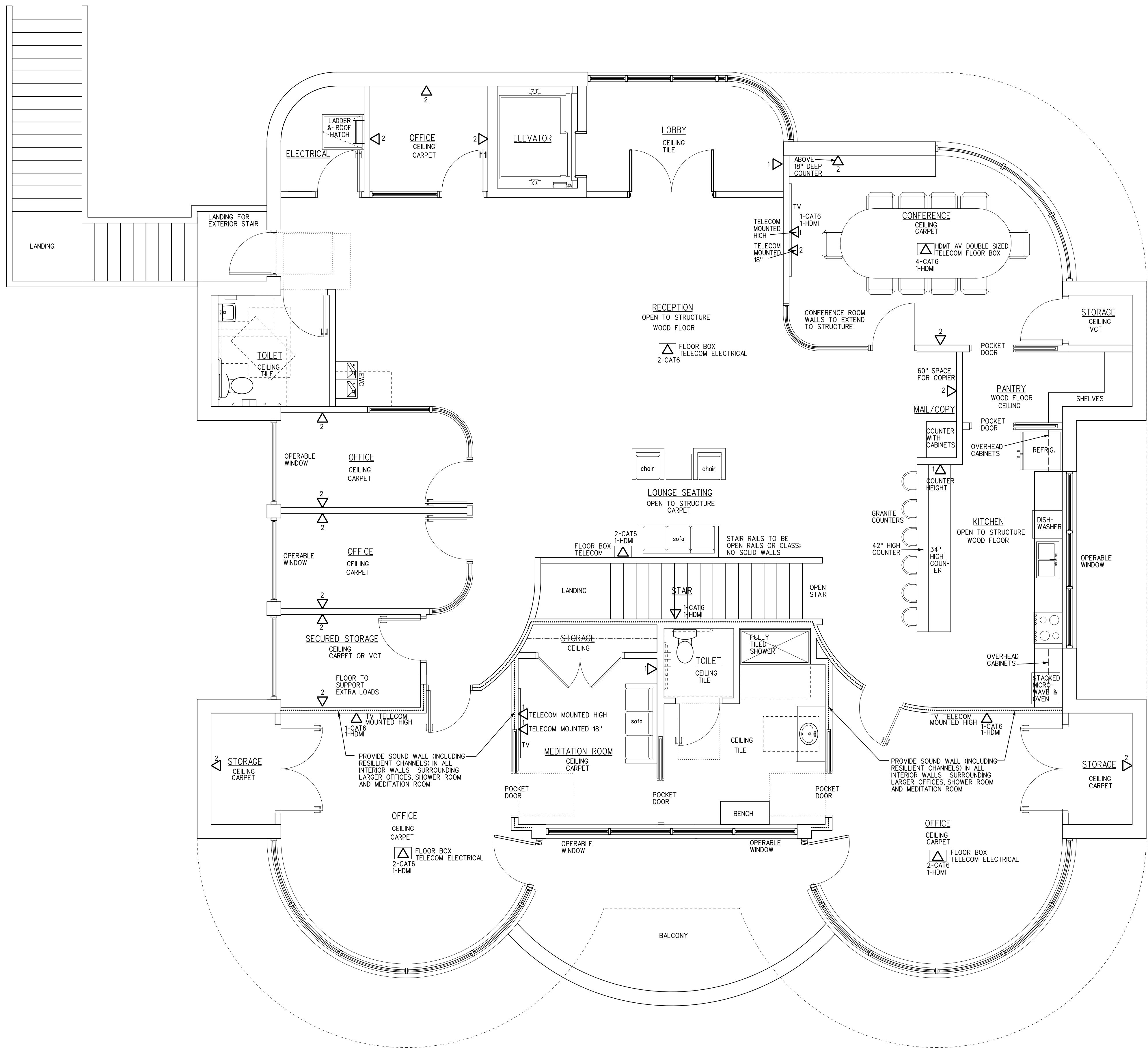


TITLE

NEW BUILDING FOR  
**QUANTUM TECHNOLOGY GROUP**  
19725 JETTON ROAD  
CORNELIUS, NC

COMM. NO. 1693  
DATE 5/12/17  
REVISIONS

SHEET  
**A-3**  
OF  
-



△ VOICE/DATA  
TV TV: NEED SINGLE GANG BOX  
△ VOICE/DATA FLOOR BOX

NOTE: PROVIDE ELECTRICAL OUTLETS WHERE VOICE/DATA OUTLETS OCCUR

LEVEL THREE FLOOR PLAN  
1/4"=1'-0"



## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: May 26, 2017











To: Architectural Review Board Members  
From: Jason T. Pauling, AICP - Senior Planner

### Action Requested:

A request by Hirschfeld Marketing Solutions to construct a new office and warehouse building at 10231 Bailey Road in the Industrial Campus Zoning District. The office component will feature 12,000 square feet and will be two stories (6,000 sf per floor), and the warehouse will be approximately 12,000 square feet with large bay door access on all sides. There will also be a mezzanine level above the second floor, and the total height of the office area will be just over 40-feet. It will feature mostly a brick façade in the front.

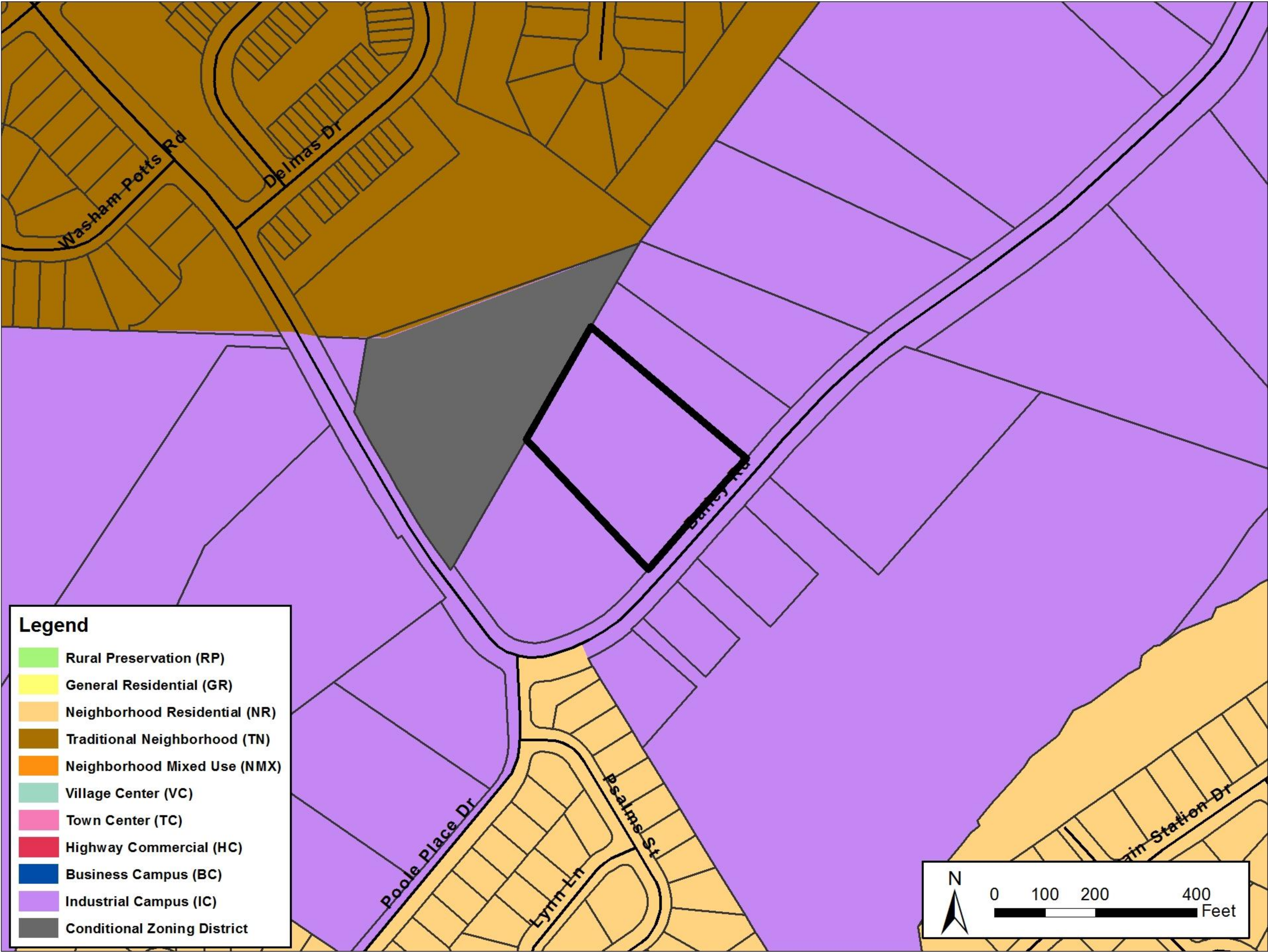
### Manager's Recommendation:

#### ATTACHMENTS:

Name:	Description:	Type:
 <a href="#">HMS_WW_Zoning.jpg</a>	Zoning Map	Backup Material
 <a href="#">HMS_WW_LU.jpg</a>	Land Use Map	Backup Material
 <a href="#">HMS_WW_Vicinity.jpg</a>	Vicinity Map	Backup Material
 <a href="#">HMS_WW_Property.jpg</a>	Property Map	Backup Material
 <a href="#">IMG_0028.JPG</a>	Site Photo 1	Backup Material
 <a href="#">IMG_0025.JPG</a>	Site Photo 2	Backup Material
 <a href="#">IMG_0026.JPG</a>	Hyde Park Photo	Backup Material
 <a href="#">IMG_0027.JPG</a>	Bldg 400 at Hyde Park photo (under const.)	Backup Material
 <a href="#">Hirschfeld_Marketing_Solutions_-_Architectural_Review_Board.pdf</a>	ARB Package	Backup Material
 <a href="#">HMS_-_Site_Plan.pdf</a>	Site Plan	Backup Material



# Hirschfeld Marketing Solutions





# Hirschfeld Marketing Solutions





# Hirschfeld Marketing Solutions





# Hirschfeld Marketing Solutions







  
Liberty Construction  
704-892-8384  
704-622-0014









**HYDE PARK**  
**STORAGE SUITES**

10228

10228







D

C

B

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5/12/2017 4:10:48 PM

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## NEW OFFICE BUILDING AND WAREHOUSE



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**HIRSCHFELD  
MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

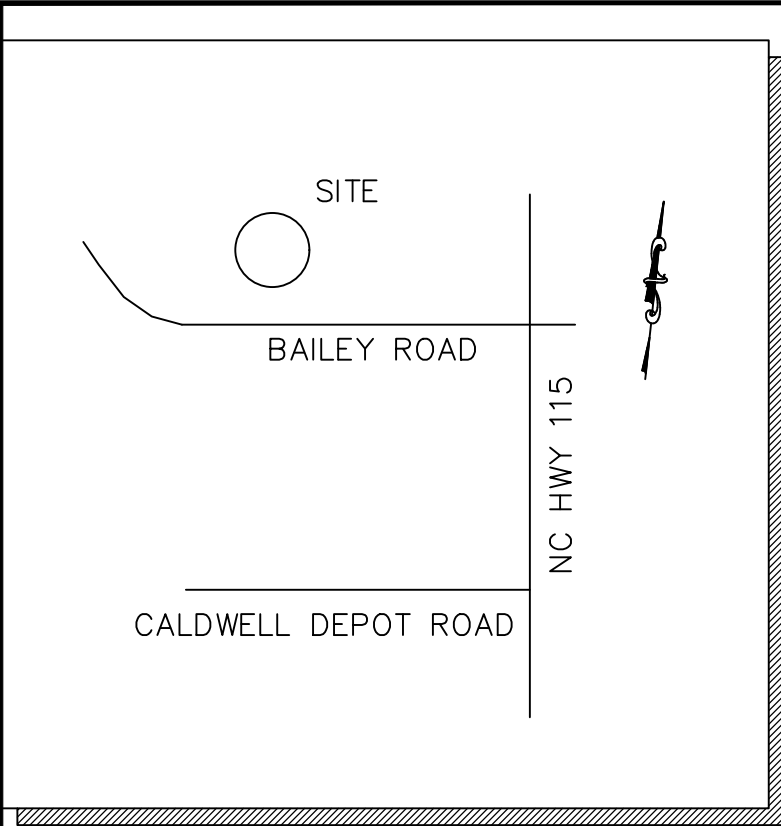
NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER: 2170547		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: ARCHITECTURAL REVIEW BOARD		
DATE: 05.12.2017		
DRAWING NAME:		

**COVER SHEET**

DRAWING NUMBER:

**G000**





VICINITY MAP  
N.T.S.

- = CRAPE MYRTLE (LAGERSTROEMIA)  
 = LITTLE GEM MAGNOLIA (MAGNOLIA GRANDIFLORA 'LITTLE GEM')  
 = BLACK OAK (QUERCUS VELUTINA)  
 = BURFORD HOLLY (ILEX CORNUTA BURFORDI)

LANDSCAPING REQUIREMENTS:

- TYPE A: NOT APPLICABLE  
TYPE B-1: 1.675 DECID. TREES/100 FT  
3.35 EVERGREEN TREES/100 FT  
13.4 SHRUBS/100 FT  
TYPE C: CANOPY TREES WITHIN 60' OF ALL SPACES  
TYPE D: CANOPY TREES 40' ON CENTER AT STREET  
TYPE E: NOT APPLICABLE  
TYPE F: LANDSCAPE BUFFER AT STREET

OWNER/DEVELOPER

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/ZIP: \_\_\_\_\_  
Phone/Email: \_\_\_\_\_

PARCEL

PIN #: 00538388  
Book/Page: 29475-251  
City/State/ZIP: CORNELIUS, NC  
Zoning Jurisdiction: CORNELIUS Zoning Group: IC  
Setbacks: Front: 70' Side: 0' Back: 0'

WATERSHED

The Property ☐ IS ☒ IS NOT located in a Watershed Overlay District  
Watershed District: \_\_\_\_\_ Jurisdiction: \_\_\_\_\_  
The Property ☐ IS ☒ IS NOT located in a FEMA 100-year Floodplain  
Acreage: \_\_\_\_\_

BUILDING INFORMATION

Building Height: \_\_\_\_\_ Use: OFFICE/WAREHOUSE  
☒ THE EXTERIOR LIGHTING WILL NOT AFFECT ANY OF THE ADJACENT PROPERTIES.

