



**Town of Cornelius
Architectural Review Board**

**Agenda
April 28, 2017
12:00 PM
Cornelius Town Hall - Room 204**

- 1. Call To Order**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
 - A.** February 24, 2017
- 4. Review And Recommendation On Agenda Items**
 - A.** Villages at Oakhurst II - Cowboy Restaurant
 - B.** REZ 01-17: Mama's Pizza
- 5. Old Business**
- 6. New Business**
- 7. Next Meeting**
- 8. Adjournment**

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: April 28, 2017

To: Architectural Review Board Members

From: Summer Smigelski, Planning Admin.


Action Requested:

Approval of Minutes

Manager's Recommendation:

Approval

ATTACHMENTS:

Name:	Description:	Type:
 ARB_Minutes_02-24-2017.docx	February 24, 2017 Minutes	Backup Material

Minutes
TOWN OF CORNELIUS
ARCHITECTURAL REVIEW BOARD MEETING

February 24, 2017

12:00 pm

Members Present

Joe Harris, Vice Chair
Rick Kamakaris
David Eve, Chairman
Recah Harward

Members Absent

Teresa Hawkins

Staff Present

Jason Pauling, Senior Planner
Wayne Herron, Planning Director
Summer Smigelski, Planning Admin.

VISITORS

See Sign-In Sheet

DETERMINATION OF QUORUM

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:12 p.m. He stated that a quorum was present for all items.

REVIEW & RECOMMENDATION ON AGENDA ITEMS

ARB 02-16 Catawba Bethel Building

Mr. Pauling presented ARB 02-16 Catawba Bethel Building. The property is located at 19711 Bethel Church Rd. As some may recall this project did come to us March of last year, it is a little different. It is an office building. Zoning is village center. This was originally part of the Cornelius Village Center Subdivision approved in 1998. Village center is also designated on the Land Use Plan. The proposed use is two-story 5,446 square foot office building with two to four office suites.

Applicant: I'm Neil Fortune with Fortune Architects. We are here because it's a new owner, new thinking on building exteriors. Just a slight modified footprint and new building scan from previous design.

Chairman Eve: "So this is part of a preapproved master plan, correct?"

Mr. Herron: "That is correct."

Chairman Eve: "Do we know what was approved previously?"

Mr. Herron: "I think this was 12,000 square feet for the building and the remaining buildings going down Bethel have 8,000 square feet. All parking is cross parking it was all set up to cross park, so anyone from this building can park in any of the parking down to Jetton Rd. extension."

Chairman Eve: "What occupancy was it catered to?"

Mr. Herron: "It was set up as business office, medical offices no retail."

Neil Fortune: "The ground floor will be single tenant medical offices. Each floor is set up for potentially two tenants."

Ms. Harward: "The roof drain on the front, would it be possible to paint it to match the building or turn it to the side so it's not such a prominent feature?"

Mr. Kamakaris: "What about the glass, just glass, tinted or not reflective?"

Neil Fortune: "It's just standard."

Mr. Harris: "If the condensing units are on the roof make sure that the parapets are high enough to screen those."

Chairman Eve advised Mr. Fortune to look at moving the downspouts to the side elevations as opposed to leaving them on Catawba; he feels that is more of an appropriate location for them.

Mr. Harris: "I think it's an improvement. I recommend approval."

Mr. Harris made a motion to approve ARB 02-16 Catawba Bethel Building with recommendation to moving the downspouts. Ms. Harward second. All in favor and motion approved.

In Favor: Mr. Eve, Mr. Kamakaris
Ms. Harward, Mr. Harris

Opposed: None

ARB 03-17: Wendy's

Mr. Pauling presented 03-17 Wendy's new look. The property is located at 20410 West Catawba. It is zoned highway commercial right at the I77 ramp. This is Highway commercial also in the Land Use Plan. The applicants are meeting 16 of our 17 drive through conditions. The current building is the old classic drive through standard, where the drive through wraps the building and the parking is on the outside. We have changed our drive through standards in late 2015 which are what Wendy's is trying to accomplish.

Applicant: "I am Mike the architect for Wendy's, basically what we did is following through with a new upscale Wendy's. Primarily with the glass coverage that meets the 70 percent. We changed our materials to encompass more brick."

Following a few questions and comments from the board Mr. Harris made a motion to approve ARB 03-17: Wendy's. Ms. Harward second. All in favor, motion approved.

In Favor: Mr. Eve, Mr. Kamakaris
Ms. Harward, Mr. Harris

Opposed: None

Old Business

The board discussed the architecture of the proposed Arts Center.

Mr. Herron stated that if the board has input or direction for the Arts District to inform staff.

ADJOURNMENT

The meeting ended at 12:57 p.m.

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: April 28, 2017

To: Architectural Review Board Members
From: Jason T. Pauling, AICP - Senior Planner

Action Requested:

A conditional rezoning was recently approved for the property on the northeast corner of Bailey Road and Highway 21 (Statesville Road), to develop just under 30,000 square feet of mixed-use retail, restaurant and office uses. A concept for Cowboy Restaurant was previously presented to the ARB in September 2016, which is proposed to be located at the intersection and will be the first building developed. Building plans for Cowboy, and grading plans for the rest of the site have been submitted to Mecklenburg County permitting.

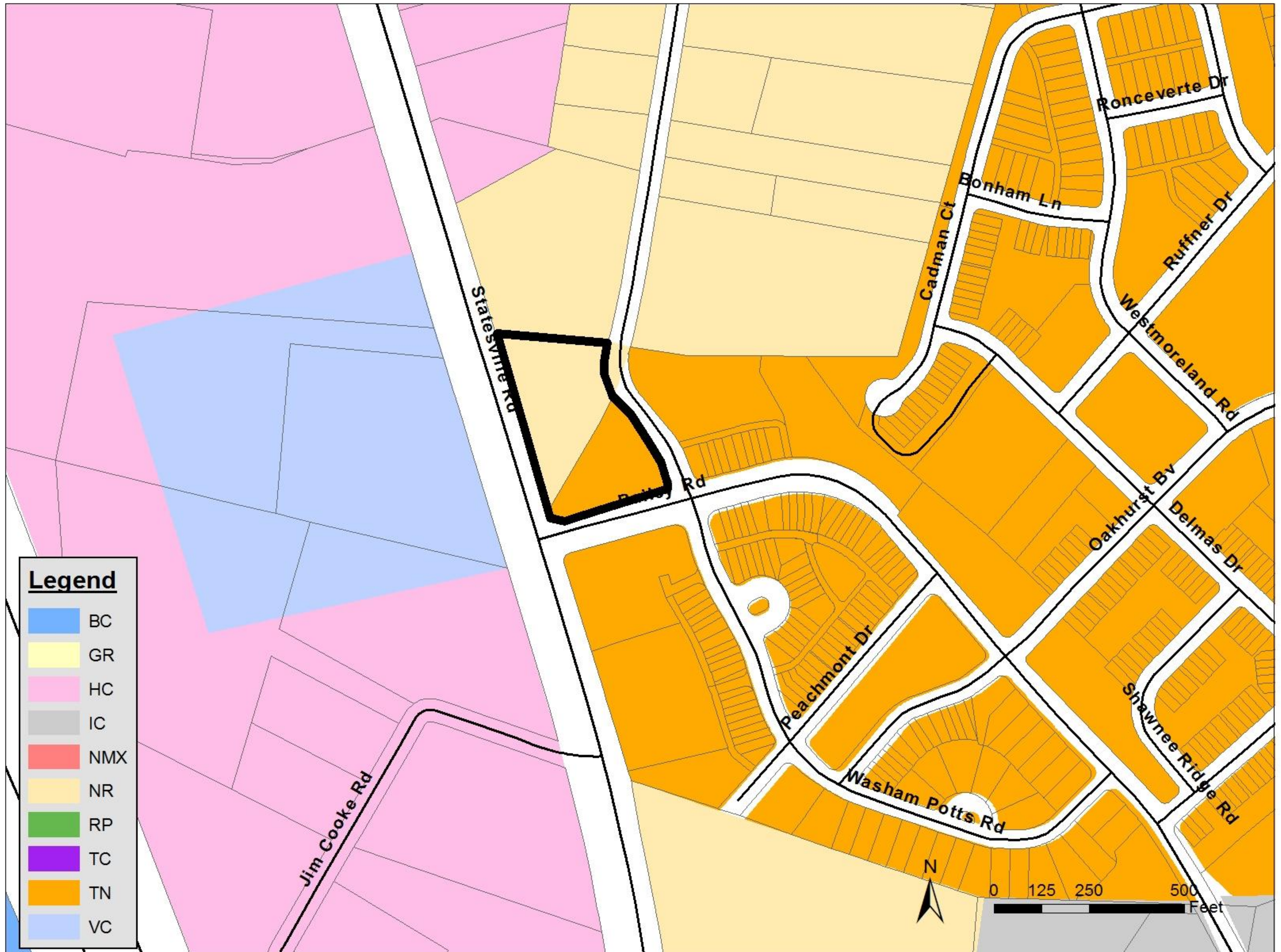
Manager's Recommendation:

Review and Provide Direction

ATTACHMENTS:

Name:	Description:	Type:
 131_Main_Zoning.jpg	Zoning Map	Backup Material
 131_Main_Land_Use.jpg	Land Use Map	Backup Material
 131_Main_Vicinity.jpg	Vicinity Map	Backup Material
 131_Main_Property.jpg	Property Map	Backup Material
 Oakhurst_1_Statesville_Capture.JPG	Photo - Building 1, Statesville View	Backup Material
 Oakhurst_1_Bailey_Capture.JPG	Photo - Building 1, Bailey View	Backup Material
 Oakhurst_2_Statesville_Capture.JPG	Photo - Phase 2 Site View, Statesville	Backup Material
 Oakhurst_2_Bailey_Capture.JPG	Photo - Phase 2, Bailey	Backup Material
 AS.02 - CONCEPTUAL_SITE_PLAN.pdf	Revised Color Site Plan	Backup Material
 A2.01 - CONCEPTUAL_ELEVATIONS.pdf	Revised Elevations	Backup Material
 A2.02 - CONCEPTUAL_RENDERINGS.pdf	Revised Renderings	Backup Material
 2016-1011_Oakhurst_II.pdf	Site Plan	Backup Material
 ARCHITECTURAL_COWBOY_Reduced.pdf	Arch Bldg Plans	Backup Material

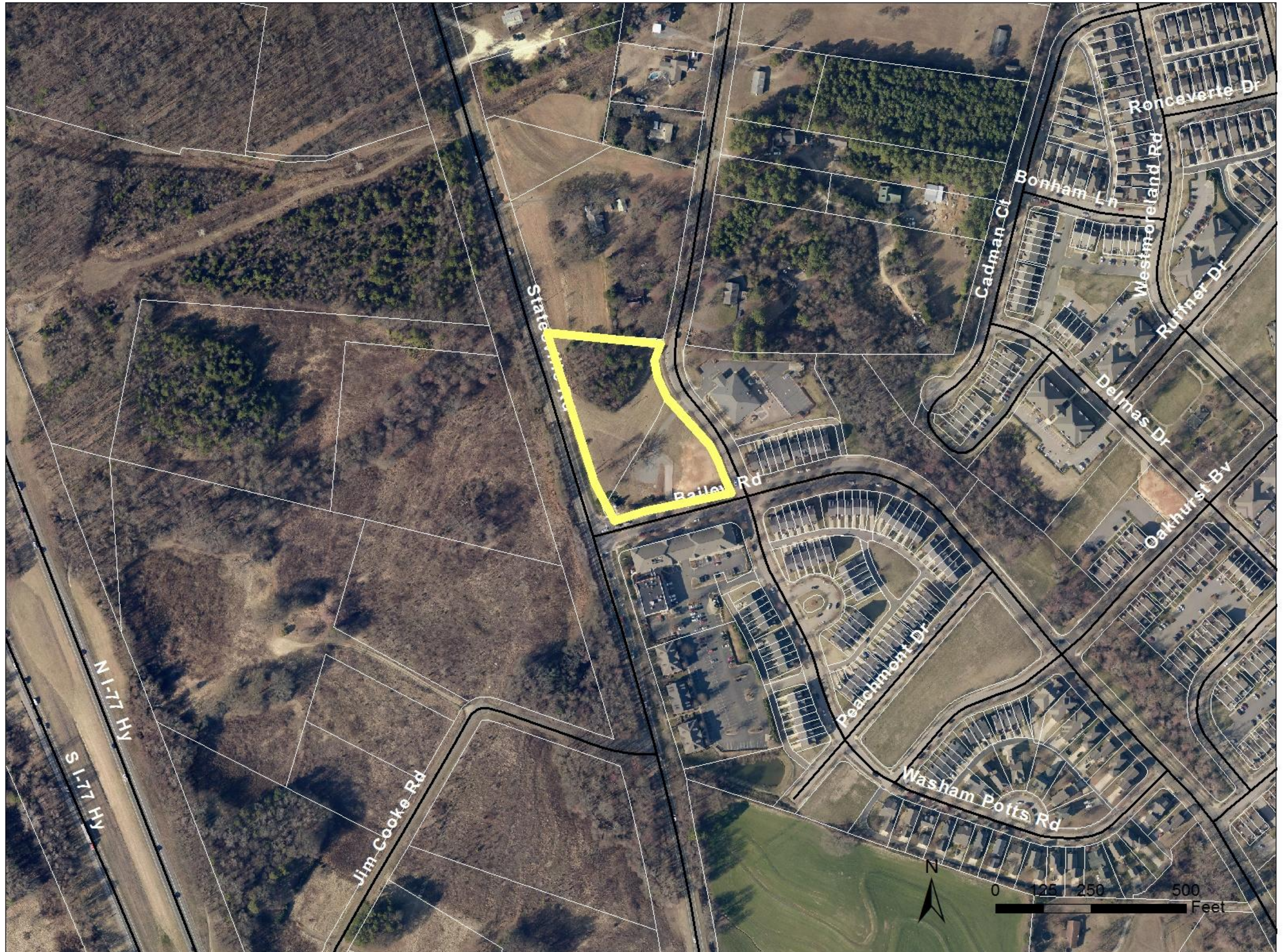
131 Main Site



131 Main Site



131 Main Site



131 Main Site

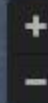


131 MAIN

US-21



US-21





State Rd 2415

State Rd 2415

©2015 Google



US-21

State Rd 2415

US-21

State Rd 2415





State Rd 2415

State Rd 2415





NOTE: BUILDINGS ONE, TWO AND THREE ARE EXISTING AT OAKHURST VILLAGE PHASE I ACROSS BAILEY ROAD.

WASHAM POTTS ROAD

BAILEY ROAD

POTENTIAL FUTURE INTER-SITE CONNECTIVITY

BIKE RACKS

WATER DETENTION PER CIVIL PLAN

BUILDING SIX
2-STORIES
(OFFICE/RETAIL)
+/- 16,000 SF

BUILDING FIVE
2-STORIES
(OFFICE/RETAIL)
+/- 13,200 SF

COWBOY
RESTAURANT
1-STORY
+/- 3,900 SF

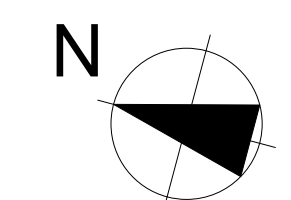
ENERGY UNITED
REQUIRED EQUIP.

STATESVILLE ROAD



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1950 Abbott Street, Suite 605
Charlotte, North Carolina 28203
Phone: 704.373.3101
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TRUE NORTH

Village at Oakhurst (Phase II) Proposed Development

Cornelius, NC

ISSUE DATE: 08.26.16
PROJECT STATUS: SD
PROJECT NUMBER: 15-006
REVISIONS:

NOT FOR CONSTRUCTION

Concept Site Plan

AS.02



04 Concept Rendering - Aerial of Corner at Bailey and Old Statesville



03 Concept Rendering - Cowboy Restaurant at Corner



02 Exterior Elevation - East - Parking Lot Side

1/16" = 1'-0"



01 Exterior Elevation - West - Facing Statesville Road

1/16" = 1'-0"