PARKING

Req. Parking Spaces: 24 Proposed: 48  
Calculation Method: 1 per 4000 SF WAREHOUSE, 1 PER 300 OFFICE

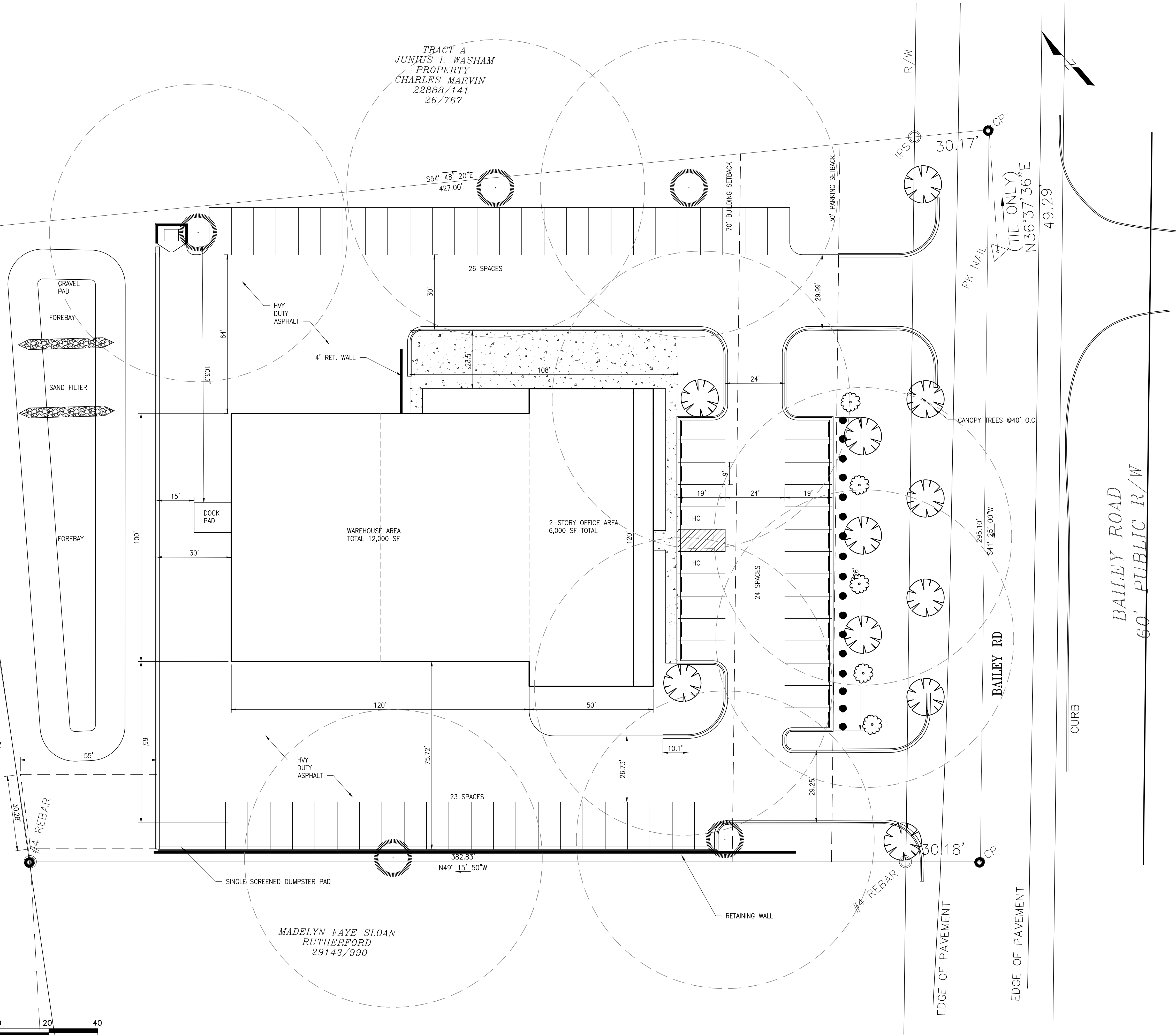
IMPERVIOUS AREA

Existing Impervious: 0 AC Proposed: 1.65 AC Total Area: 2.55 AC  
Percent Impervious: 65.2% Classification: HIGH DENSITY  
TOTAL DRAINAGE AREA: 2.5 AC

DISTURBED AREA

Disturbed Area: 1.74 AC Total Area: 2.55 AC  
An Erosion Control Plan ☒ IS ☐ IS NOT required to be submitted for review.

STEFAN M. RATHMAN  
KERRY R. RATHMANN  
LOIS N. CHANDLER  
LEONARD C. CHANDLER  
15540/294



A NEW BUILDING FOR:  
HIRSCHFELD DEVELOPMENT  
10231 BAILEY RD  
CORNELIUS, NC

SITE LAYOUT & LANDSCAPING PLAN

SCALE: AS NOTED

C-1

OF

APPROVED FOR CONTRACT

OWNER	DATE	DATE	DATE
_____	_____	_____	_____

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DESIGN NO.

PROJECT NO.	DRAWN BY	CHECKED BY	1-25-17
----	JCD III	JCD	

PRELIM. DRAWING  
NOT FOR CONSTRUCTION

DARDEN  
ENGINEERING  
SERVICES, PLLC  
862 BRAWLEY SCHOOL RD, SUITE 202  
MOORESVILLE, N. C. 28117  
PHONE NO. 704-663-7738  
EMAIL: info@dardeneng.com



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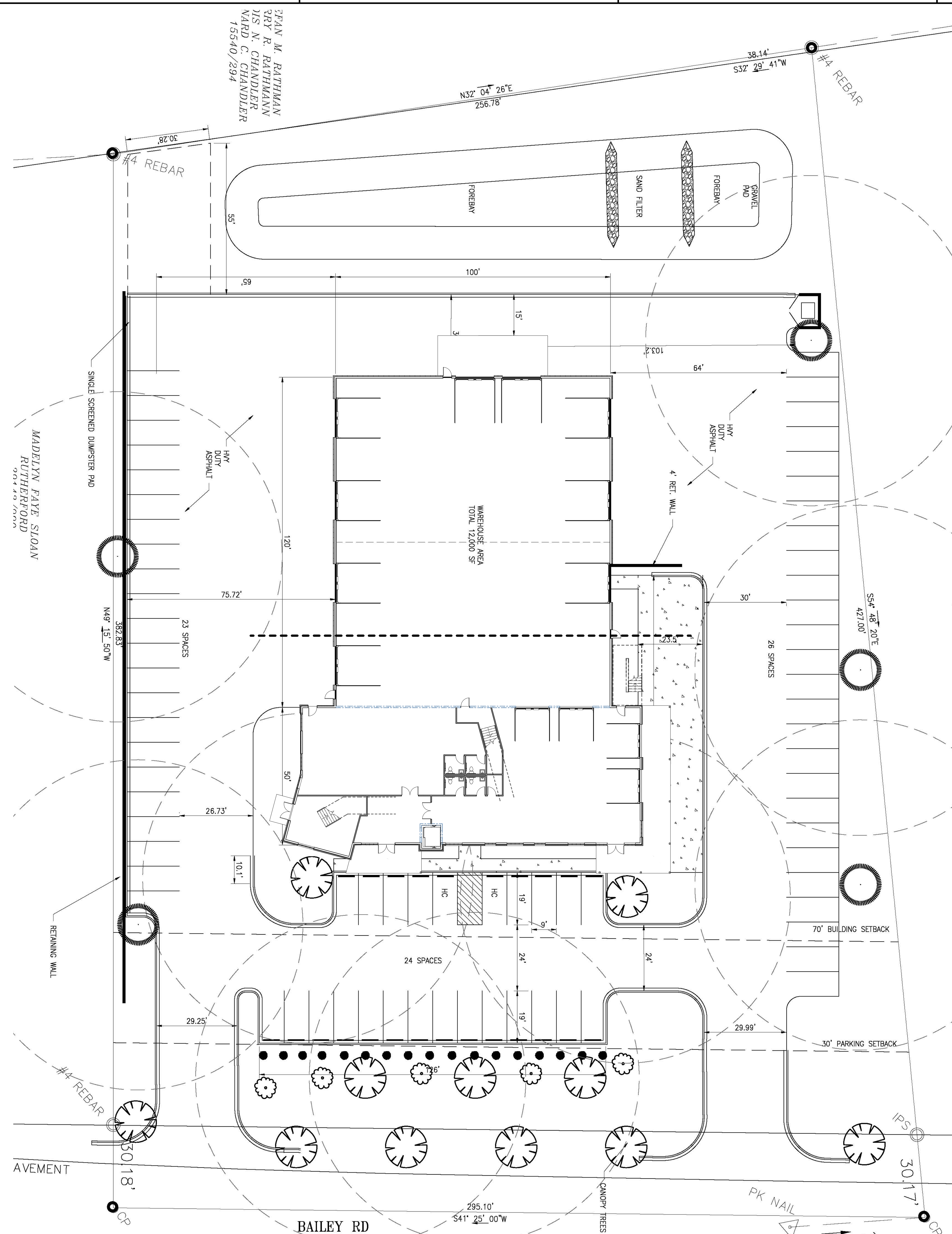
**HIRSCHFELD  
MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE:	DESCRIPTION:
REVISIONS		
PROJECT NUMBER:		
2170547		
DRAWN BY:		
KRJ		
REVIEWED BY:		
REL		
ISSUED FOR:		
ARCHITECTURAL REVIEW BOARD		
DATE:		
05.12.2017		
DRAWING NAME:		

## ARCHITECTURAL SITE PLAN

DRAWING NUMBER

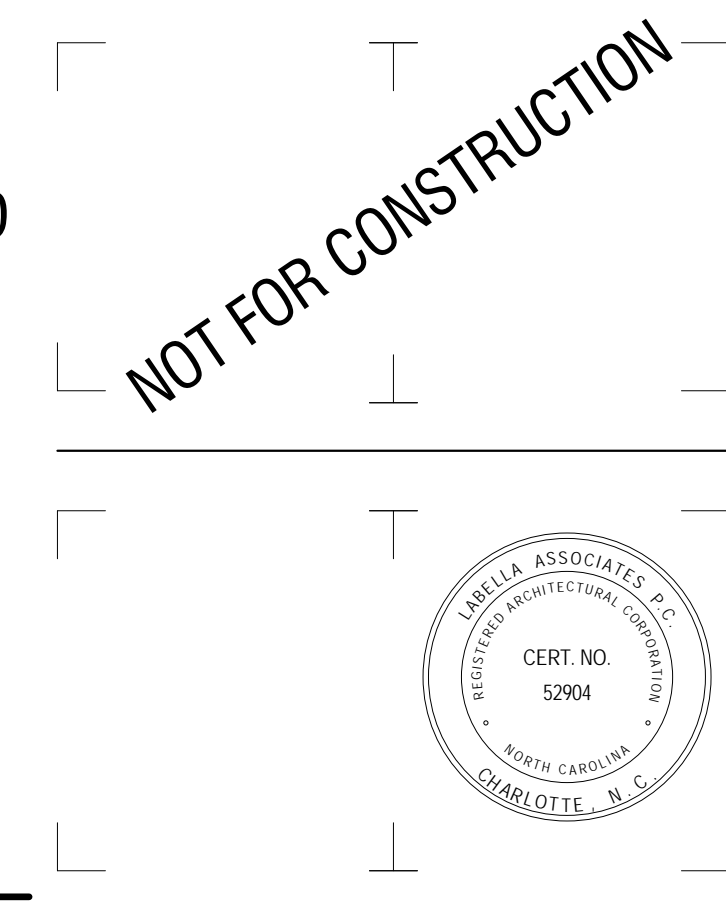
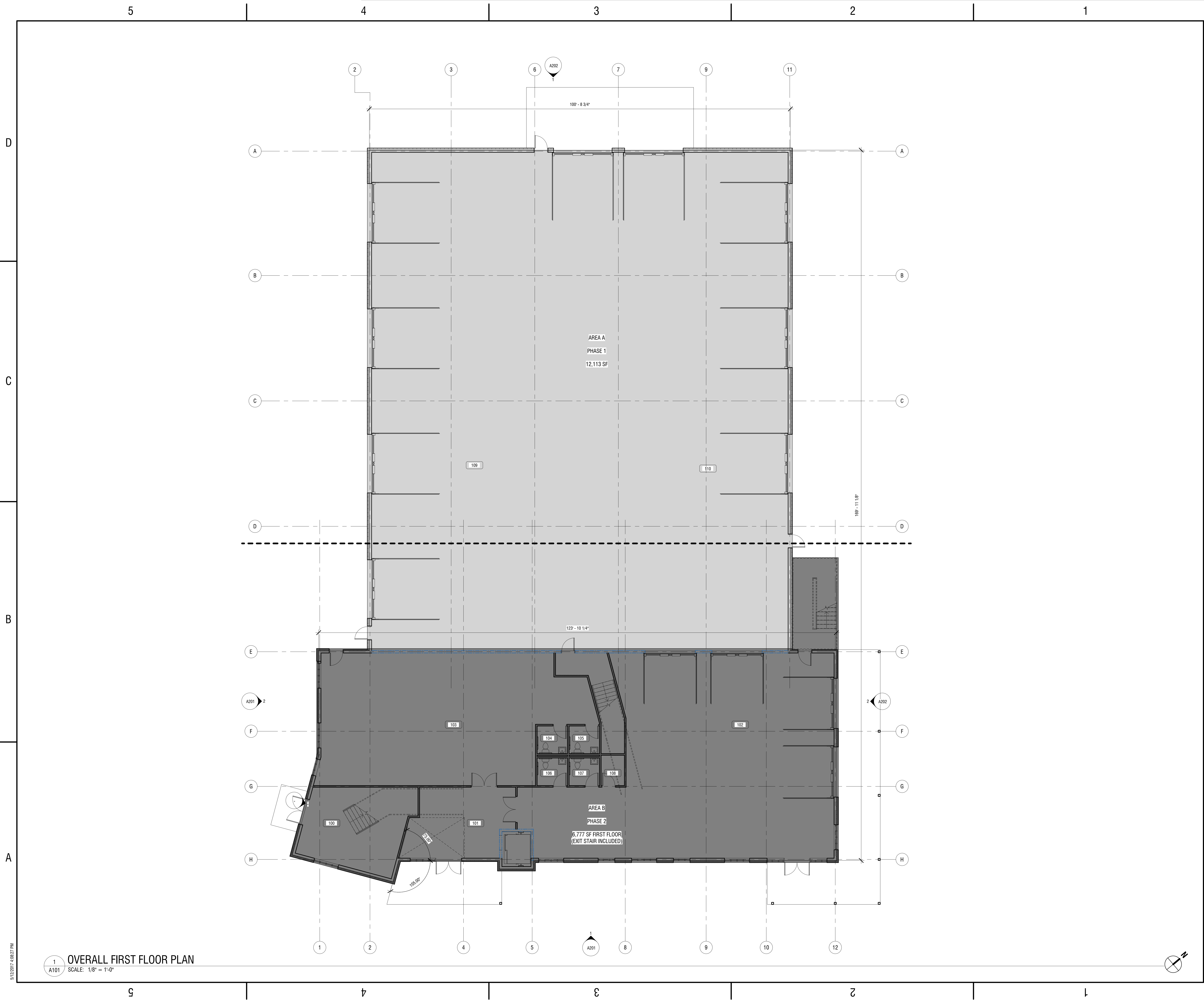
# AS100



ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"

5/12/2017 4:10:25 PM





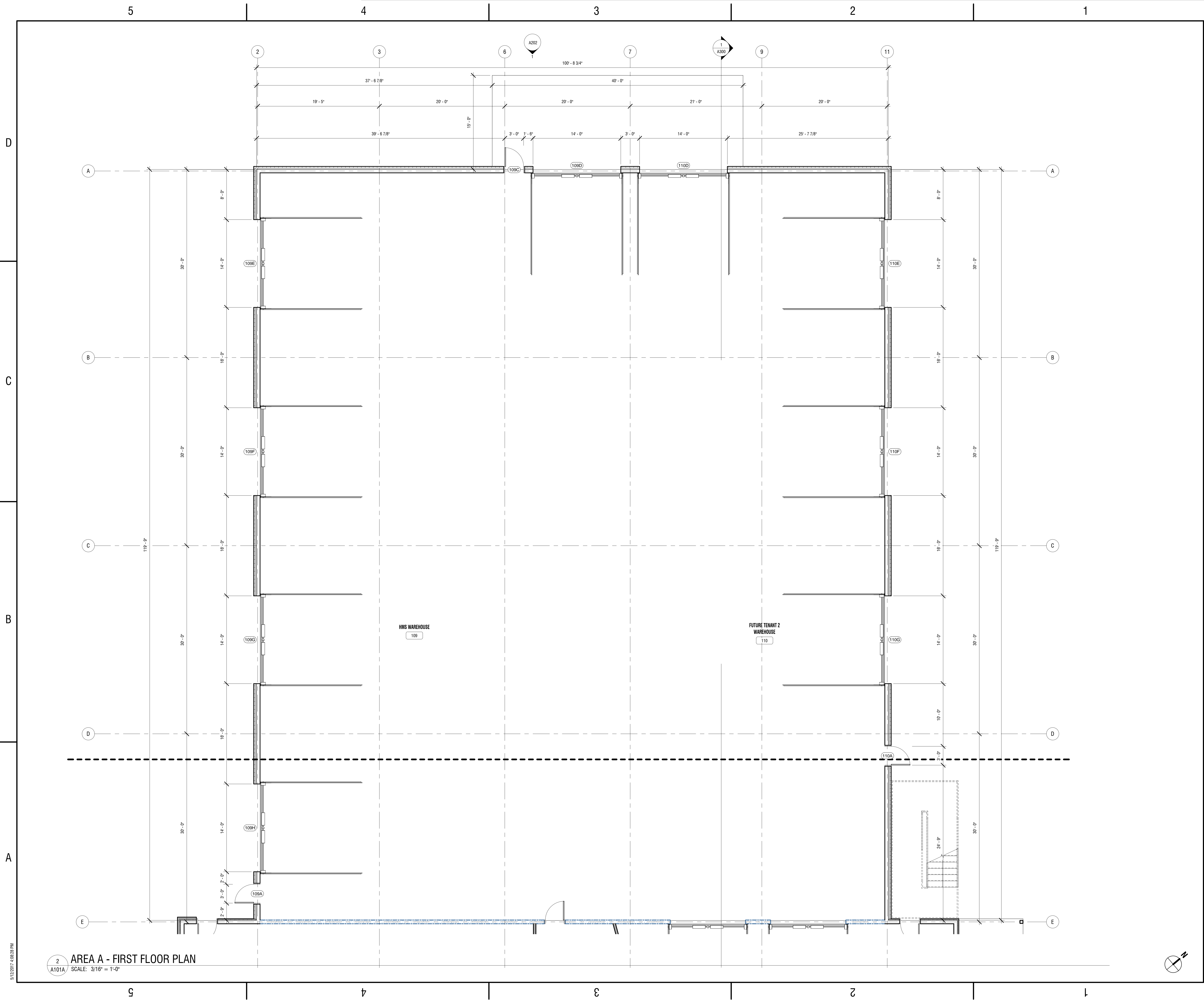
**HIRSCHFELD  
MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER: 2170547		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: ARCHITECTURAL REVIEW BOARD		
DATE: 05.12.2017		
DRAWING NAME:		

**OVERALL FIRST FLOOR  
PLAN**

DRAWING NUMBER:

**A101**



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ABELLA ASSOCIATES, P.A.  
REGISTERED ARCHITECTURAL FIRM  
CERT. NO. 52964  
NORTH CAROLINA  
CHARLOTTE, N.C.

**HIRSCHFELD**  
MARKETING SOLUTIONS

10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE	DESCRIPTION
REVISIONS		

PROJECT NUMBER: 2170547

DRAWN BY: KRJ

REVIEWED BY: REL

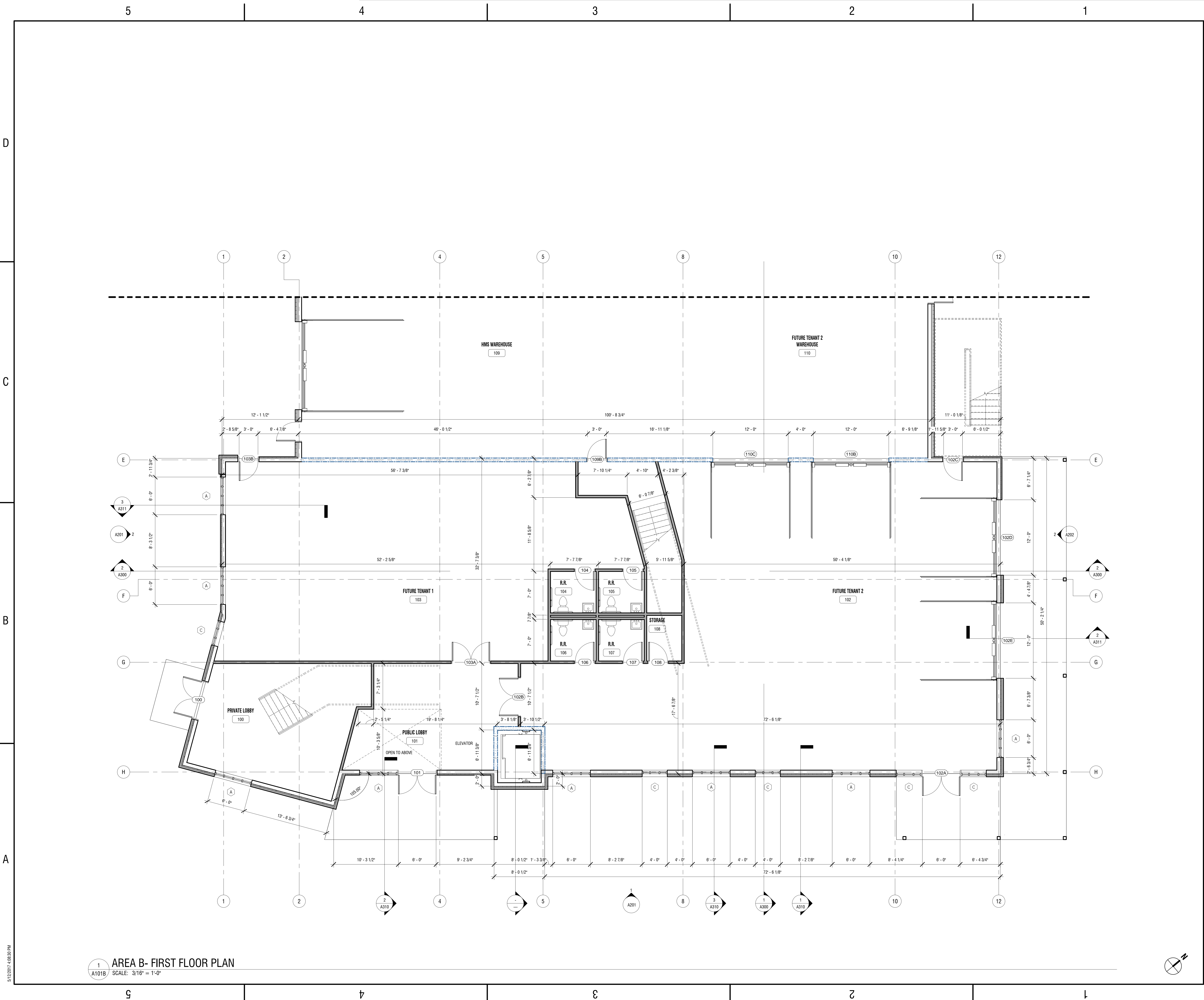
ISSUED FOR: ARCHITECTURAL REVIEW BOARD

DATE: 05.12.2017

DRAWING NAME:

AREA A - FIRST FLOOR PLAN

A101A



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CORNELIUS, NC 28031

NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER: 2170547		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: ARCHITECTURAL REVIEW BOARD		
DATE: 05.12.2017		
DRAWING NAME:		

**AREA B - FIRST FLOOR  
PLAN**

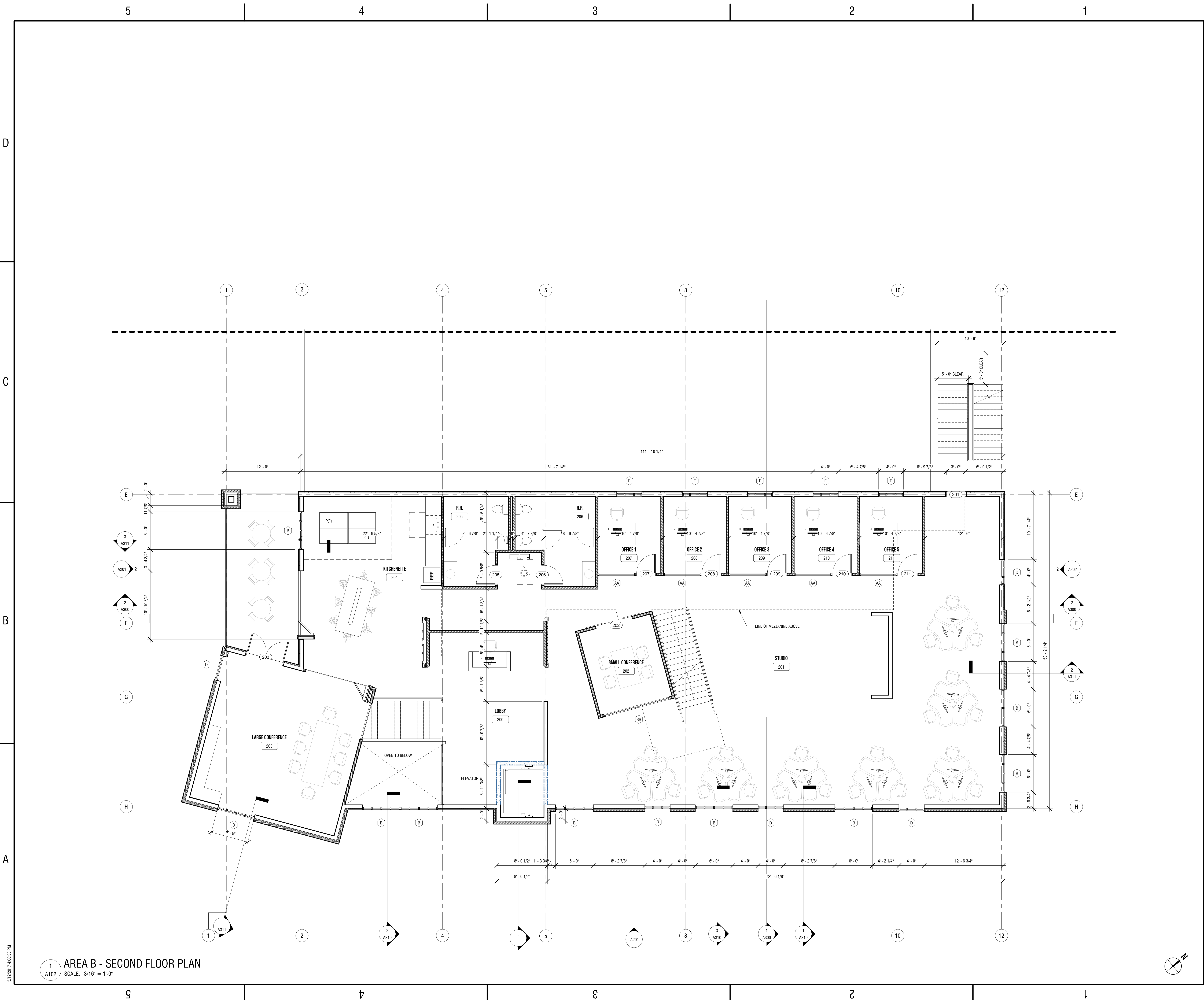
DRAWING NUMBER:

**A101B**

**1 AREA B- FIRST FLOOR PLAN**  
A101B SCALE: 3/16" = 1'-0"

5/12/2017 4:08:30 PM





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CORNELIUS, NC 28031

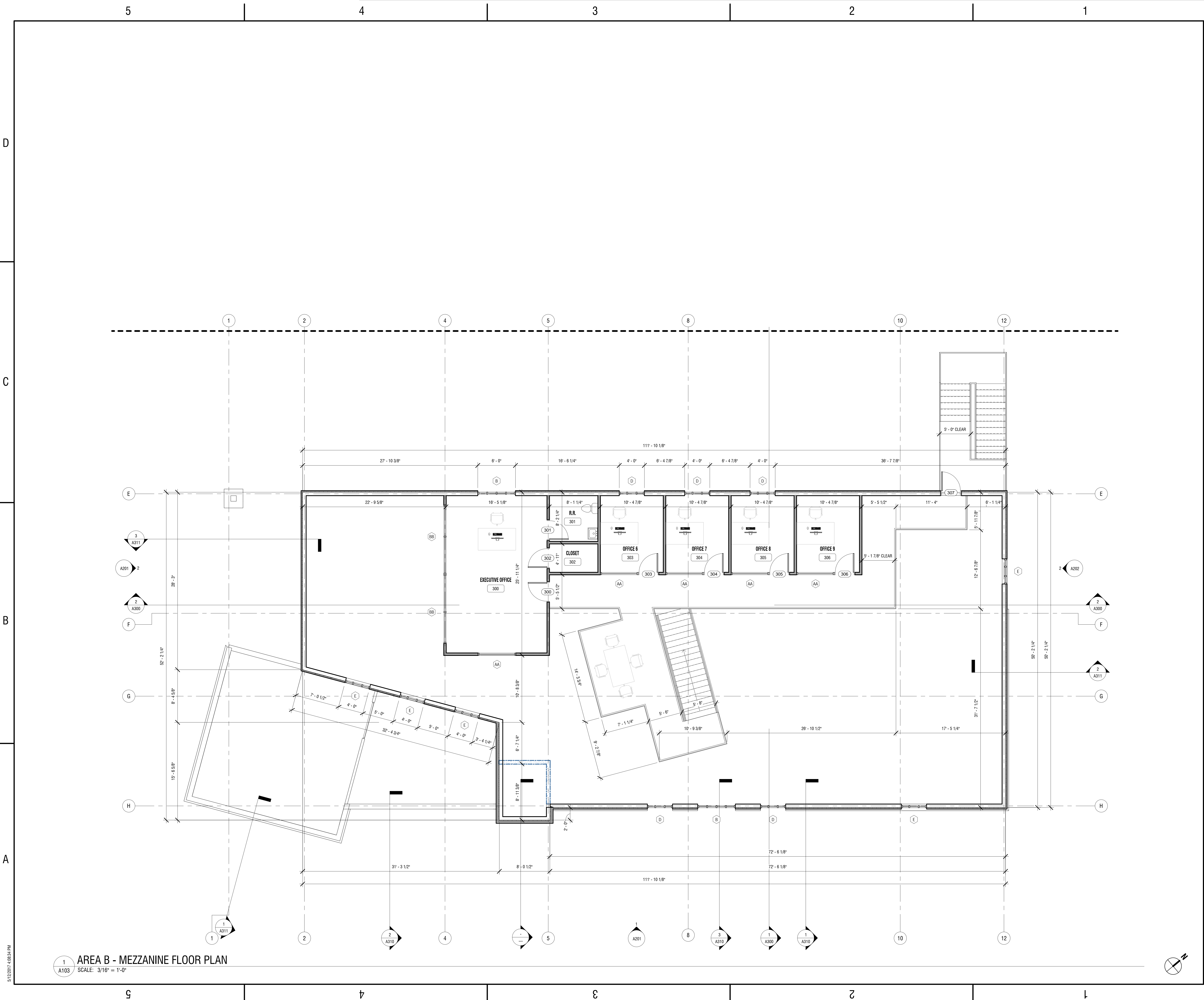
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**AREA B - SECOND FLOOR  
PLAN**

DRAWING NUMBER:

**A102**





5/12/2017 4:08:34 PM

1  
A103  
AREA B - MEZZANINE FLOOR PLAN  
SCALE: 3/16" = 1'-0"

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10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER: 2170547		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: ARCHITECTURAL REVIEW BOARD		
DATE: 05.12.2017		
DRAWING NAME:		

**AREA B - MEZZANINE  
FLOOR PLAN**

DRAWING NUMBER:

**A103**



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STUDIO



VIEW FROM ELEVATOR

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ENTRY CORNER



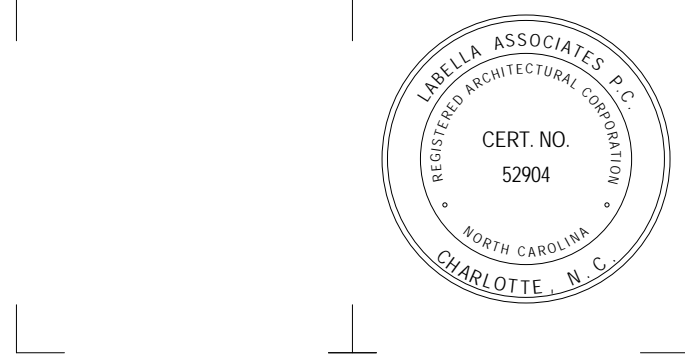
HWY 115 APPROACH

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MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER:		2170547
DRAWN BY:		KRJ
REVIEWED BY:		REL
ISSUED FOR:		ARCHITECTURAL REVIEW BOARD
DATE:		05.12.2017
DRAWING NAME:		

3D VIEWS

DRAWING NUMBER:

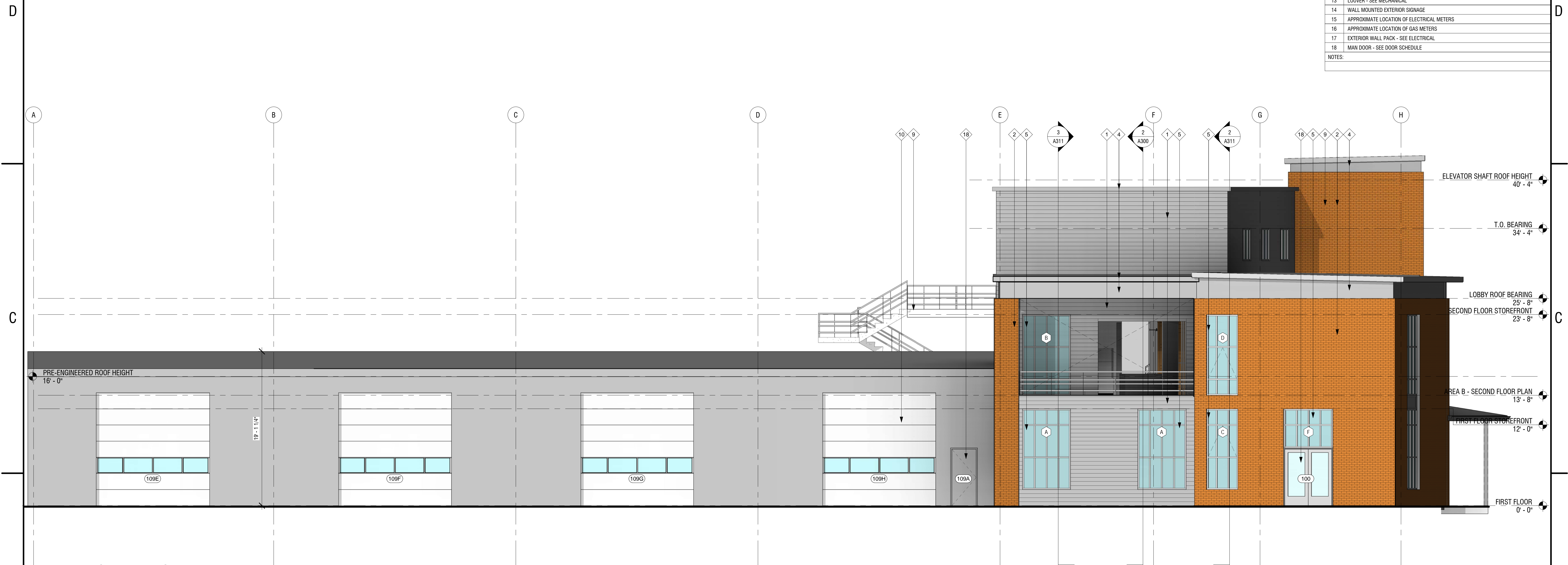
**A900**



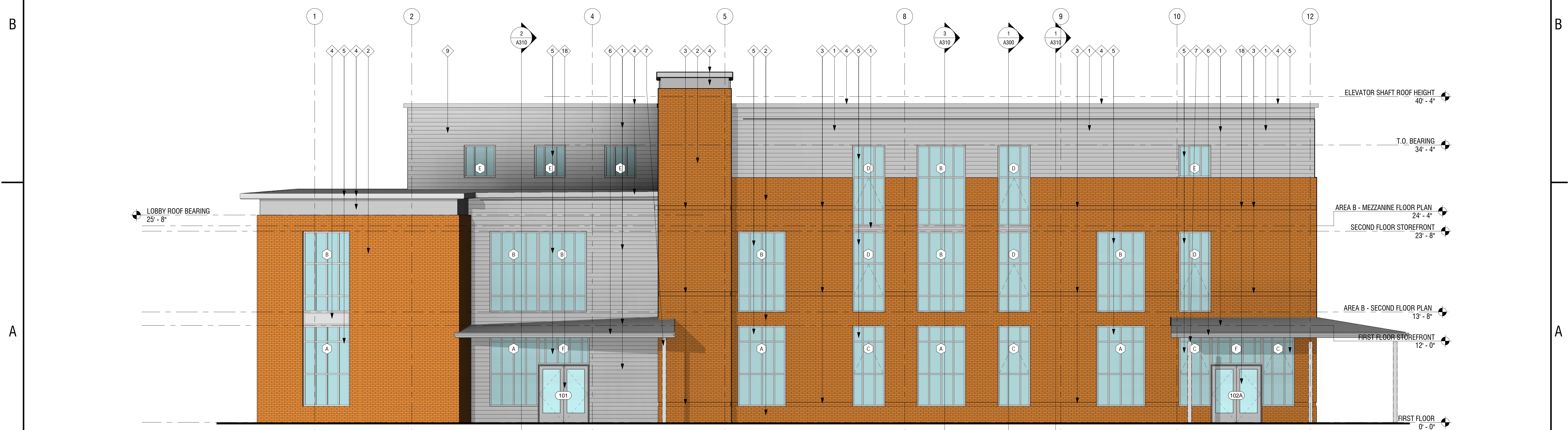
NOT FOR CONSTRUCTION



ELEVATION MATERIALS	
TAG	MATERIAL
1	1/2" EXPOSED FASTENER CORRUGATED METAL WALL PANEL
2	4" TUMBLED BRICK - ORANGE IN COLOR
3	4" REVEAL IN BRICK
4	METAL FASCIA PANEL - SMOOTH
5	ALUMINUM STOREFRONT - CLEAR
6	ALUMINUM BOX GUTTER - GREY
7	ALUMINUM BOX DOWNSPOUT - GREY
8	SINGLE-PLY MEMBRANE ROOFING
9	BUILDING BEYOND
10	OVERHEAD DOOR - SEE DOOR SCHEDULE
11	CONCENTRIC FLU VENT - SEE MECHANICAL
12	EXHAUST FAN - SEE MECHANICAL DRAWINGS
13	LOUVER - SEE MECHANICAL
14	WALL MOUNTED EXTERIOR SIGNAGE
15	APPROXIMATE LOCATION OF ELECTRICAL METERS
16	APPROXIMATE LOCATION OF GAS METERS
17	EXTERIOR WALL PACK - SEE ELECTRICAL
18	MAN DOOR - SEE DOOR SCHEDULE
NOTES:	



2 WEST ELEVATION  
A201 SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION  
A201 SCALE: 3/16" = 1'-0"

**HIRSCHFELD  
MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE:	DESCRIPTION:
REVISIONS		
PROJECT NUMBER:		
2170547		
DRAWN BY:		
KRJ		
REVIEWED BY:		
REL		
ISSUED FOR:		
ARCHITECTURAL REVIEW BOARD		
DATE:		
05.12.2017		
DRAWING NAME:		

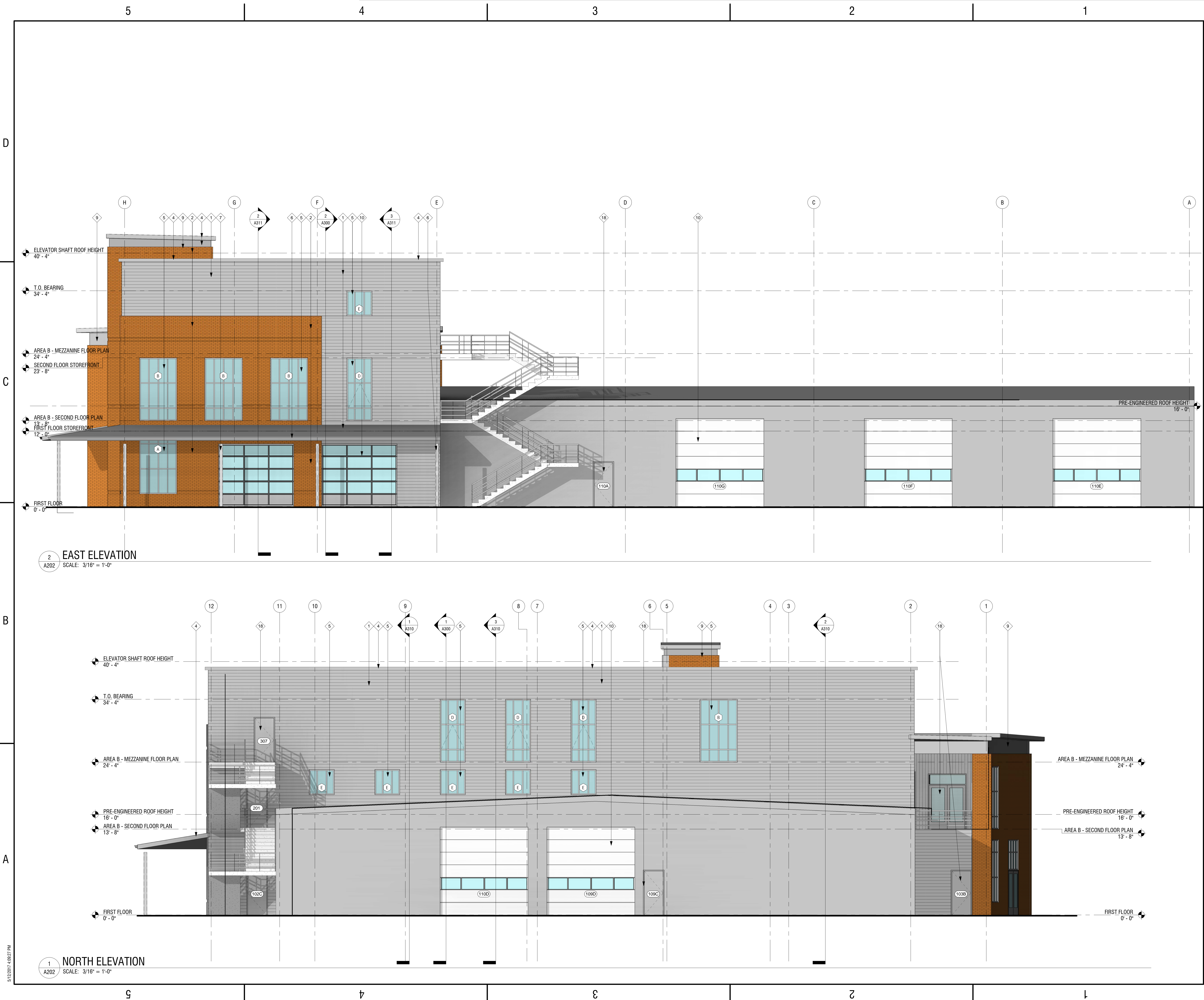
## EXTERIOR ELEVATIONS

DRAWING NUMBER:

# A201

5/12/2017 4:09:02 PM





NOT FOR CONSTRUCTION



**HIRSCHFELD  
MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

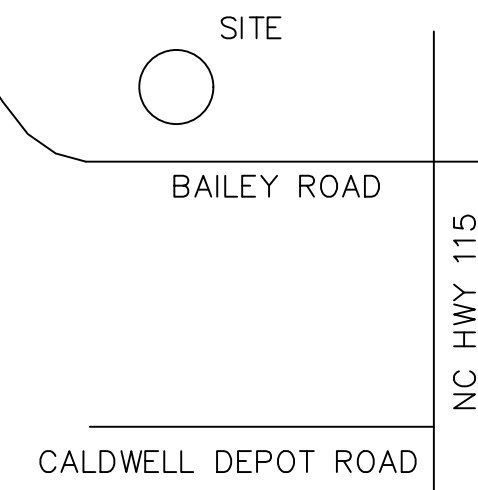
NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER: 2170547		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: ARCHITECTURAL REVIEW BOARD		
DATE: 05.12.2017		
DRAWING NAME:		

**EXTERIOR ELEVATIONS**





DRAWING NUMBER:

**A202**





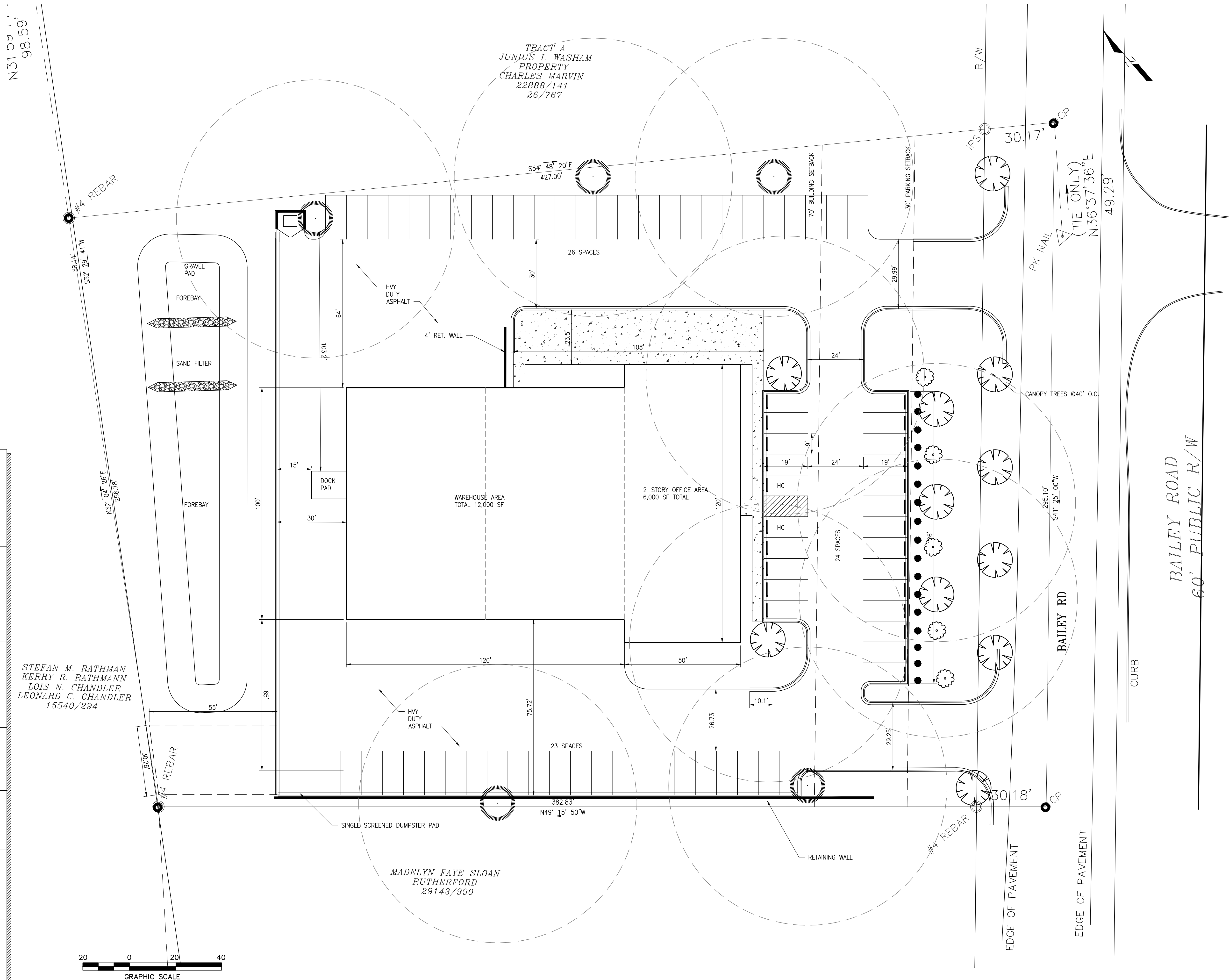
N.T.S.