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CONCEPT EXTERIOR
ELEVATIONS

A2.01



06

Concept Rendering - Statesville Road Side



05

Concept Rendering - Parking Lot Side



04

Concept Rendering - Cowboy Restaurant Patio



03

Concept Rendering - Oakhurst Community Entry



02

Concept Rendering - Building Five, Parking Lot Side



01

Concept Rendering - Cowboy Along Bailey Road



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CONCEPT
RENDERINGS

A2.02

1533-SP ALT1.dwg

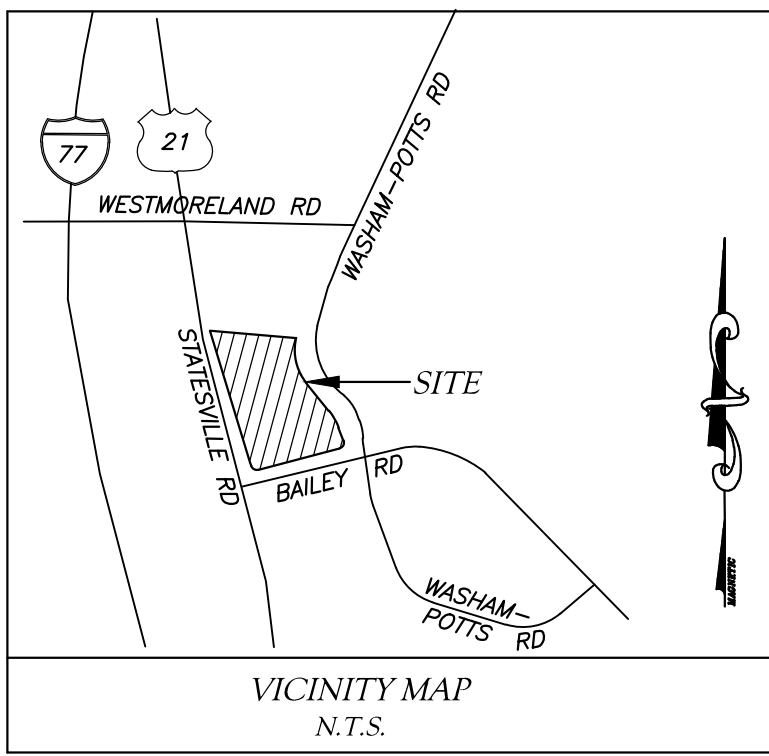
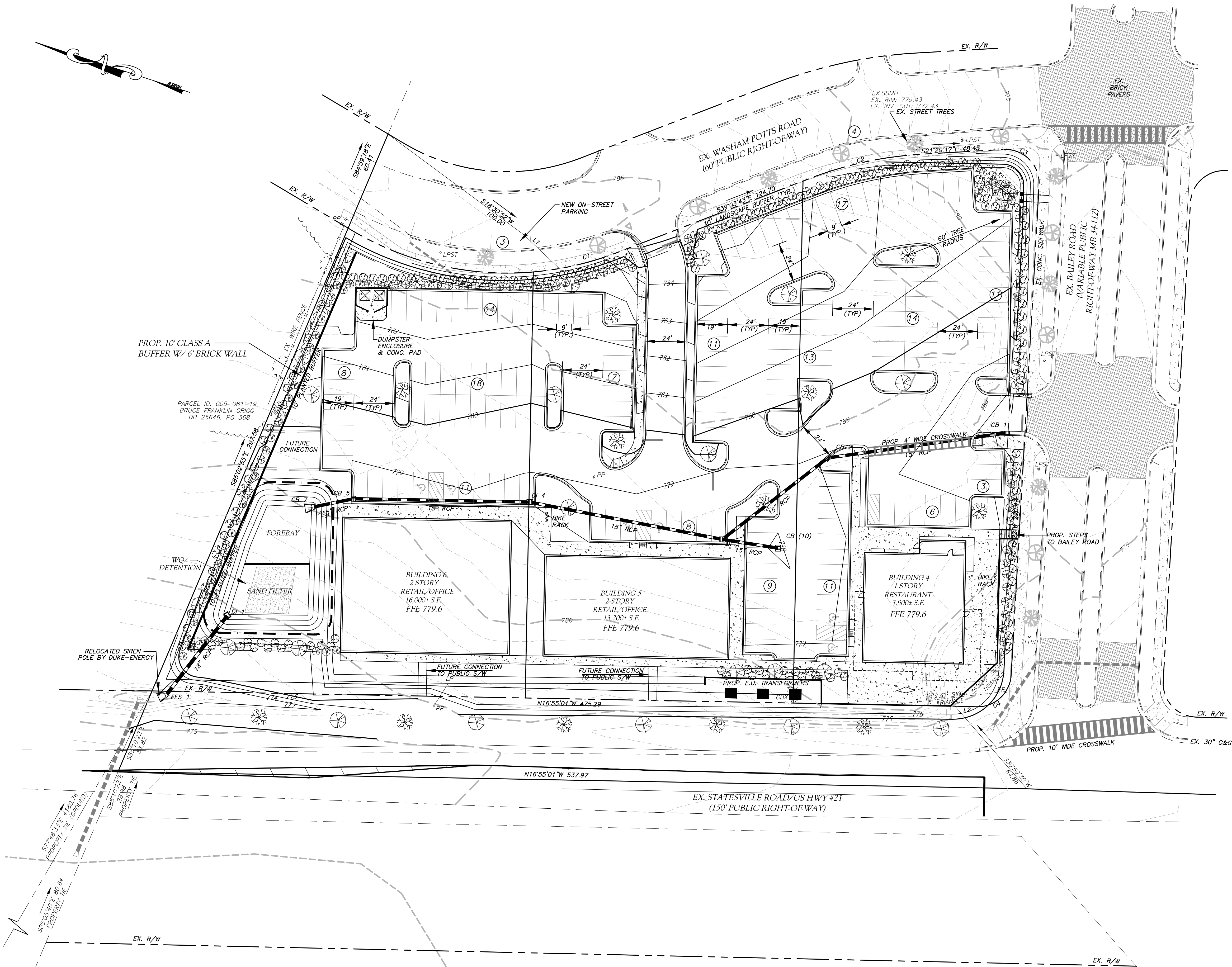


Know what's below.
Call before you dig.

- 1). CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- 2). CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- 3). ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- 4). SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

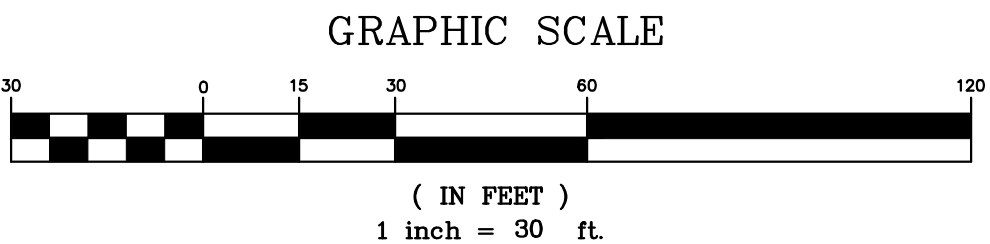
CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	180.00	34.24	S33°18'46"E	34.19
C2	220.00	66.79	S30°02'07"E	66.53
C3	20.00	33.72	S26°52'21"W	29.87
C4	20.00	30.91	S60°28'11"E	27.92

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S25°35'52"W	29.12
L2	S16°11'40"E	12.74



SITE NOTES:

1. PARCEL ID: 005-034-02, 005-081-20
DB. 29980 PG. 554, DB. 29980 PG. 542
SITE AREA: ±3.05 ACRES
2. SITE ADDRESS: 9615 BAILEY ROAD
CORNELIUS, NC 28031
3. PROPERTY ZONING: NR, TN
PROPOSED USE: COMMERCIAL
EXISTING USE: VACANT
4. TOTAL AREA OF BUILDINGS = 33,100 S.F.
5. PARKING DATA:
TOTAL OFF-STREET PARKING PROVIDED = 155 SPACES
TOTAL OFF-STREET H.C. PARKING PROVIDED = 6
TOTAL ON-STREET PARKING PROVIDED = 7 SPACES
TOTAL PARKING SPACES PROVIDED = 168
6. STREAM WATERSHED: MCDOWELL
POST CONSTRUCTION DISTRICT: CORNELIUS
7. FEMA FLOOD PANEL: #3710464200K, DATED: 09/02/2015
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE



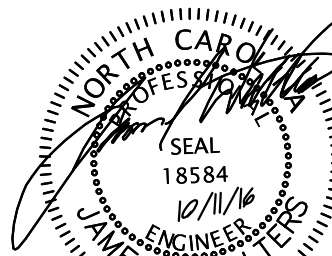
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LWE

LATHAM-WALTERS
ENGINEERING, INC.

N.C. CORP. LIC. C-1815
16507-A NORTH CROSS DRIVE
HUNTERVILLE, N.C. 28078
PHONE: (704) 895-8484
FAX: (704) 237-4362



LWE PROJECT NO.: 2015.33

Village at Oakhurst (Phase II) Proposed Development

Oakhurst Two, LLC
9606 BAILEY ROAD
CORNELIUS NC 28031

ISSUE DATE: 10.11.16
PROJECT STATUS: SD
PROJECT NUMBER: 15-006
REVISIONS:

NOT FOR
CONSTRUCTION

SITE PLAN
ALTERNATE 1

C1.1

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The site plan for Village at Oakhurst Phase Two is located between Washam Potts Road to the north and Highway 21 / Old Statesville Road to the south. The plan includes the following features:

- Buildings:**
 - Building Six [Office / Retail]**: +/- 16,200 S.F., 2-story, located on the left side of the phase.
 - Building Five [Office / Retail]**: +/- 13,200 S.F., 2-story, located in the center-left.
 - Building Four [Restaurant]**: +/- 3800 S.F., 1-story, located in the center-right.
- Phase One Buildings (Adjacent to the East):**
 - Building Three [Office / Retail]**: 2-story.
 - Building Two [Office / Retail]**: 2-story.
 - Building One [Restaurant / Office]**: 2-story.
- Infrastructure and Features:**
 - Washam Potts Road**: North boundary.
 - Bailey Road**: East boundary.
 - Highway 21 / Old Statesville Road**: South boundary.
 - Energy United Power Equip.**: Three transformer symbols located along the south boundary.
 - Future Connections**: Indicated by dashed lines for sidewalk and future connections.
 - Setbacks**: A dashed line indicates the setback requirement along the south boundary.
 - Other Features**: A 6' masonry wall along the west setback, a w.o. detention area w/ sandfill, an uncovered utility area, a sight triangle (height limit 35' within this area), and a new clock tower near Building One.

Cornelius, NC

NOT FOR CONSTRUCTION

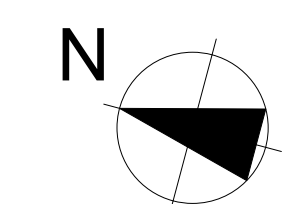
Oakhurst I & II Site Plan

AS.02



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TRUE NORTH

Village at Oakhurst (Phase II) Proposed Development

Cornelius, NC

ISSUE DATE: 10.05.16
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REVISIONS:

NOT FOR CONSTRUCTION

Concept Site Plan

AS.01



04

Concept Rendering - Aerial of Corner at Bailey and Old Statesville



03

Concept Rendering - Cowboy Restaurant at Corner



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02

Exterior Elevation - East - Parking Lot Side

1/16" = 1'-0"



01

Exterior Elevation - West - Facing Statesville Road

1/16" = 1'-0"

Village at Oakhurst (Phase II) Proposed Development

Cornelius, NC

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CONCEPT EXTERIOR
ELEVATIONS

A2.01



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06

Concept Rendering - Statesville Road Side



05

Concept Rendering - View from Washam Potts Road



04

Concept Rendering - Cowboy Restaurant Patio



03

Concept Rendering - Oakhurst Community Entrance



02

Concept Rendering - Building Five, Parking Lot Side



01

Concept Rendering - Cowboy Along Bailey Road

Village at Oakhurst (Phase II) Proposed Development

Cornelius, NC

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CONCEPT
RENDERINGS

A2.02



SYMBOL LEGEND			
ROOM NAME ###	ROOM NAME AND NUMBER	DETAIL MARKER	
	HANDICAP ACCESSIBLE		DOOR TAG
	HEARING IMPAIRED ACCESSIBLE		WINDOW TAG
	SECTION MARKER		FINISH TAG
	ELEVATION MARKER		OBJECT INDICATOR/ ACCESSORY TAG
	INTERIOR ELEVATION MARKER		HEIGHT INDICATOR

GENERAL NOTES:	
DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.	
DIMENSIONS ARE FROM STUD TO STUD UNLESS NOTED OTHERWISE.	
CONTRACTOR TO REVIEW DRAWINGS AND VERIFY FIELD CONDITIONS. REPORT ANY CONFLICTS OR DISCREPANCIES TO ARCHITECT.	
CONTRACTOR TO PROVIDE BLOCKING AND/OR ANCHORS FOR TOILET ACCESSORIES, CABINETS, GRAB BARS AND ANY NEW OR REINSTALLED WALL MOUNTED ITEMS. USE FIRE RATED WOOD AS REQUIRED.	
PROVIDE MOISTURE RESISTANT BOARD AT ALL WET AREAS.	
ALL CONSTRUCTION SHALL CONFORM TO 2012 INTERNATIONAL BUILDING CODE AND MEET ALL ORDINANCES AND REQUIREMENTS.	
CONTRACTOR TO PROTECT ALL EXISTING FINISHES, FIXTURES AND FURNITURE TO REMAIN.	
MAINTAIN ALL EXISTING FIRE RATINGS. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE FIRE STOPPED WITH MATERIALS CONFORMING TO THE PENETRATION TYPE AND WALL CONSTRUCTION.	
ITEMS NOTED FOR PATCH AND REPAIR SHALL BE RETURNED TO A LIKE NEW CONDITION IN PREPARATION FOR INSTALLATION OF NEW ITEMS OR FINISHES.	

COWBOY

Village at Oakhurst II

9615 Bailey Rd.
Cornelius, North Carolina 28031

Project Drawings

Architectural

- A0.00 COVER SHEET
- A0.01 CODE SUMMARY
- A0.02 LIFE SAFETY PLAN
- AS.01 ARCHITECTURAL SITE PLAN
- AS.02 SITE DETAILS
- AS.03 SITE DETAILS
- A1.01 FLOOR PLAN
- A1.02 ROOF PLAN
- A1.03 REFLECTED CEILING PLAN
- A2.01 EXTERIOR ELEVATIONS
- A3.01 BUILDING SECTIONS
- A3.02 SECTION DETAILS
- A6.01 SCHEDULES
- A6.02 EQUIPMENT PLAN & SCHEDULE
- A7.01 INTERIOR ELEVATIONS
- A7.02 INTERIOR ELEVATIONS
- A7.03 MILLWORK DETAILS
- A9.01 FURNITURE PLAN

Civil

- C0.0 COVER
- C1.0 SITE PLAN
- C2.0 EROSION CONTROL PLAN PHASE 1
- C2.1 EROSION CONTROL PLAN PHASE 2
- C3.0 EROSION CONTROL DETAILS
- C3.1 EROSION CONTROL DETAILS
- C4.0 GRADING & DRAINAGE PLAN
- C5.0 LANDSCAPE PLAN
- C6.0 UTILITY PLAN
- C7.0 MISCELLANEOUS DETAILS
- C7.1 MISCELLANEOUS DETAILS
- C8.0 STORMWATER QUALITY PLAN
- C9.0 DRAINAGE AREA MAP

Structural

- S1.00 STRUCTURAL GENERAL NOTES
- S1.00A STRUCTURAL GENERAL NOTES
- S1.00B STATEMENT OF SPECIAL INSTRUCTIONS
- S1.01 TYPICAL DETAILS
- S1.02 TYPICAL DETAILS
- S1.03 TYPICAL DETAILS
- S1.04 TYPICAL DETAILS
- S1.05 TYPICAL DETAILS
- S1.06 TYPICAL DETAILS
- S2.00 STRUCTURAL PLAN NOTES
- S2.01 FOUNDATION PLAN
- S2.02 ROOF FRAMING PLAN
- S3.00 FOUNDATION SECTIONS AND DETAILS
- S4.00 ROOF FRAMING SECTIONS

Plumbing

- P0.01 PLUMBING SPECIFICATIONS
- P0.02 PLUMBING SCHEDULES & DETAILS
- P1.01 PLUMBING PLAN - SANITARY
- P1.02 PLUMBING PLAN - WATER
- P1.03 PLUMBING PLAN - FUEL GAS

Mechanical

- M0.01 MECHANICAL NOTES & SCHEDULES
- M0.02 MECHANICAL DETAILS
- M0.03 MECHANICAL DETAILS
- M1.01 MECHANICAL FLOOR PLAN
- M2.01 MECHANICAL ROOF PLAN
- MK1.01 KITCHEN HOOD DETAILS & SCHEDULES
- MK1.02 KITCHEN HOOD DETAILS
- MK1.03 KITCHEN FAN DETAILS & SCHEDULES
- MK1.04 KITCHEN FAN DETAILS
- MK1.05 KITCHEN HOOD ELEC INFORMATION

Electrical

- E0.01 ELECTRICAL SPECIFICATIONS
- E0.02 LIGHTING DETAILS AND SCHEDULES
- E1.00 SITE PLAN - ELECTRICAL
- E1.01 FLOOR PLAN - LIGHTING
- E2.01 FLOOR PLAN - POWER
- E2.02 ROOF PLAN - ELECTRICAL
- E3.01 ENLARGED PLANS - KITCHEN AND BAR
- E4.01 ELECTRICAL DETAILS AND SCHEDULES

Project Team

Architect

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Civil Engineer

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16507-A Northcross Drive
Huntersville, North Carolina 28078
Phone: 704.895.8484
Fax: 704.237.4362
www.lwengineer.com

Structural Engineer

JDH Structural Engineers, PLLC
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Huntersville, North Carolina 28078
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www.jdhengineers.com

Plumbing Engineer

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Charlotte, North Carolina 28208
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Fax: 704.394.5648
www.allied-engineers.com

Mechanical Engineer

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Fax: 704.394.5648
www.allied-engineers.com

Electrical Engineer

Allied Consulting Engineers, PLLC
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Charlotte, North Carolina 28208
Phone: 704.399.3943
Fax: 704.394.5648
www.allied-engineers.com



Mark David Mucci
02/24/17

A0.00



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Envelope Compliance Certificate

Section 1: Project Information

Energy Code: 2009 IECC
Project Title: 15-006-A Cowboy - Metal Studs
Project Type: New Construction

Construction Site:	Owner/Agent:	Designer/Contractor:
Building Location (for weather data):	Cornelius, North Carolina	
Climate Zone:	3a	
Vertical Glazing / Wall Area Pct.:	22%	
Building Use: Activity Type(s)	Floor Area	
1-Dining: Cafeteria/Fast Food : Nonresidential	4160	

Section 2: Envelope Assemblies and Requirements Checklist

Envelope Passes: Design 3% better than code.

Envelope Assemblies:					
Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor(s)
Orientation: NORTH					
Ext. Wall: Steel-Framed, 24in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	587	19.0	0.0	0.094	0.084
Door: Perf. Specs.: Product ID CERTIFICATIONID, SHGC 0.76, VT 0.81, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	21	---	---	0.480	0.900
Window: Perf. Specs.: Product ID CERTIFICATIONID, SHGC 0.76, VT 0.81, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	286	---	---	0.480	0.600
Ext. Wall: Concrete Block, 8in., Solid Grouted, Normal Density, Furring: None, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	553	---	9.0	0.091	0.123
Orientation: EAST					
Ext. Wall: Concrete Block, 8in., Solid Grouted, Normal Density, Furring: None, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	553	---	9.0	0.091	0.123
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	21	---	---	0.610	0.700
Orientation: SOUTH					
Ext. Wall: Concrete Block, 8in., Solid Grouted, Normal Density, Furring: None, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	856	---	9.0	0.091	0.123
Ext. Wall: Steel-Framed, 24in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	267	19.0	0.0	0.094	0.084
Window: Perf. Specs.: Product ID CERTIFICATIONID, SHGC 0.76, VT 0.81, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	144	---	---	0.480	0.600
Orientation: WEST					
Ext. Wall: Concrete Block, 8in., Solid Grouted, Normal Density, Furring: None, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	121	---	9.0	0.091	0.123
Ext. Wall: Steel-Framed, 24in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	853	19.0	0.0	0.094	0.084
Window: Perf. Specs.: Product ID CERTIFICATIONID, SHGC 0.76, VT 0.81, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	344	---	---	0.480	0.600
Door: Perf. Specs.: Product ID CERTIFICATIONID, SHGC 0.76, VT 0.81, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	21	---	---	0.480	0.900
Orientation: UNSPECIFIED ORIENTATION					
Floor: Unheated Slab-On-Grade, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	1	---	---	---	---
Floor: Unheated Slab-On-Grade, Vertical 1 ft., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	258	---	4.0	---	---
Roof: Insulation Entirely Above Deck, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	3997	---	30.0	0.032	0.048

- (a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

- ☐ 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
- ☐ 2. Windows, doors, and skylights certified as meeting leakage requirements.
- ☐ 3. Component R-values & U-factors labeled as certified.
- ☐ 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
- ☐ 5. Other components have supporting documentation for proposed U-factors.
- ☐ 6. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
- ☐ 7. Stair, elevator shaft vents, and other outdoor air intake and exhaust openings in the building envelope are equipped with motorized dampers.
- ☐ 8. Cargo doors and loading dock doors are weather sealed.
- ☐ 9. Recessed lighting fixtures installed in the building envelope are Type IC rated as meeting ASTM E283, are sealed with gasket or caulk.
- ☐ 10. Building entrance doors have a vestibule equipped with self-closing devices.
- Exceptions:
- ☐ Building entrances with revolving doors.
- ☐ Doors not intended to be used as a building entrance.
- ☐ Doors that open directly from a space less than 3000 sq. ft. in area.
- ☐ Doors used primarily to facilitate vehicular movement or materials handling and adjacent personnel doors.
- ☐ Doors opening directly from a sleeping/dwelling unit.