-  = CRAPE MYRTLE (*LAGERSTROEMIA*)  
 LITTLE GEM MAGNOLIA (*MAGNOLIA GRANDIFLORA* 'LITTLE GEM')  
 = BLACK OAK (*QUERCUS VELUTINA*)  
 = BURFORD HOLLY (*ILEX CORNUTA* BURFORDI)

TYPE A: NOT APPLICABLE

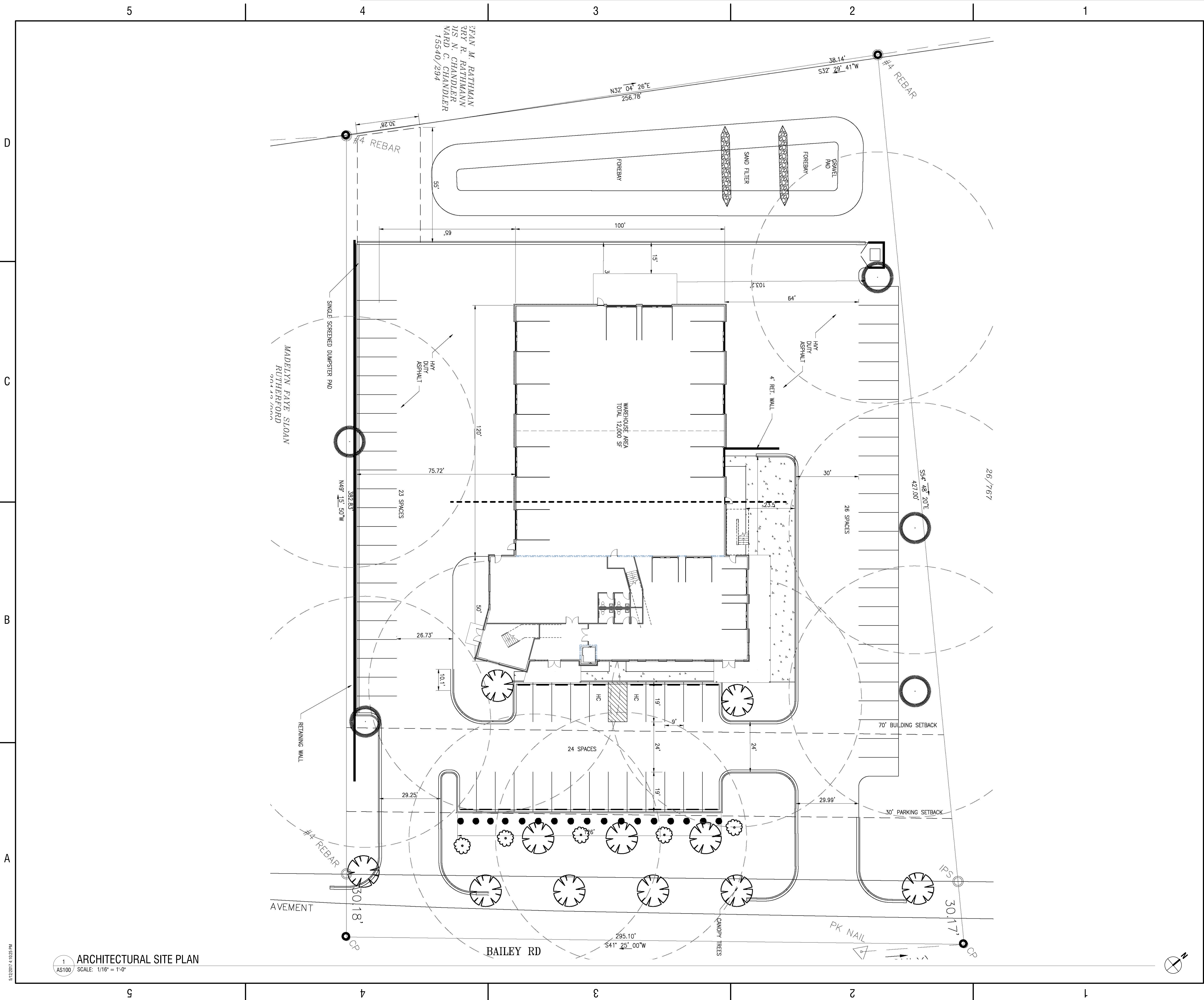
TYPE A:	NOT APPLICABLE
TYPE B-1:	1.675 DECID. TREES/100 FT 3.35 EVERGREEN TREES/100 FT 13.4 SHRUBS/100 FT
TYPE C:	CANOPY TREES WITHIN 60' OF ALL SPACES
TYPE D:	CANOPY TREES 40' ON CENTER AT STREET
TYPE E:	NOT APPLICABLE
TYPE F:	LANDSCAPE BUFFER AT STREET

<h2 style="margin: 0;">OWNER/DEVELOPER</h2>	
Name: _____	
Address: _____	
City/State/ZIP: _____	
Phone/Email: _____	
<h2 style="margin: 0;">PARCEL</h2>	
PIN #: 00538388 _____	
Book/Page: 29475-251 _____	
City/State/ZIP: CORNELIUS, NC _____	
Zoning Jurisdiction: CORNELIUS _____	Zoning Group: IC _____
Setbacks: Front: 70' _____	Side: 0' _____
Back: 0' _____	
<h2 style="margin: 0;">WATERSHED</h2>	
The Property <input type="checkbox"/> IS <input checked="" type="checkbox"/> <u>IS NOT</u> located in a Watershed Overlay District	
Watershed District: _____	Jurisdiction: _____
The Property <input type="checkbox"/> IS <input checked="" type="checkbox"/> <u>IS NOT</u> located in a FEMA 100-year Floodplain	
Acreage: _____	
<h2 style="margin: 0;">BUILDING INFORMATION</h2>	
Building Height: _____	Use: <u>OFFICE/WAREHOUSE</u>
<input checked="" type="checkbox"/> THE EXTERIOR LIGHTING WILL NOT AFFECT ANY OF THE ADJACENT PROPERTIES.	
<h2 style="margin: 0;">PARKING</h2>	
Req. Parking Spaces: 24 _____	Proposed: 48 _____
Calculation Method: <u>1 per 4000 SF WAREHOUSE, 1 PER 300 OFFICE</u> _____	
<h2 style="margin: 0;">IMPERVIOUS AREA</h2>	
Existing Impervious: 0 AC _____	Proposed: 1.65 AC _____
Total Area: 2.55 AC _____	
Percent Impervious: 65.2% _____	Classification: <u>HIGH DENSITY</u> _____
TOTAL DRAINAGE AREA: 2.5 AC _____	
<h2 style="margin: 0;">DISTURBED AREA</h2>	
Disturbed Area: 1.74 AC _____	Total Area: 2.55 AC _____
An Erosion Control Plan <input checked="" type="checkbox"/> IS <input type="checkbox"/> <u>IS NOT</u> required to be submitted for review.	



<b>C-1</b>	A NEW BUILDING FOR:	HIRSCHFELD DEVELOPMENT 10231 BAILEY RD CORNELIUS, NC									
	SITE LAYOUT & LANDSCAPING PLAN										
	SCALE: AS NOTED										
	NO.	DATE	DESCRIPTION	BY	CHKD.						
	-	-	-	-	-						
	-	-	-	-	-						
APPROVED FOR CONTRACT											
OWNER											
DATE											
PROJECT NO.											
DESIGN NO.											
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JCD III											
CHECKED BY											
JCD											
1:26-17											
<b>DARDEN ENGINEERING SERVICES, PLLC</b> 862 BRAWLEY SCHOOL RD, SUITE 202 MOOREVILLE N.C. 28117 PHONE NO. 704-463-7738 EMAIL: info@dardeng.com											
PRELIM. DRAWING NOT FOR CONSTRUCTION											





5/12/2017 4:10:25 PM

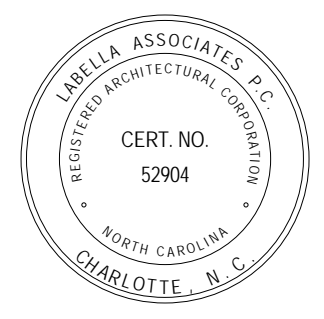
1  
AS100  
ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"

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MARKETING SOLUTIONS

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**MARKETING SOLUTIONS**  
10231 BAILEY RD.  
CORNELIUS, NC 28031

NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NUMBER: 2170547		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: ARCHITECTURAL REVIEW BOARD		
DATE: 05.12.2017		
DRAWING NAME:		

**ARCHITECTURAL**  
**SITE PLAN**

DRAWING NUMBER:

**AS100**



## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: May 26, 2017

To: Architectural Review Board Members

From: Jason Pauling, AICP - Senior Planner

### Action Requested:











A request from Mama's Pizza to construct a new building, which will eventually replace their current restaurant located at 19741 S. Main Street. The new building will be approximately 5,250 square feet, and will include 3,250 square feet for the new Mama's Pizza Restaurant, and 2,000 square feet of additional commercial space to be leased to another tenant. The new building is proposed to have frontage on Hickory Street and Tryon Street in lieu of South Main Street, which is a variation from the code and requires Board approval. The new building is designed to have a building front façade appearance on all three streets.

The applicants provided revised elevations at the last ARB meeting, and are continuing to tweak the design based on ARB and staff comments before this case goes to the Planning Board and the Town Board. Looking for conceptual approval of the design prior to Planning Board on 6/12.

### Manager's Recommendation:

Review and Provide Direction

### ATTACHMENTS:

Name:	Description:	Type:
 <a href="#">2017-01-12_Rezoning_Letter.pdf</a>	Rezoning Description Letter	Backup Material
 <a href="#">MAMA_S_Zoning.jpg</a>	Zoning Map	Backup Material
 <a href="#">MAMA_S_LU.jpg</a>	Land Use Map	Backup Material
 <a href="#">MAMA_S_Vicinity.jpg</a>	Vicinity Map	Backup Material
 <a href="#">MAMA_S_Property.jpg</a>	Property Map	Backup Material
 <a href="#">IMG_9706.JPG</a>	Photo1: Tryon-Hickory	Backup Material
 <a href="#">IMG_9708.JPG</a>	Photo 2: Tryon	Backup Material
 <a href="#">IMG_9709.JPG</a>	Photo 3: Hickory	Backup Material
 <a href="#">IMG_9710.JPG</a>	Photo 4: South Main Front	Backup Material
 <a href="#">Mama_s_Pizza_Revised_Submittal_5.17.17.pdf</a>	Revised Package Submittal	Backup Material





Written Summary,  
January 01, 2017

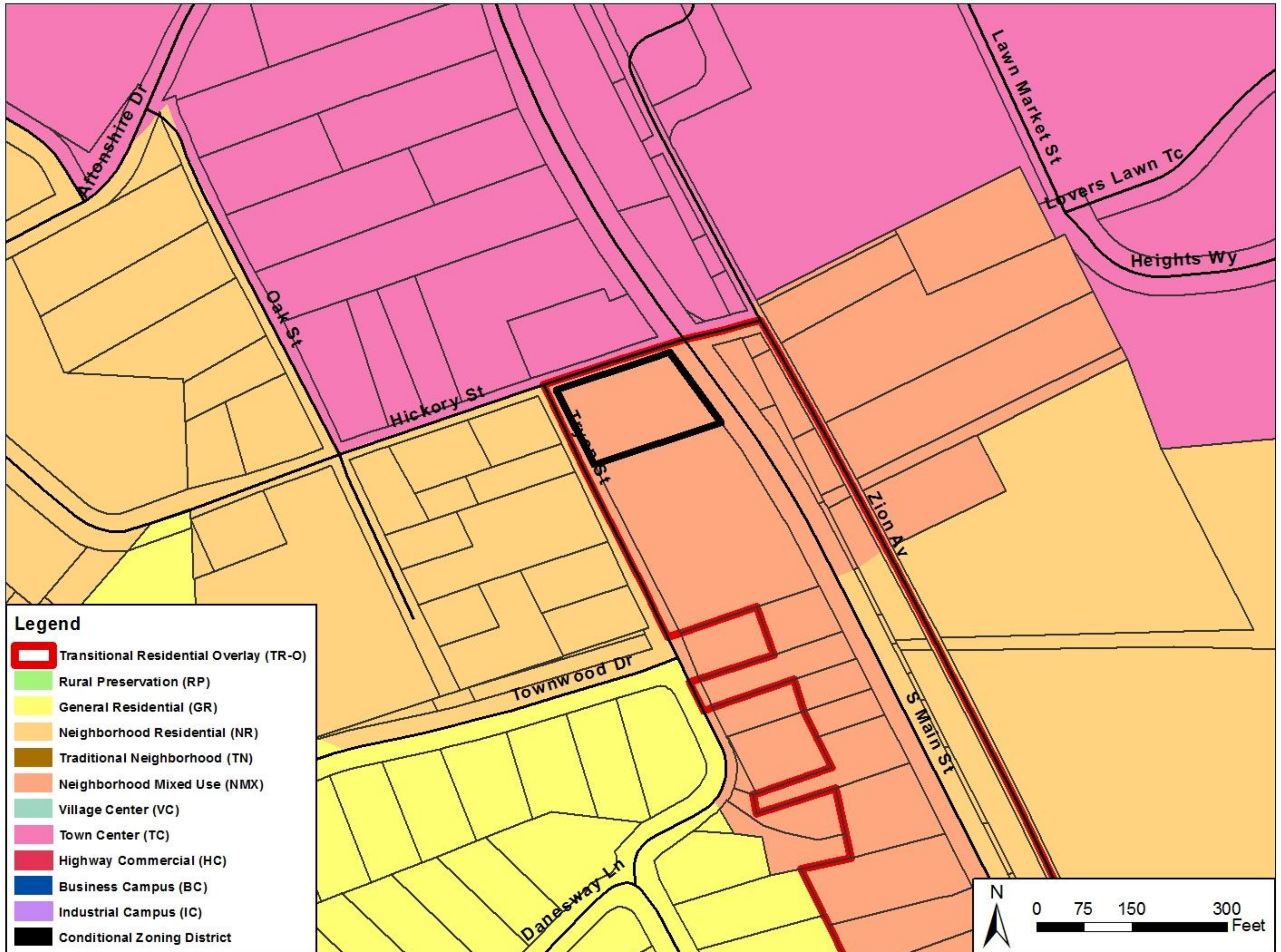
This project proposes a 3,250 sf multi-use building for Mama's pizza with an outdoor dining space and an additional 2,000 sf commercial building space with sidewalks to access the building off of Tryon Street and Hickory Street. Site plan proposes new parking area with multiple access points from existing sidewalks onto the new site and required landscaping.