Section 3: Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 2009 IECC requirements in COMcheck-Web and to comply with the mandatory requirements in the Requirements Checklist.

MARK D. MUCCI - ARCHITECT
Name - Title
Signature
Date 02/24/17

2012 Appendix B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS

Name of Project: COWBOY
Address: 9615 Bailey Rd. Cornelius, North Carolina 28031
Proposed Use: HOTEL
Owner or Authorized Agent: Mark D. Mucci, AIA
Owned By: ☐ City/County/Other ☒ Private ☐ State Phone # 704.373.3101
Code Enforcement Jurisdiction: ☐ City ☒ County MECKLENBURG

PROJECT SUMMARY:

Building Description:
ONE STORY RESTAURANT, CMU AND WOOD CONSTRUCTION

Scope of Work:
Site Grading and pad prep for future buildings. New Build Restaurant with full MEP Systems, and kitchen. Landscaping by others.

Code Compliance Summary:
Assembly A-2 Type V-B Construction

- ☐ Industrial equipment with declaration document attached.
☐ RTAP (Revisions to Approved Plans)
☐ Date of Preliminary Review:

Does this project have air rights, easements, an assumed or deeded property line, no build easements or other circumstances similar to the aforementioned? ☐ Yes ☒ No
If yes, provide a copy of official documents.

LEAD DESIGN PROFESSIONAL:

DESIGNER	NAME	FIRM	LICENSE #	PHONE #	E-MAIL
Architectural	Mark D. Mucci	Mind's Eye Architecture	7008	704.373.3101	mark.mucci@mindseyearch.net
Civil	James Waters	Latham Waters Engineers	19844	704.856.8484	jw@lathamwaters.com
Structural	Don Hernandez	JDH Engineers	28481	704.765.0070	don@jdhengineers.com
Plumbing	David Hood	Alked Consulting Engineers	30540	704.333.1000	dhood@alked-engineers.com
Mechanical	David Hood	Alked Consulting Engineers	30540	704.333.1000	dhood@alked-engineers.com
Electrical	Glenn Clark Bink	Alked Consulting Engineers	20907	704.333.1000	gclark@alked-engineers.com
Fire Protection					
Interior Design					
Fire Alarm					
Sprinkler-Standpipe					
Other					

WORK BEING PERFORMED:

- ☒ New Construction ☐ Addition ☐ Uplift
☐ Alteration/ Renovation

CODE INFORMATION:

Building Code: ☒ 2012 NC Building Code
☐ 2012 Chapter 34 (attach building evaluation per section 3412)

Constructed: Original Use: _____
Renovated: Proposed Use: _____
New Building: ☒ New Building ☐ Shell Building ☐ Uplift ☐ Addition
Existing Building: ☐ Change of use/occupancy ☐ Building/tenant space interior completion (renovation)

BUILDING DATA:

Construction Type	I-A	I-A	II-A	III-A	IV-A	V-A
1-A	<input type="checkbox"/> I-A	<input type="checkbox"/> I-A	<input type="checkbox"/> II-A	<input type="checkbox"/> III-A	<input type="checkbox"/> IV-A	<input type="checkbox"/> V-A
1-B	<input type="checkbox"/> I-B	<input type="checkbox"/> I-B	<input type="checkbox"/> II-B	<input type="checkbox"/> III-B	<input type="checkbox"/> IV-B	<input type="checkbox"/> V-B
Mixed Construction:	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> NFPA 13R	<input type="checkbox"/> NFPA 13D	<input type="checkbox"/> NFPA 13R	<input type="checkbox"/> NFPA 13D

Sprinklers: ☐ No ☐ Partial ☐ Yes ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☐ No ☐ Yes ☐ Class: ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☐ No ☐ Yes ☐ Food Hazard Area: ☐ No ☐ Yes
Building Height: 16'-0" Number of Stories: 1 Unlimited per: _____
Mazutrine: ☐ No ☐ Yes High Rise: ☐ No ☐ Yes

Gross Building Area (sq. ft.)	RENO/ UPRT
FLOOR EXISTING NEW	
1st Floor	4,014
TOTAL	4,014

ALLOWABLE AREA: ☒ Assembly ☐ A-1 ☒ A-2 ☐ A-3 ☐ A-4 ☐ A-5
☐ Business ☐ Education ☐ F-1 ☐ F-2
☐ High-Hazard ☐ H-1 ☐ H-2 ☐ H-3
☐ Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
☐ I-5 Use Condition ☐ I-6 ☐ I-7 ☐ I-8 ☐ I-9 ☐ I-10 ☐ I-11 ☐ I-12 ☐ I-13 ☐ I-14 ☐ I-15 ☐ I-16 ☐ I-17 ☐ I-18 ☐ I-19 ☐ I-20 ☐ I-21 ☐ I-22 ☐ I-23 ☐ I-24 ☐ I-25 ☐ I-26 ☐ I-27 ☐ I-28 ☐ I-29 ☐ I-30 ☐ I-31 ☐ I-32 ☐ I-33 ☐ I-34 ☐ I-35 ☐ I-36 ☐ I-37 ☐ I-38 ☐ I-39 ☐ I-40 ☐ I-41 ☐ I-42 ☐ I-43 ☐ I-44 ☐ I-45 ☐ I-46 ☐ I-47 ☐ I-48 ☐ I-49 ☐ I-50 ☐ I-51 ☐ I-52 ☐ I-53 ☐ I-54 ☐ I-55 ☐ I-56 ☐ I-57 ☐ I-58 ☐ I-59 ☐ I-60 ☐ I-61 ☐ I-62 ☐ I-63 ☐ I-64 ☐ I-65 ☐ I-66 ☐ I-67 ☐ I-68 ☐ I-69 ☐ I-70 ☐ I-71 ☐ I-72 ☐ I-73 ☐ I-74 ☐ I-75 ☐ I-76 ☐ I-77 ☐ I-78 ☐ I-79 ☐ I-80 ☐ I-81 ☐ I-82 ☐ I-83 ☐ I-84 ☐ I-85 ☐ I-86 ☐ I-87 ☐ I-88 ☐ I-89 ☐ I-90 ☐ I-91 ☐ I-92 ☐ I-93 ☐ I-94 ☐ I-95 ☐ I-96 ☐ I-97 ☐ I-98 ☐ I-99 ☐ I-100 ☐ I-101 ☐ I-102 ☐ I-103 ☐ I-104 ☐ I-105 ☐ I-106 ☐ I-107 ☐ I-108 ☐ I-109 ☐ I-110 ☐ I-111 ☐ I-112 ☐ I-113 ☐ I-114 ☐ I-115 ☐ I-116 ☐ I-117 ☐ I-118 ☐ I-119 ☐ I-120 ☐ I-121 ☐ I-122 ☐ I-123 ☐ I-124 ☐ I-125 ☐ I-126 ☐ I-127 ☐ I-128 ☐ I-129 ☐ I-130 ☐ I-131 ☐ I-132 ☐ I-133 ☐ I-134 ☐ I-135 ☐ I-136 ☐ I-137 ☐ I-138 ☐ I-139 ☐ I-140 ☐ I-141 ☐ I-142 ☐ I-143 ☐ I-144 ☐ I-145 ☐ I-146 ☐ I-147 ☐ I-148 ☐ I-149 ☐ I-150 ☐ I-151 ☐ I-152 ☐ I-153 ☐ I-154 ☐ I-155 ☐ I-156 ☐ I-157 ☐ I-158 ☐ I-159 ☐ I-160 ☐ I-161 ☐ I-162 ☐ I-163 ☐ I-164 ☐ I-165 ☐ I-166 ☐ I-167 ☐ I-168 ☐ I-169 ☐ I-170 ☐ I-171 ☐ I-172 ☐ I-173 ☐ I-174 ☐ I-175 ☐ I-176 ☐ I-177 ☐ I-178 ☐ I-179 ☐ I-180 ☐ I-181 ☐ I-182 ☐ I-183 ☐ I-184 ☐ I-185 ☐ I-186 ☐ I-187 ☐ I-188 ☐ I-189 ☐ I-190 ☐ I-191 ☐ I-192 ☐ I-193 ☐ I-194 ☐ I-195 ☐ I-196 ☐ I-197 ☐ I-198 ☐ I-199 ☐ I-200 ☐ I-201 ☐ I-202 ☐ I-203 ☐ I-204 ☐ I-205 ☐ I-206 ☐ I-207 ☐ I-208 ☐ I-209 ☐ I-210 ☐ I-211 ☐ I-212 ☐ I-213 ☐ I-214 ☐ I-215 ☐ I-216 ☐ I-217 ☐ I-218 ☐ I-219 ☐ I-220 ☐ I-221 ☐ I-222 ☐ I-223 ☐ I-224 ☐ I-225 ☐ I-226 ☐ I-227 ☐ I-228 ☐ I-229 ☐ I-230 ☐ I-231 ☐ I-232 ☐ I-233 ☐ I-234 ☐ I-235 ☐ I-236 ☐ I-237 ☐ I-238 ☐ I-239 ☐ I-240 ☐ I-241 ☐ I-242 ☐ I-243 ☐ I-244 ☐ I-245 ☐ I-246 ☐ I-247 ☐ I-248 ☐ I-249 ☐ I-250 ☐ I-251 ☐ I-252 ☐ I-253 ☐ I-254 ☐ I-255 ☐ I-256 ☐ I-257 ☐ I-258 ☐ I-259 ☐ I-260 ☐ I-261 ☐ I-262 ☐ I-263 ☐ I-264 ☐ I-265 ☐ I-266 ☐ I-267 ☐ I-268 ☐ I-269 ☐ I-270 ☐ I-271 ☐ I-272 ☐ I-273 ☐ I-274 ☐ I-275 ☐ I-276 ☐ I-277 ☐ I-278 ☐ I-279 ☐ I-280 ☐ I-281 ☐ I-282 ☐ I-283 ☐ I-284 ☐ I-285 ☐ I-286 ☐ I-287 ☐ I-288 ☐ I-289 ☐ I-290 ☐ I-291 ☐ I-292 ☐ I-293 ☐ I-294 ☐ I-295 ☐ I-296 ☐ I-297 ☐ I-298 ☐ I-299 ☐ I-300 ☐ I-301 ☐ I-302 ☐ I-303 ☐ I-304 ☐ I-305 ☐ I-306 ☐ I-307 ☐ I-308 ☐ I-309 ☐ I-310 ☐ I-311 ☐ I-312 ☐ I-313 ☐ I-314 ☐ I-315 ☐ I-316 ☐ I-317 ☐ I-318 ☐ I-319 ☐ I-320 ☐ I-321 ☐ I-322 ☐ I-323 ☐ I-324 ☐ I-325 ☐ I-326 ☐ I-327 ☐ I-328 ☐ I-329 ☐ I-330 ☐ I-331 ☐ I-332 ☐ I-333 ☐ I-334 ☐ I-335 ☐ I-336 ☐ I-337 ☐ I-338 ☐ I-339 ☐ I-340 ☐ I-341 ☐ I-342 ☐ I-343 ☐ I-344 ☐ I-345 ☐ I-346 ☐ I-347 ☐ I-348 ☐ I-349 ☐ I-350 ☐ I-351 ☐ I-352 ☐ I-353 ☐ I-354 ☐ I-355 ☐ I-356 ☐ I-357 ☐ I-358 ☐ I-359 ☐ I-360 ☐ I-361 ☐ I-362 ☐ I-363 ☐ I-364 ☐ I-365 ☐ I-366 ☐ I-367 ☐ I-368 ☐ I-369 ☐ I-370 ☐ I-371 ☐ I-372 ☐ I-373 ☐ I-374 ☐ I-375 ☐ I-376 ☐ I-377 ☐ I-378 ☐ I-379 ☐ I-380 ☐ I-381 ☐ I-382 ☐ I-383 ☐ I-384 ☐ I-385 ☐ I-386 ☐ I-387 ☐ I-388 ☐ I-389 ☐ I-390 ☐ I-391 ☐ I-392 ☐ I-393 ☐ I-394 ☐ I-395 ☐ I-396 ☐ I-397 ☐ I-398 ☐ I-399 ☐ I-400 ☐ I-401 ☐ I-402 ☐ I-403 ☐ I-404 ☐ I-405 ☐ I-406 ☐ I-407 ☐ I-408 ☐ I-409 ☐ I-410 ☐ I-411 ☐ I-412 ☐ I-413 ☐ I-414 ☐ I-415 ☐ I-416 ☐ I-417 ☐ I-418 ☐ I-419 ☐ I-420 ☐ I-421 ☐ I-422 ☐ I-423 ☐ I-424 ☐ I-425 ☐ I-426 ☐ I-427

Special Provisions: ☐ 509.2 ☐ 509.3 ☐ 509.4 ☐ 509.5 ☐ 509.6 ☐ 509.7 ☐ 509.8 ☐ 509.9

Mixed Occupancy: ☒ No ☐ Yes Separation: _____ Hr. Exception: _____

Incidental Use Separation (508.2.5)
This separation is not exempt as a Non-Separated Use (see exceptions)

☐ Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

☐ Separated Use (508.4) - See below for area calculations
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A = Actual Area of Occupancy B
Allowable Area of Occupancy A = Allowable Area of Occupancy B = < 1

≤ 1.00

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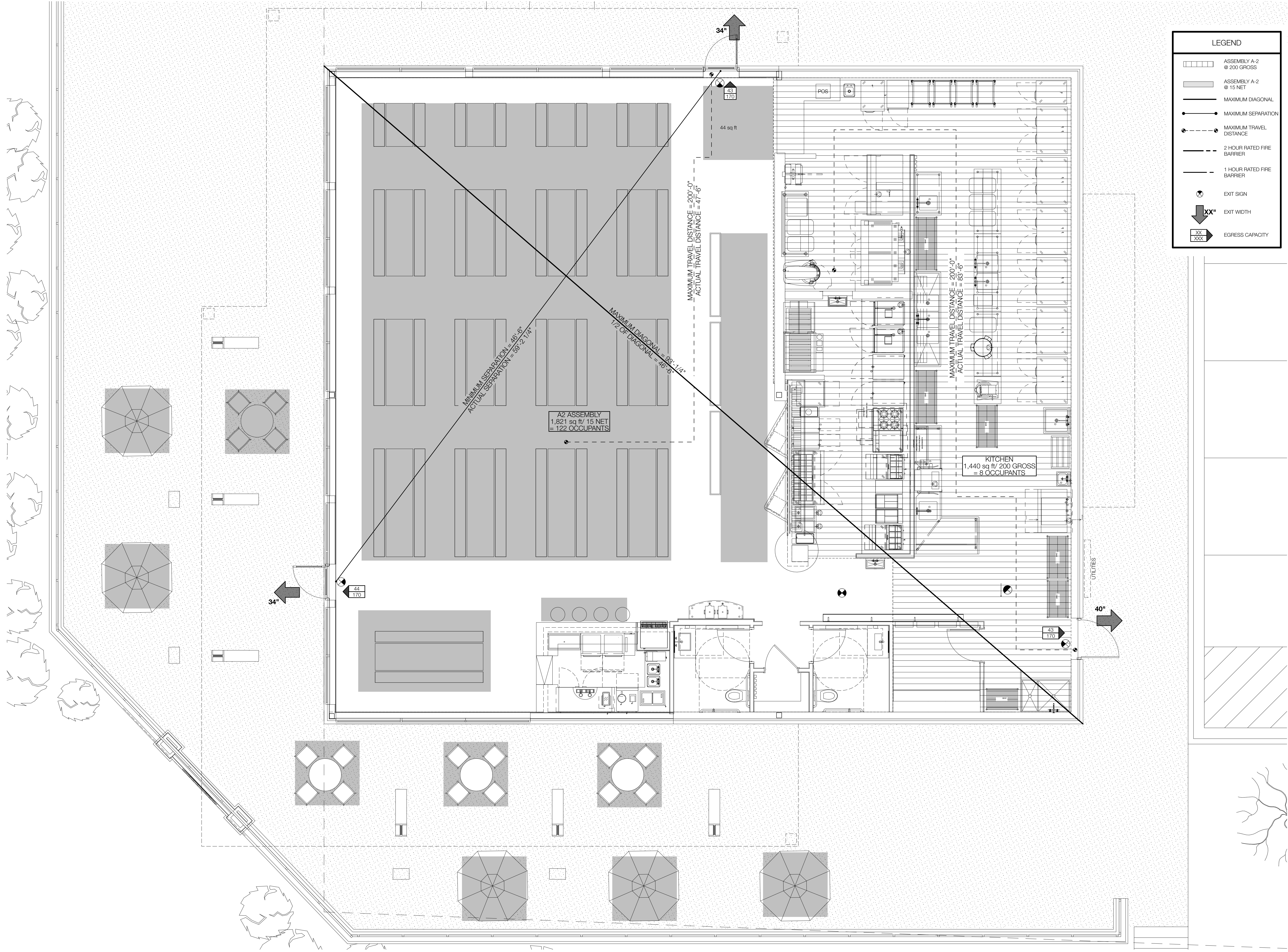
≤ 1.00

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Mark David Mucci
02/24/17



COWBOY

Village at Oakhurst II

9615 Bailey Rd.
Cornelius, North Carolina 28031

ISSUE DATE: 02.24.2017

PROJECT STATUS: FOR CONSTRUCTION

PROJECT NUMBER: 15-006

REVISIONS:

Rev #	Description	Issue Date
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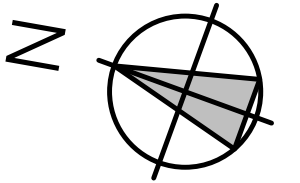
LIFE SAFETY PLAN