Sincerely,

Jay Henson, ASLA  
HensonFoley

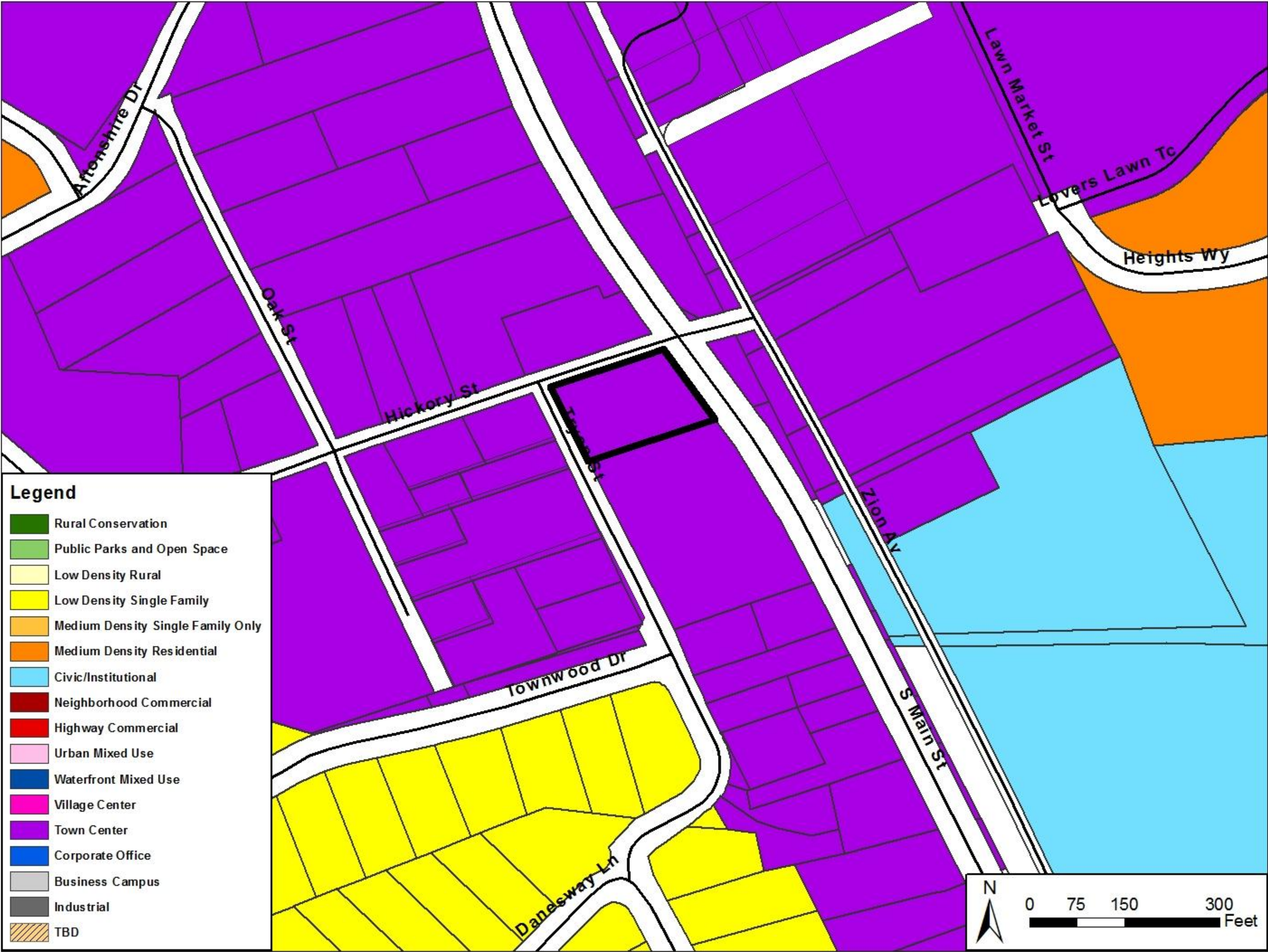


# MAMA'S PIZZA





# MAMA'S PIZZA





# MAMA'S PIZZA





# MAMA'S PIZZA













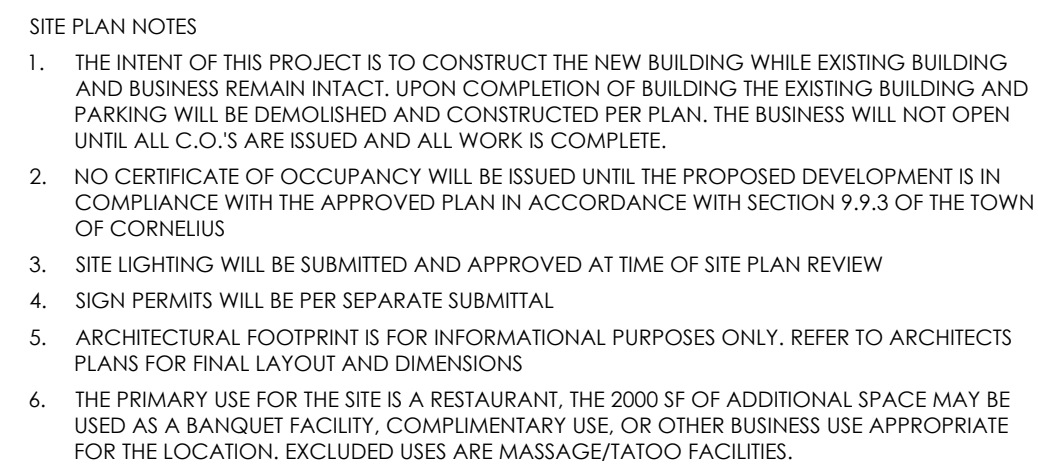






Since 1974  
N. Main St.  
**Manna's**  
Pizza Express  
Dine In or Delivery  
(704) 892-3305





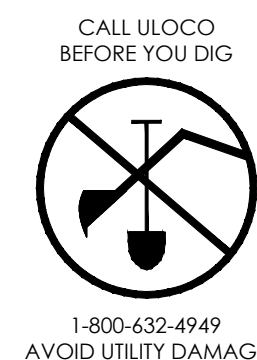
POST CONSTRUCTION/DETENTION

1. THIS PROJECT IS LESS THAN 1 ACRE (DISTURBED AND PARCEL SIZE) AND IS EXEMPT FROM POST CONSTRUCTION/ WATER QUALITY
2. STORMWATER DETENTION IS NOT REQUIRED SINCE THE BUA INCREASE IS LESS THAN 20,000 \$F FROM EFFECTIVE DATE

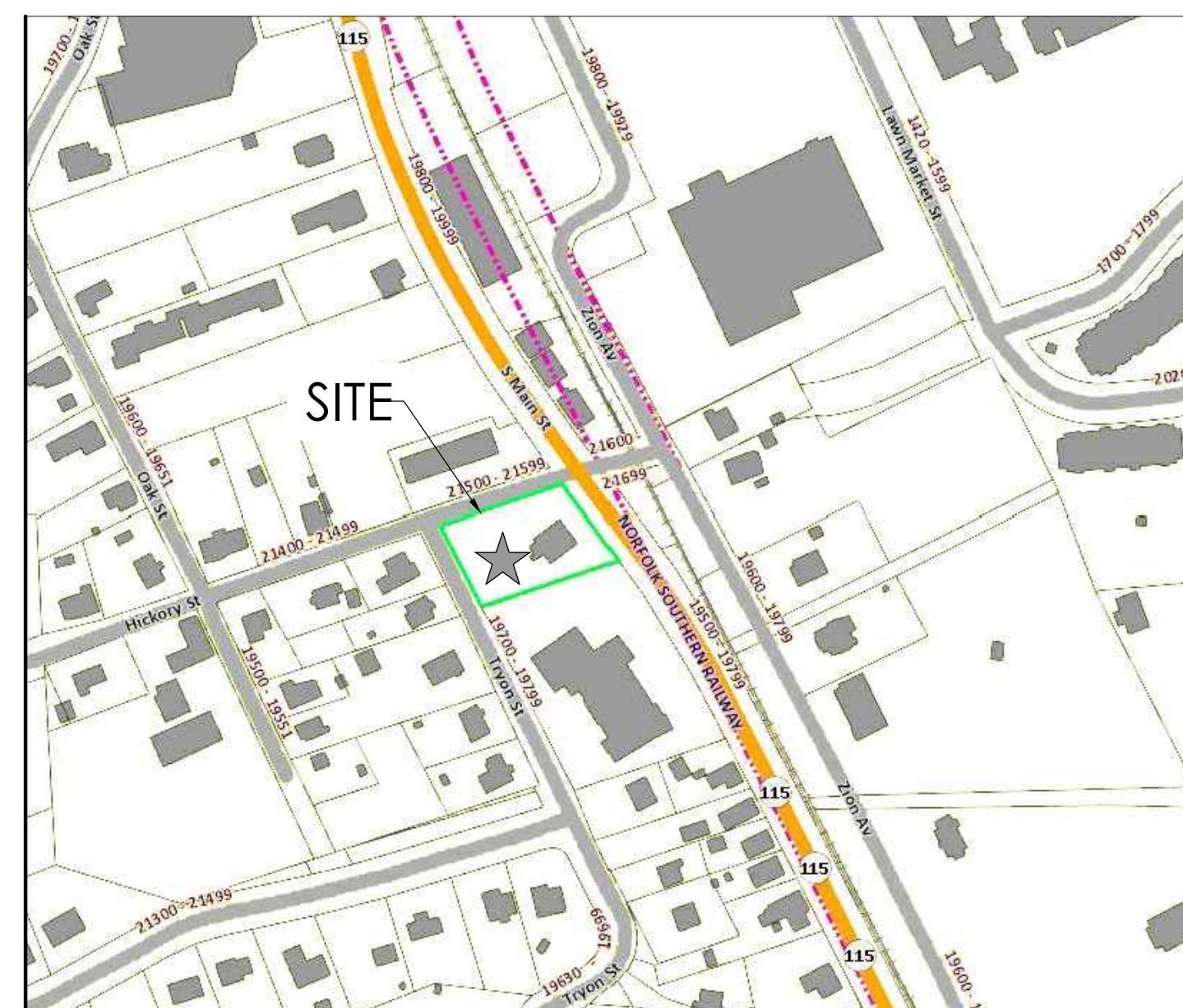
ZONING CODE SUMMARY		
ITEM#	ITEM	PROVIDED
1	BUILDING SIZE	BUILDING TOTAL = 5 250 SF RESTAURANT = 3 250 SF COMMERCIAL = 2,000 SF
2	PARKING SPACES REQUIRED	RESTAURANT @ 1 PER 3 SEATS = 24 SPACES COMMERCIAL @ 1 PER 300 SF = 7 SPACES TOTAL = 31 SPACES
3	PARKING SPACES PROVIDED	32 SPACES
5	MIN. DRIVE AISLE WIDTH	AS NOTED
6	MIN. DRIVEWAY RADIUS	AS NOTED
7	HANDICAP SPACES	2 SPACES (1 VAN)
8	BUILDING HEIGHTS	1 STORY (26 FT MAX.)

IMPERVIOUS SUMMARY			
ITEM	SQUARE FOOT	ACRES	PERCENTAGE OF TOTAL SITE AREA
TOTAL SITE AREA	38,332.80 SF	0.88 AC	N/A
EXISTING IMPERVIOUS AREA	14,722 SF	0.33 AC	37.50 %
PROPOSED IMPERVIOUS AREA (on/off site)	21,309 SF	0.49 AC	55.58 %
TOTAL IMPERVIOUS AREA	21,309 SF	0.49 AC	55.58 %
TOTAL DISTURBED AREA	27,608 SF	0.633 AC	72 %

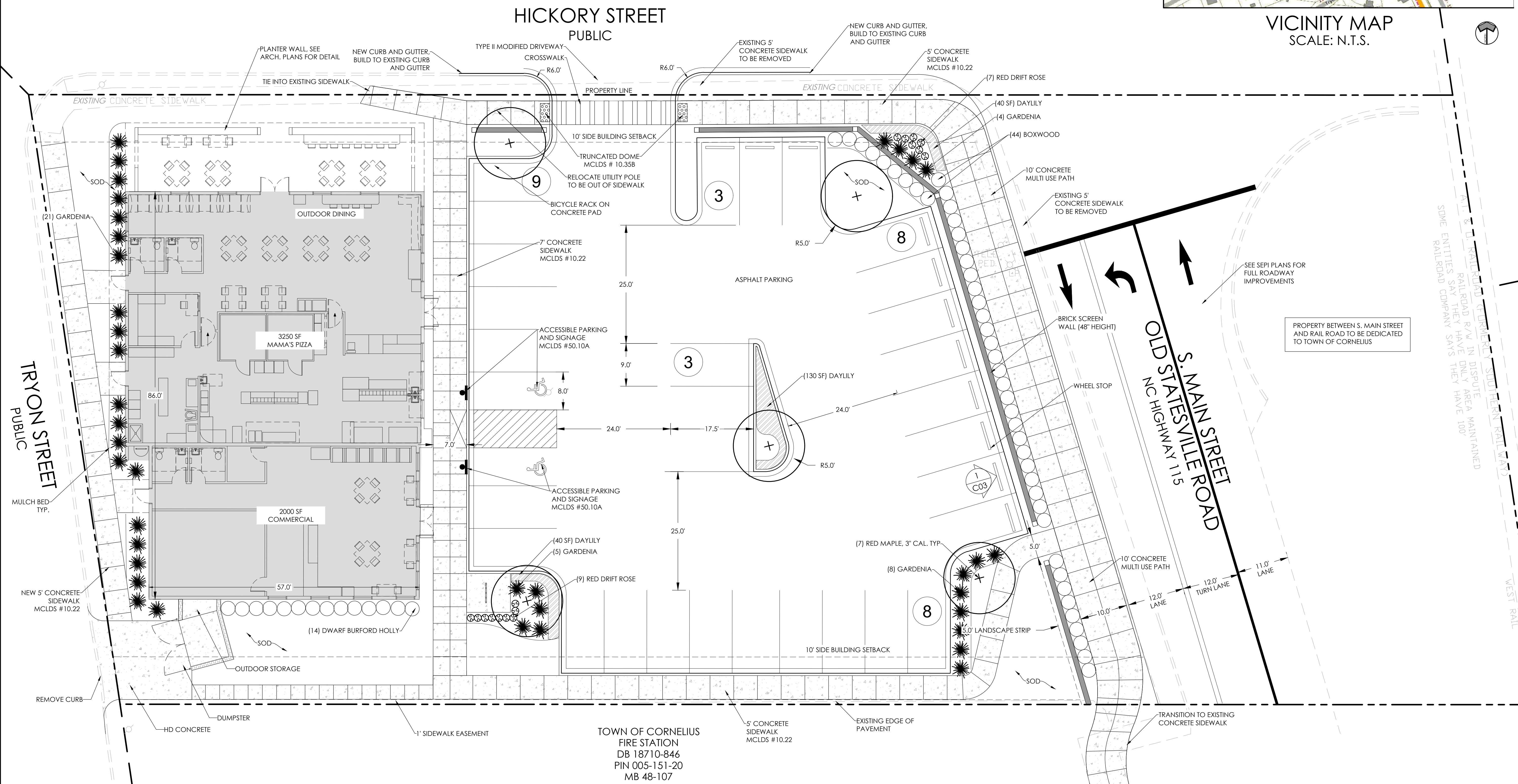
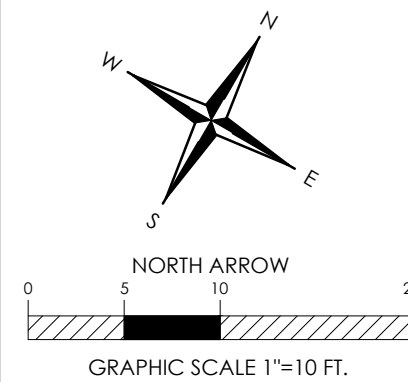
SITE DATA	
LOCATION:	19741 S. MAIN STREET (PID # 00515122) CORNELIUS, MECKLENBURG COUNTY, NC 28031
ZONE:	EXISTING: NMX      PROPOSED: C2
USE:	62% RESTAURANT, 38% COMMERCIAL
CONTACT:	HENSONFOLEY 704-875-1615
WATERSHED	ROCKY RIVER
LOT AREA	0.88 AC
MIN. FRONT BUILD TO LINE	0'
MIN. SIDE SETBACK	10'
MIN. REAR SETBACK	25'
MAX. BUILDING HEIGHT	26'
FEMA MAP NUMBER	3710464300K
FEMA EFFECTIVE DATE	09/02/2015
SOIL TYPE	CuB



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



VICINITY MAP  
SCALE: N.T.S.