A0.02



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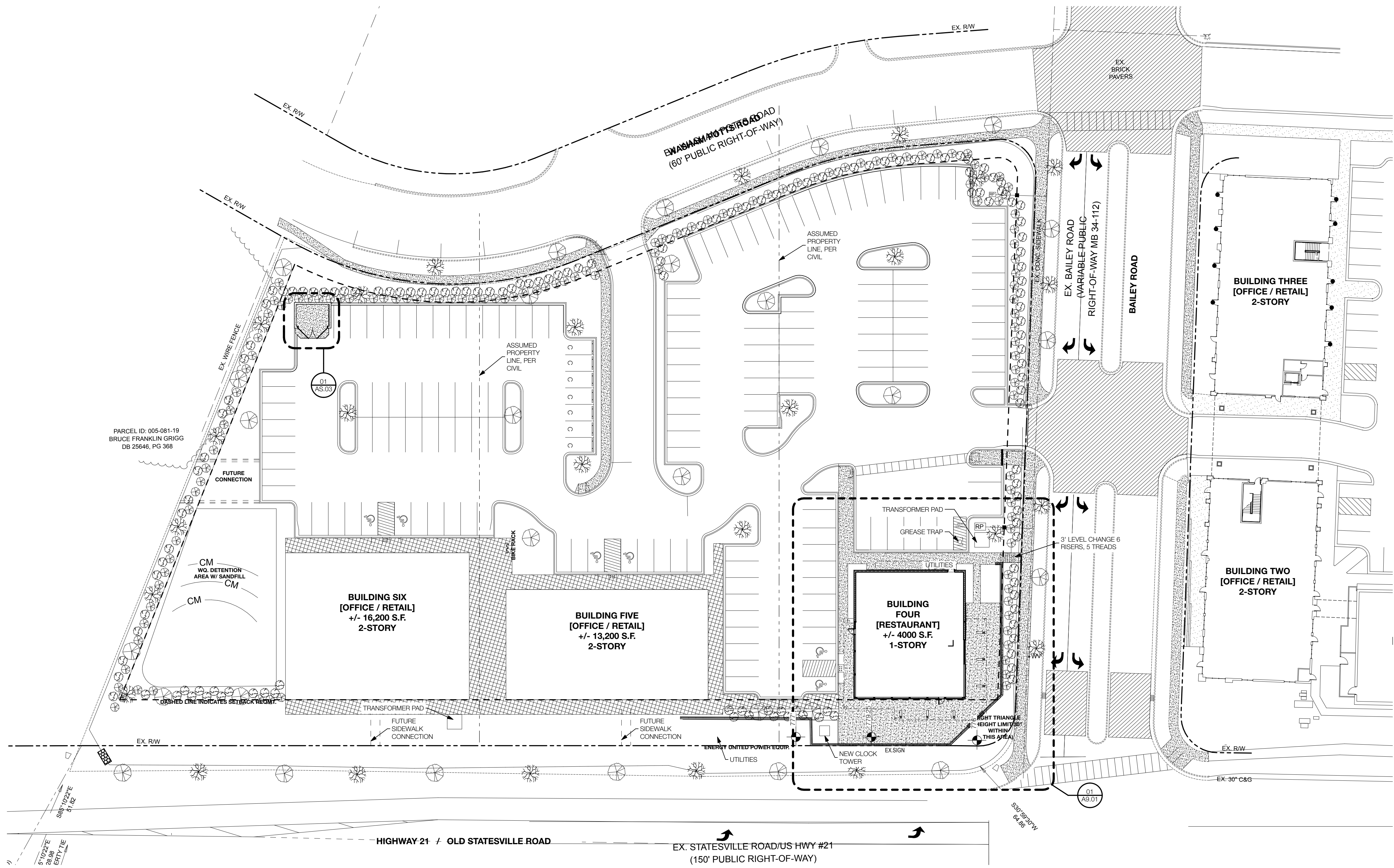
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ARCHITECTURAL SITE
PLAN

AS.01





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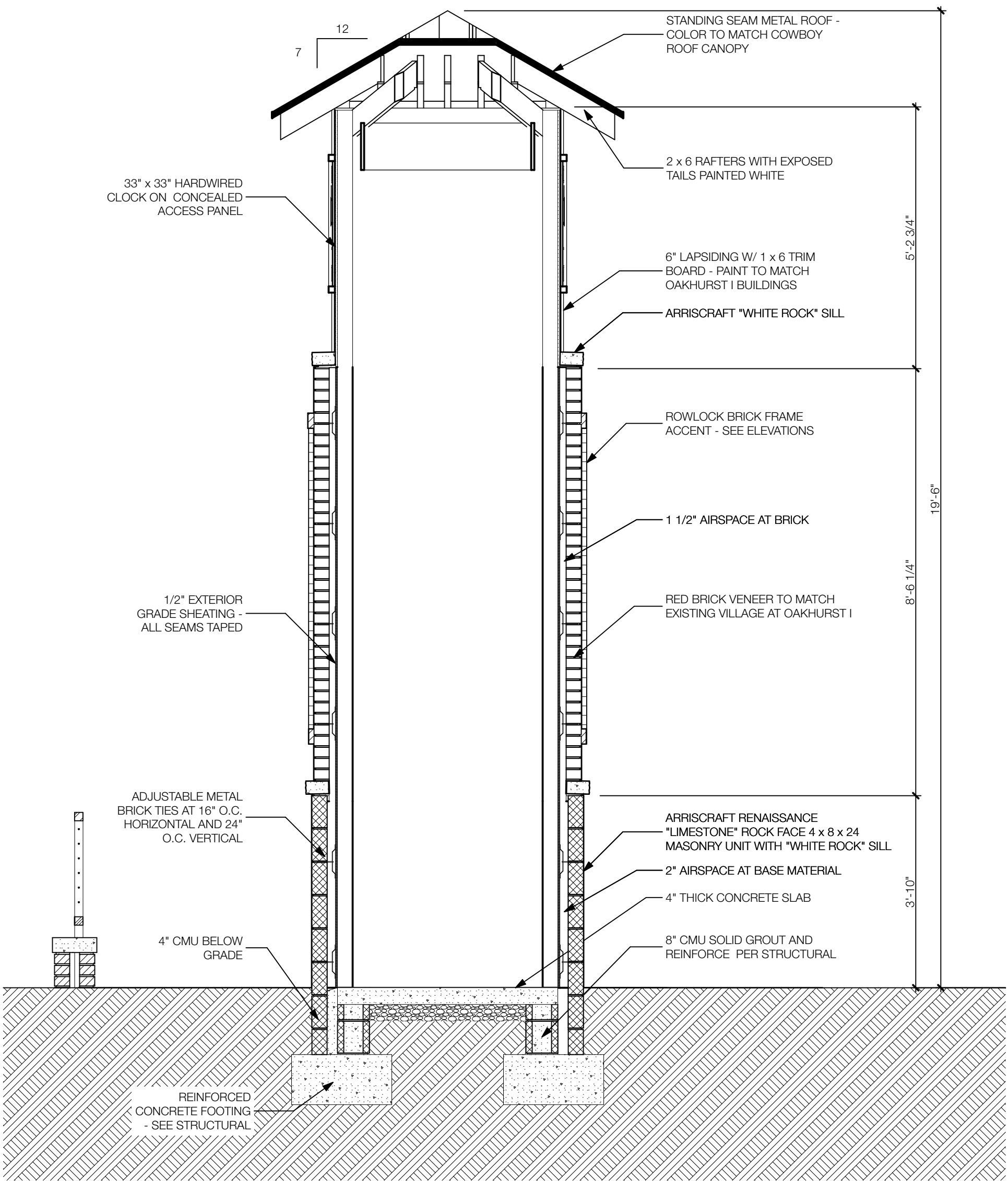
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REVISIONS:

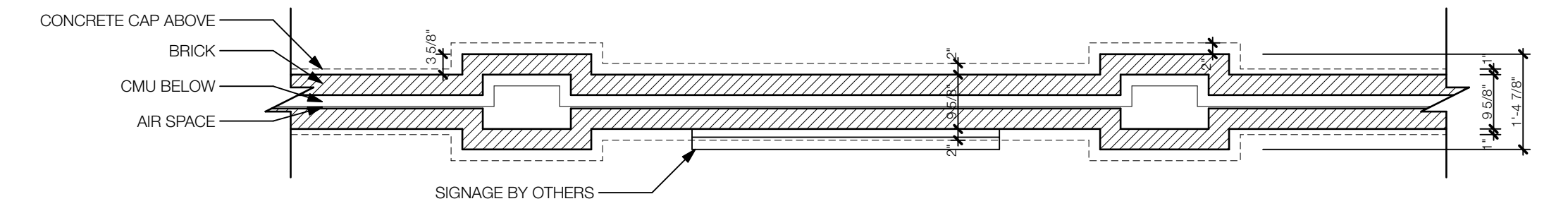
Rev #	Description	Issue Date
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SITE DETAILS AS.02

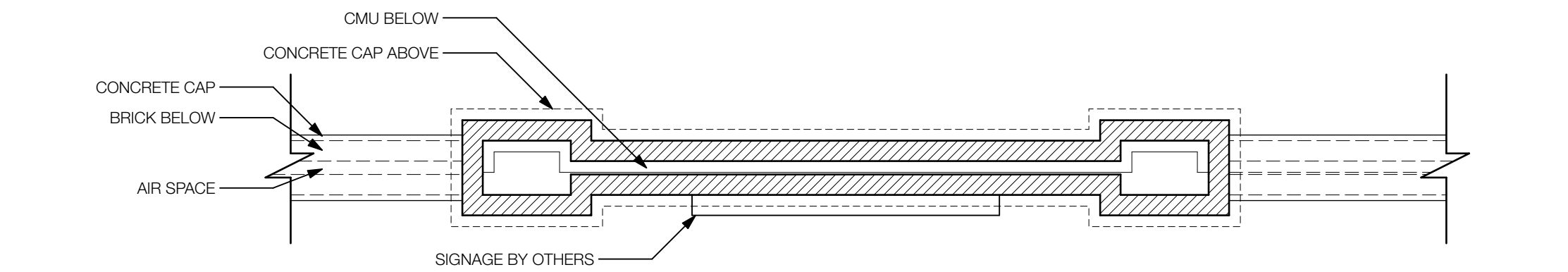
copyright: 2017 mind's eye architecture, inc.