# MAMA'S PIZZA

PID: 00515122  
19741 S MAIN STREET, CORNELIUS, NC 28031

# SITE PLAN

REVISIONS:

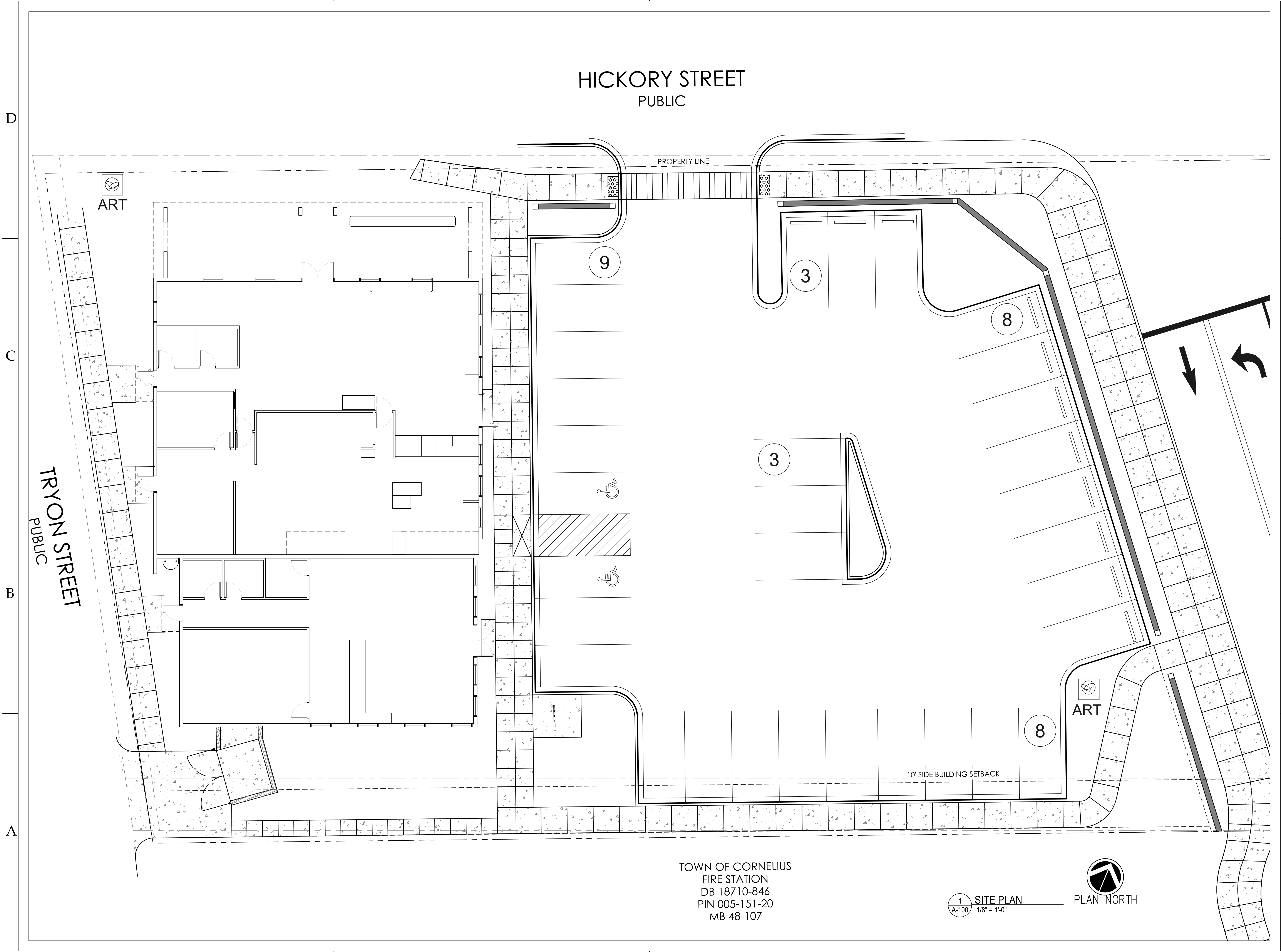
[illegible]

Z03 - SITE PLAN.DWG	
PROJECT NUMBER:	216082
DATE: 01/13/2017	DRAWN BY: JAH
SHEET	C 3 OF 03



**HensonFoley**  
 Landscape Architecture | Civil Engineering | NC  
 8712 Lindholm Dr Suite 202A, Huntersville, NC  
 : 704.875.1615f | 704.875.0959 | www.hensonfoley.com  
 NC ENGINEERING BOARD LICENSE C-3781  
 NC LANDSCAPE ARCHITECTURE BOARD LICENSE C-399  
 NC LAND SURVEYING BOARD LICENSE NCL-1380





PERSPECTIVES

**MAMA'S PIZZA**

\*\*  
Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
REVISIONS:		
DRAWN BY:		
APPROVED BY:		
ISSUED FOR: DESIGN REVIEW		
DATE: 05.12.17		
DRAWING NAME:		

SITE PLAN

DRAWING NO.:

A-100



D

C

B

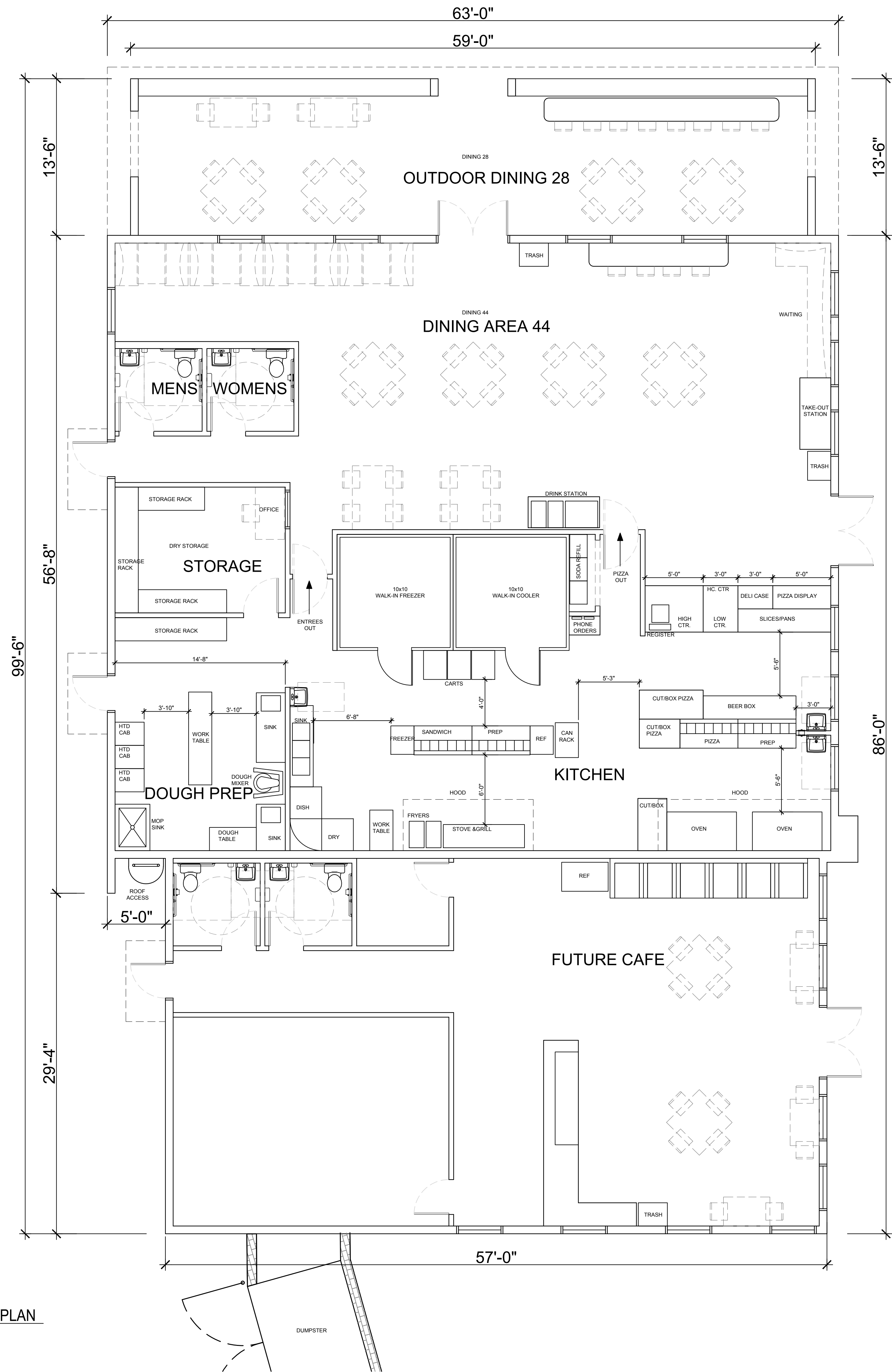
A

4

3

2

1



1 FLOOR PLAN  
A-101 / 3/16" = 1'-0"

D

C

B

A

PERSPECTIVES

**MAMA'S PIZZA**

Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
---	------	-------------

REVISIONS:

DRAWN BY:

APPROVED BY:

ISSUED FOR: DESIGN REVIEW

DATE: 05.12.17

DRAWING NAME:

FLOOR PLAN

DRAWING NO.:

A-101



36"x24" PLOT SHEET

D

C

B

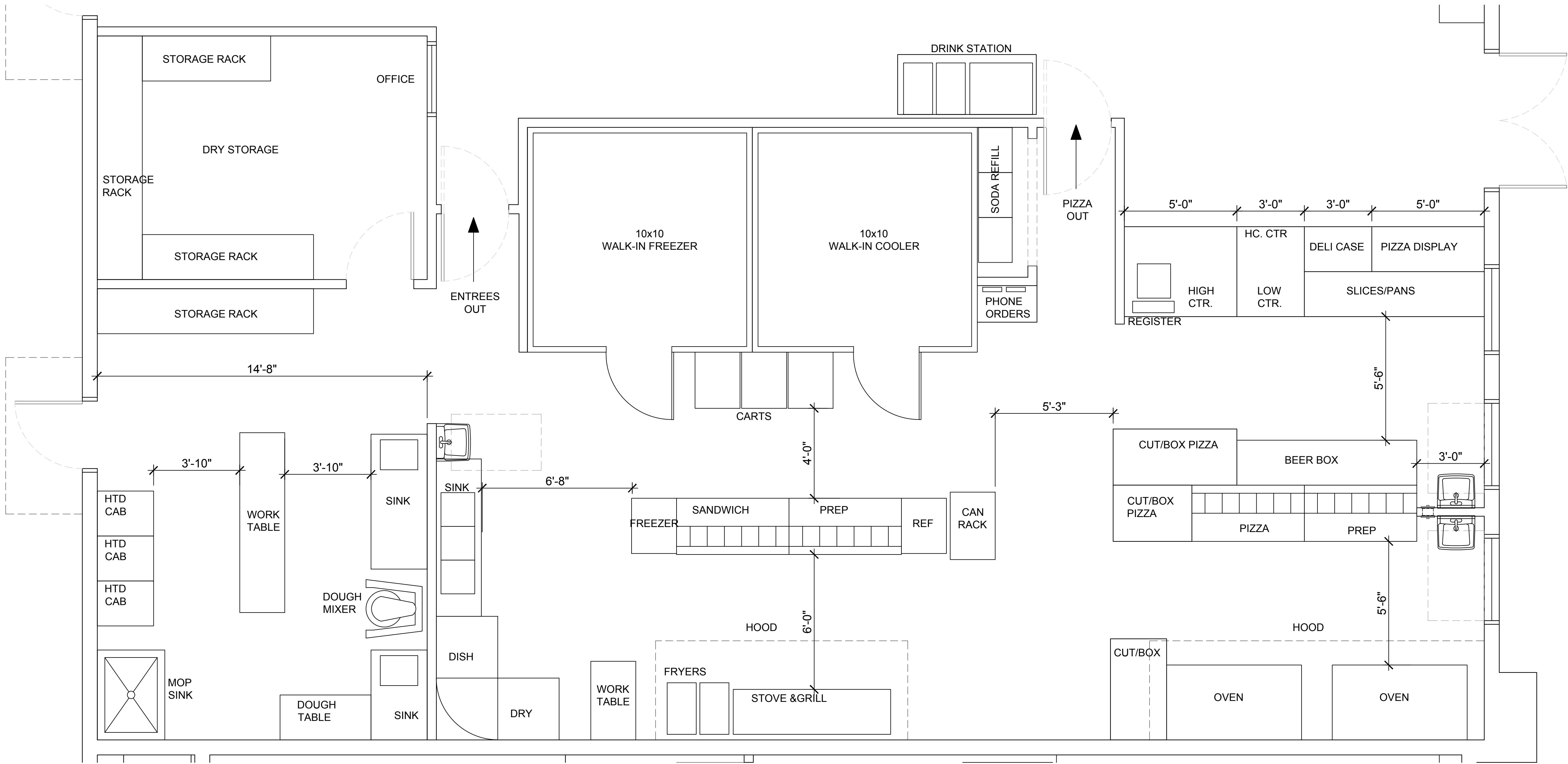
A

4

3

2

1



1  
A-102  
ENLARGED KITCHEN FLOOR PLAN  
3/8" = 1'-0"

**ABELLA**  
Relationships. Resources. Results.

455 S. MAIN STREET, SUITE 220  
DAVIDSON, NC 28036  
P: (704) 439-2931  
www.labelapc.com

D

C

B

A

PERSPECTIVES

**MAMA'S PIZZA**

\*\*  
Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
REVISIONS:		
DRAWN BY:		
APPROVED BY:		
ISSUED FOR: DESIGN REVIEW		
DATE: 05.12.17		
DRAWING NAME:		

ENLARGED KITCHEN PLAN

DRAWING NO.:

A-102



D

C

B

A

14'-2" LOWER PARAPET HGT.  
12'-2" LOWER ROOF HGT.  
7'-0" HDR. HGT.

24'-4" UPPER PARAPET HGT.  
18'-4" UPPER ROOF HGT.  
10'-0" PATIO ROOF HGT.



1 FRONT ELEVATION - TOWARD SOUTH MAIN STREET  
1/4" = 1'-0"



1 SIDE ELEVATION - HICKORY STREET  
1/4" = 1'-0"

D

C

B

A

PERSPECTIVES

**MAMA'S  
PIZZA**

Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
REVISIONS:		
DRAWN BY:		
APPROVED BY:		
ISSUED FOR: DESIGN REVIEW		
DATE: 05.12.17		
DRAWING NAME:		

EXTERIOR ELEVATIONS

DRAWING NO.:

A-201

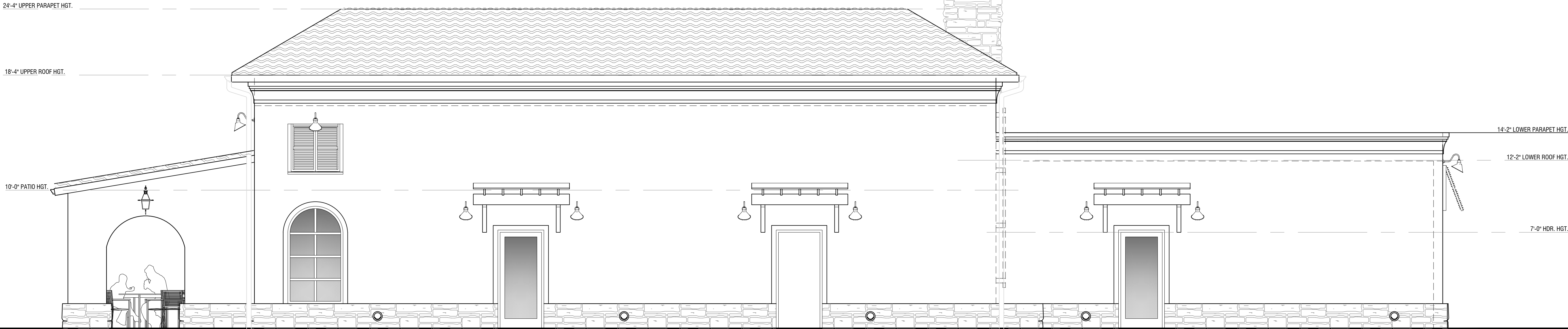


D

C

B

A



2 REAR ELEVATION - TRYON STREET  
1/4"=1'-0"



2 SIDE ELEVATION - TOWARD FIRE DEPARTMENT  
1/4"=1'-0"

D

C

B

A

PERSPECTIVES

**MAMA'S PIZZA**  
\*\*

Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
REVISIONS:		
DRAWN BY:		
APPROVED BY:		
ISSUED FOR: DESIGN REVIEW		
DATE: 05.12.17		
DRAWING NAME:		

EXTERIOR ELEVATIONS

DRAWING NO.:

A-202



D

C

B

A



D

C

B

A

**PERSPECTIVES**

**MAMA'S  
PIZZA**  
\*\*

Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
REVISIONS:		
DRAWN BY:		
APPROVED BY:		
ISSUED FOR: DESIGN REVIEW		
DATE: 05.12.17		
DRAWING NAME:		

**PERSPECTIVES**

DRAWING NO.:

**A-203**



D

C

B

A



D

C

B

A

PERSPECTIVES

**MAMA'S  
PIZZA**  
\*\*

Frank and Lynn Manis  
19741 S Main St  
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
---	------	-------------

REVISIONS:

DRAWN BY:

APPROVED BY:

ISSUED FOR: DESIGN REVIEW

DATE: 05.12.17

DRAWING NAME:

FRONT PERSPECTIVE

DRAWING NO.:

A-204



## REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: May 26, 2017

To: Architectural Review Board

From: Jason Pauling, AICP - Senior Planner

**Action Requested:**

Town staff is reviewing our standards for the industrial campus and potentially business campus districts, particularly standards relating to building design, building materials, wall heights, and other dimensional standards in chapters 4 and 5 in order to create a more uniform district on Bailey Road. The north side of Bailey has not developed in the same manner as the south side due to the fact that most of the lots are much smaller, and were formerly residential uses. Staff would like to seek ARB guidance on potential text amendment language to present to the Land Development Code Advisory Board.

**Manager's Recommendation:**

**ATTACHMENTS:**

Name:	Description:	Type:
 <a href="#">CH_04_Building_Design_Specifications_(w-highlights).pdf</a>	CH4 with highlighted sections	Backup Material
 <a href="#">CH_05_Dimensional_Info_Highlighted.pdf</a>	CH5 with highlighted sections	Backup Material

---



## CHAPTER 4: BUILDING DESIGN

### 4.5: ELEMENTS OF ARCHITECTURAL COMPATIBILITY

There are 11 architectural design elements, which create urban space. Building compatibility is attained through the incorporation of a combination of these elements within neighboring buildings. A specific project may not need to incorporate all 11 elements to maintain architectural compatibility provided those elements not addressed do not create incompatibility.

- Building silhouette: similar pitch and scale to a roofline.
- Spacing between building facades: setbacks or notches between primary facades, which frame the structure.
- Setback from property line: building setback and/or primary façade setback from the property line.
- Proportion of windows, bays, and doorways: vertical or horizontal elements tied together in bands across façade lengths.
- Proportion of primary façade: size of facades similar in area and height to width ratios.
- Location and treatment of entryway: important visual commonality between structures.
- Exterior materials used: similar materials and treatment add to detail and monumentality of a building.
- Building Scale: similarity of building height and configuration.
- Landscaping: ordered street plantings tie buildings together and define space.
- Shadow patterns from massing and decorative features: the light and dark surfaces from materials used and projections from window bays and setbacks create visual breaks.
- Style of architecture: similar architectural styles create building harmony along a block face.

### 4.6: ARCHITECTURAL STANDARDS

All new construction shall conform to the architectural requirements of this Section. The Planning Director may approve minor variations to this section provided similar materials, configurations, and/or techniques are used that fulfill the intent of this Section. Major variation to building façade requirements due to unique building use requirements may be approved by the Town Board, provided the overall pedestrianism of the street is maintained in accordance with all other standards. All variations shall be noted on the final approved plan. All structures shall adhere to the following general principles:





## CHAPTER 4: BUILDING DESIGN

### 4.6.1: General Principles

- A. To perpetuate the unique building character of the Town, development shall employ dwelling types that are sympathetic to the historic architectural vocabulary of the area in their massing and external materials.
- B. The front elevations facing the street and the overall massing shall be pedestrian in scale.
- C. Adjacent buildings shall be architecturally compatible through similar silhouettes, spacing between facades, setbacks, proportions, treatments, exterior materials, scale, massing, and/or architectural style. See Section 4.5 Elements of Architectural Compatibility.
- D. The Primary Entrance shall be both architecturally and functionally designed on the front façade of the building facing the primary public street. Such entrances shall be designed to convey their prominence on the fronting façade. The use of fire-escape or exit-only doors as Primary Entrances is explicitly prohibited.
- E. All new construction shall conform in street orientation, massing, lot width and setbacks to adjacent existing and proposed structures.
- F. Ground mounted mechanical equipment shall be located to the rear or side yard and screened from off-site view. Roof-mounted mechanical equipment shall be screened from off-site view by a parapet wall.
- G. Loading and service delivery areas shall be located to the rear or side yard away from the primary street frontage.
- H. Canopies and awnings shall be canvas or similar material and shall be permitted to encroach over a sidewalk to within two feet of a public street curb and may be illuminated by external lighting only.
- I. Open decks, patios, and steps are permitted with rear and side yards and may encroach into required setback to within 5 feet of all property lines.
- J. The front façade of all buildings shall extend parallel to the frontage line of the lot.

### 4.6.2: Manufactured Housing (RP and MHN Districts Only)

In no instance may a manufactured home be used for a nonresidential purpose.

A manufactured home must bear a seal certifying that it was built to the standards adopted on July 1, 1976 that meets or exceeds the construction standards promulgated by the US Department of Housing and Urban Development that were in effect at the time of construction and that satisfies each of the following additional criteria:

- A. Materials
  - 1. The exterior siding shall consist of wood, hardboard, vinyl, brick or aluminum and shall be comparable in composition, appearance, and durability to the exterior siding commonly used in standard residential construction.
  - 2. The roof shall be finished with a type of shingle that is commonly used in standard residential construction.
  - 3. A continuous, permanent brick foundation or curtain wall, unpierced except for required ventilation and access, shall be installed upon a poured concrete footer after placement on the lot, and before occupancy.





## CHAPTER 4: BUILDING DESIGN

### B. Configurations

1. Stairs, porches, entrance platforms and other means of entrance and exit to the manufactured home shall be installed and constructed in accordance with the standards set by the NC Department of Insurance.
2. The pitch of the roof of the manufactured home shall have a minimum vertical rise of four (4) feet for each twelve (12) feet of horizontal run, or the standard of each individual manufacturer's equivalent to a 4' x 12' roof pitch.
3. The roof of the manufactured home shall have an overhang (eave) extending at least ten (10) inches from each vertical exterior wall. A site installed gutter may be counted in the width of the eave.
4. The front facade of the building shall extend parallel to the frontage line.

### C. Techniques

1. The manufactured home is set up on the site in accordance with the standards set by the NC Department of Insurance.
2. The tongue, axes, transporting lights, and removable towing apparatus are removed after placement on the lot and before occupancy.

### 4.6.3: COMMERCIAL, MIXED USE AND MULTI-FAMILY BUILDINGS

#### A. Materials

1. Building walls shall be brick, cast concrete, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block, and siding (non-vinyl) materials may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
2. Pitched roofs shall be clad in wood shingles, standing seam metal, corrugated metal, slate, diamond tab asphalt shingles or similar material.
3. Flat roofs shall incorporate parapet walls to conceal the flat portions of the roof that are visible on the front and side elevations from any public street. When used on the side elevation, parapets shall be terraced.
4. Signs on the inside of glazed openings may be neon.

#### B. Configurations

1. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
2. Sky- lights shall be flat( non-bubble).
3. For commercial buildings, at least 70% of the street level frontages shall be in windows or doorways. Street level windows shall be visually permeable. Mirrorized glass is not permitted in any location. Faux or display casements are not permitted in lieu of exterior window treatments for the frontage elevation.
4. No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
5. Each exterior door that provides access to an individual unit or any shared door shall contain a porch, stoop, or awning that forms as the predominant aspect of the building design. Porches shall constitute at least 15% of the front facade of apartment units.





## CHAPTER 4: BUILDING DESIGN

6. For buildings greater than 100- feet in width, there shall be no uninterrupted wall length exceeding 75- feet. An interruption may consist of a change in place or a change in texture/masonry patterns.
7. For buildings less than seventy- five ( 75) feet, one interruption is required within thirty ( 30) feet on either side of the center of the building.
8. At least one ( 1) ground entrance to every dwelling shall be located within a walking distance of one-hundred feet to the parking area within the development designated to serve that dwelling.
9. Garage doors are not permitted on the front elevation of any multi- family dwelling.
10. Detached garages or garage buildings shall be located in the side or rear yard only.
11. Two car garages visible from the street shall be designed with two single doors for consistency of visual proportion. All garages with more than two bays shall be turned such that the bays are not visible from the street. Exception: Corner lots may have garage access side loaded) from the non-fronting street.

### C. Techniques

1. Stucco shall be float finish.
2. Windows shall be set to the inside of the building face wall.

#### 4.6.4: Light and Heavy Industrial Buildings (IC Only)

##### A. Materials

1. All building walls visible from a public street shall be brick, cast concrete, stucco, stone, marble, decorative concrete masonry unit or other materials similar in appearance and durability. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
2. Pitched roofs shall be clad in wood shingles, standing seam metal, corrugated metal, slate, diamond tab asphalt shingles or similar material.
3. Flat roofs shall incorporate parapet walls to conceal the flat portions of the roof on the front and side elevations that are visible from any public street. When used on the side elevation, parapets shall be terraced.

##### B. Configurations

1. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
2. Skylights shall be flat (non-bubble).

##### C. Techniques

1. Stucco shall be float finish.
2. Windows shall be set to the inside of the building face wall.

#### 4.6.5: Civic Buildings (Churches, Schools, Government Offices, and other Civic Facilities)

Schools, churches, and government buildings should be built so that they terminate a street vista whenever possible, and shall be of sufficient design to create visual anchors for the community. Civic buildings shall adhere to the provisions as marked below.





# CHAPTER 5: ZONING & USE REGULATIONS

## 5.5.5: TABLE OF DIMENSIONAL REQUIREMENTS

		ZONING DISTRICTS										
Measure	Unit	RP	GR	NR	NMX	WMX	TC	VC	HC	BC <sup>2</sup>	CO <sup>2</sup>	IC <sup>2</sup>
DENSITY/LOT SIZE												
Max. Density	DU/A	0.33	2	3	-	-	12	-	-	-	-	-
Lot Size Min	Acres	3 <sup>1</sup>	0.5	0.33	-	-	-	-	-	-	-	1
Lot Size Min	Sq. Ft.	130680	21780	14520	-	-	-	-	-	-	-	43560
LOT WIDTH												
Min. Frontage at ROW	Feet	35 <sup>3</sup>	35	16	16	16	-	-	-	-	-	-
Frontage Build-Out	%	-	-	-	50	50	75	50	-	-	-	-
Min. Lot Width @ bldg. line	Feet	60	60	50	16	16	16	16	50	-	-	-
HEIGHT												
Height - Max (Principal)	Feet	35	-	26	26	-	-	-	-	36	36	36
Height - Min (Principal)	Feet	-	-	-	-	-	26	26	-	-	-	-
Height - Max (Accessory)	Feet	26 <sup>4</sup>	26	26	26	-	-	-	-	-	-	-
Height - Stories Max.	#	2	-	2	2	6 <sup>5</sup>	4 <sup>5</sup>	3 <sup>5</sup>	3 <sup>5</sup>	3 <sup>5</sup>	3 <sup>5</sup>	3 <sup>5</sup>
SETBACKS												
Setback - Front Min	Feet	50 <sup>6</sup>	25 <sup>6</sup>	10 <sup>6</sup>	-	10	-	-	25	-	-	70 <sup>8</sup>
Setback - Front Max	Feet	N/A <sup>4</sup>	N/A	20	15	25	10	-	-	-	-	-
Setback – State Roads	Feet	N/A	25	25	25	25	-	25	25	25	25	25
Setback - Westmoreland Rd. (West of 77)	Feet			170	170							
2nd & 3rd Story ROW Encroachment	Feet	-	-	-	-	5	5	5	-	-	-	-
Setback – Sides	Feet	15 <sup>6</sup>	10 <sup>6</sup>	10 <sup>6</sup>	-	-	-	-	-	-	-	-
Setback – Rear	Feet	50	25	25	25	-	-	25	30	-	-	-
Setback - Rear Alley	Feet	-	-	0 <sup>7</sup>	0 <sup>7</sup>	0 <sup>7</sup>	0 <sup>7</sup>	0 <sup>7</sup>	-	-	-	-
Parking Setback	Feet	-	-	-	-	-	-	-	-	-	-	30 <sup>8</sup>
Lake Norman - from 760' contour (all structures)	Feet	50	50	50	50	50	50	50	50	50	50	50





# CHAPTER 5: ZONING & USE REGULATIONS

Measure	Unit	ZONING DISTRICTS										
		RP	GR	NR	NMX	WMX	TC	VC	HC	BC <sup>2</sup>	CO <sup>2</sup>	IC <sup>2</sup>
Setback – Side and Rear Accessory (less than 600 sq. ft.)	Feet	10	10	10	10	-	-	10	10	-	-	-
Setback – Side and Rear Accessory (600+ sq. ft.)	Feet	15	15	15	15	-	-	15	15	-	-	-
Min. District Size	Acres	-	-	-	-	-	-	-	-	10	5	10
District Buffer	Feet	-	-	-	-	-	-	-	-	-	-	80
Residential Buffer	Feet	-	-	-	-	-	-	-	30	100	75	100
Interstate Buffer	Feet	50	50	50	50	50	50	50	50	50	50	50

<sup>1</sup> Lots platted prior to October 7, 1996 shall be a minimum of 30,000 sf

<sup>2</sup> Internal Setbacks Not Applicable in BC, CO & IC as long as district buffer is met

<sup>3</sup> Exception – Family & Farmhouse Cluster Subdivisions

<sup>4</sup> Exception – Farm Structures

<sup>5</sup> Max 6 stories allowed with CZ request only

<sup>6</sup> See section 5.5.4, Infill Setbacks

<sup>7</sup> Garages on alleys shall be setback 20-ft from edge of pavement

<sup>8</sup> Bailey Road Industrial Corridor, front setback is 70-ft, parking setback is 30-ft