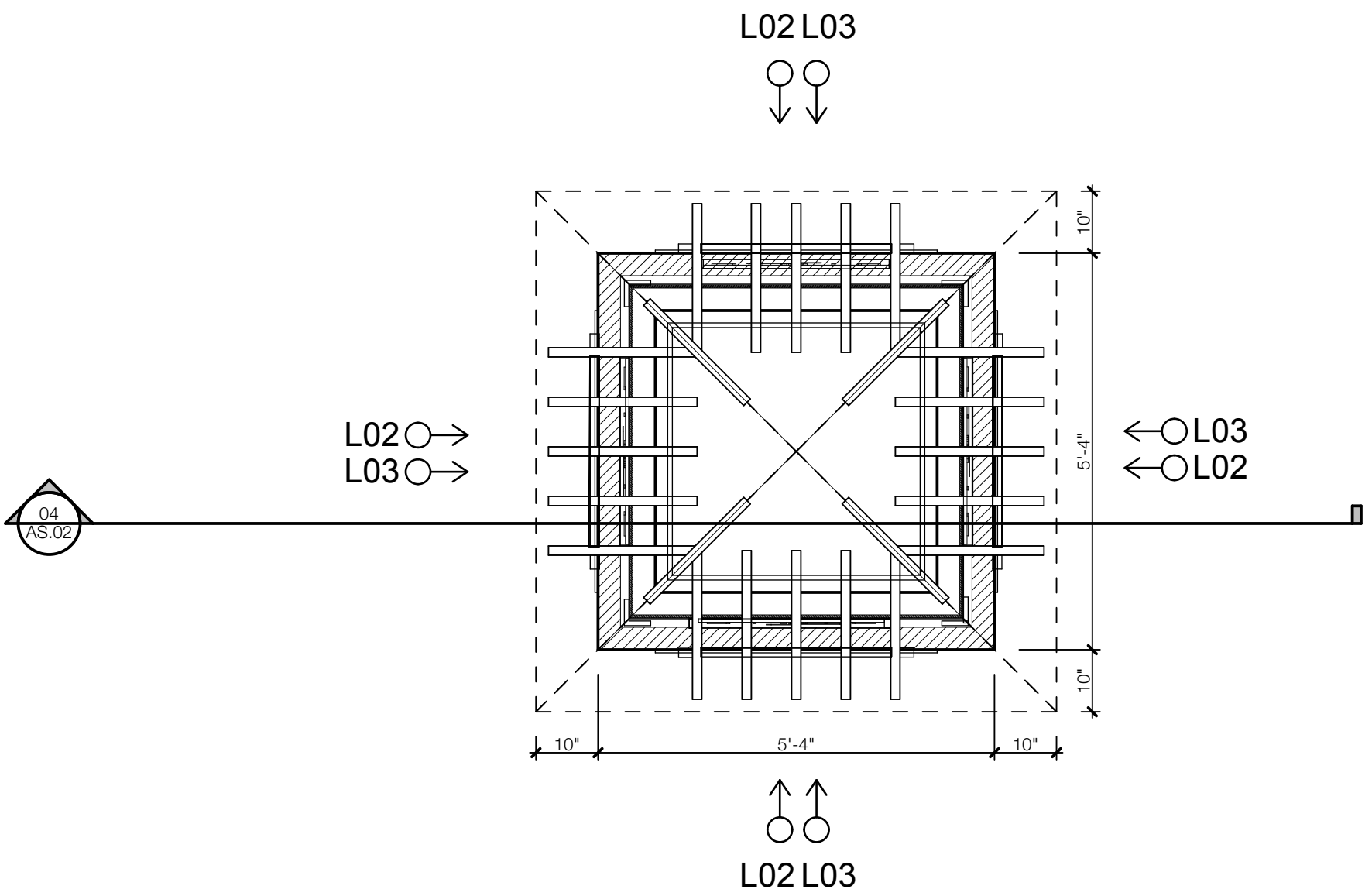
04 Clock Tower Section 1/2" = 1'-0"



03 Retaining Wall Detail 1/2" = 1'-0"



02 Retaining Wall Detail 1/2" = 1'-0"



01 Clock Tower Plan 1/2" = 1'-0"



PER STRUCTURAL - GROUT CELLS SOLID FULL HEIGHT OF WALL

BRICK VENEER

GROUT CELLS AT EACH CORNER

4" x 4" GALVANIZED STEEL TUBE WITH MINIMUM 4 TIES PER JAMB INTO MASONRY WALL

2" x 4" GALVANIZED STEEL TUBE WITH PAINTED LOUVERS

STEEL SLEEVE IN CONCRETE BELOW TO ACCEPT CANE BOLTS

CANE BOLTS WITH SLEEVES AND SUPPORT ANGLE ABOVE

6" DIAMETER CONCRETE FILLED STEEL BOLLARDS, PAINT YELLOW

GROUT CELLS SOLID AT EACH CORNER

VERTICAL REINFORCING PER STRUCTURAL

7' 5/8"

4"

4"

4"

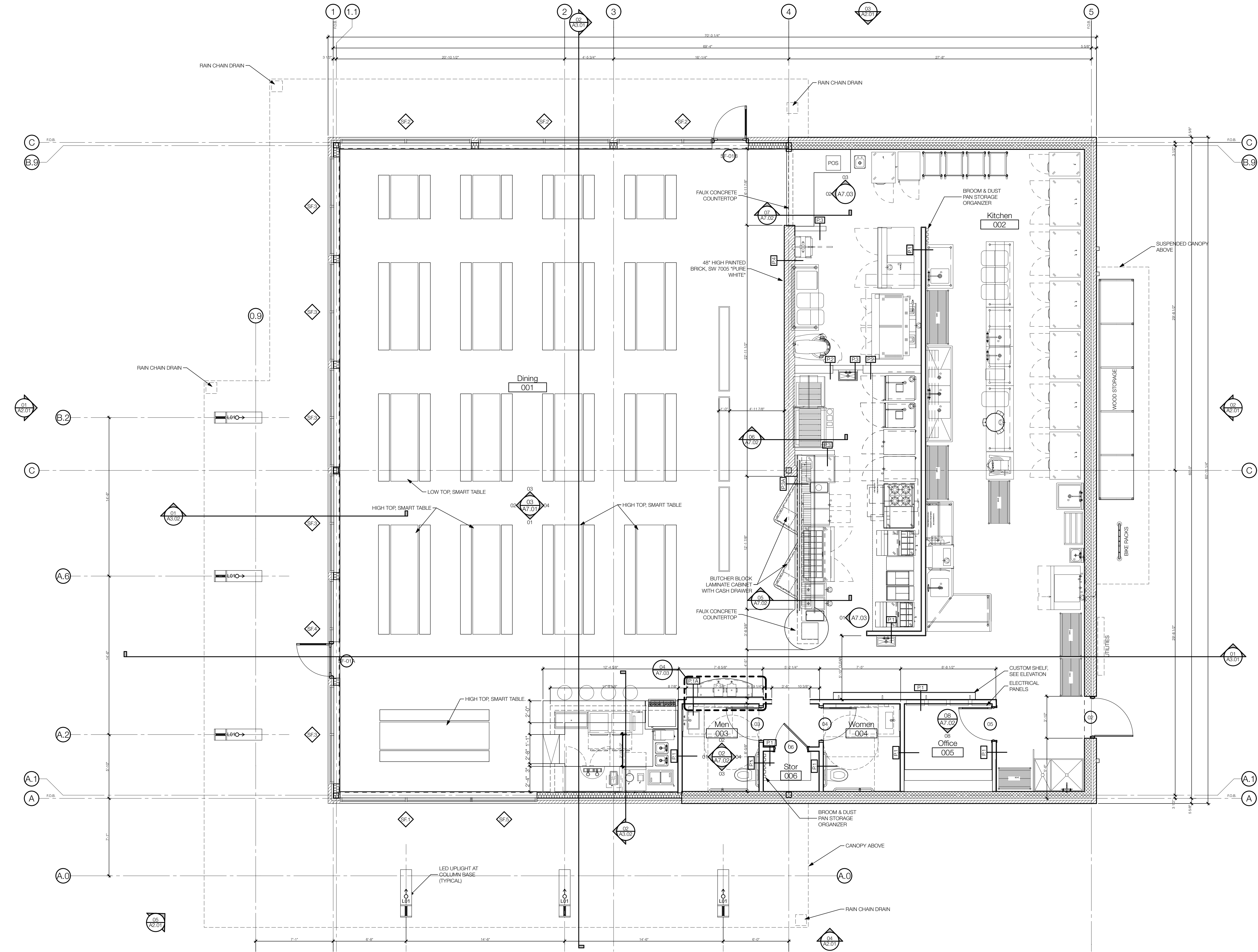
05 Dumpster Detail 3/4" = 1'-0"



SITE DETAILS

AS.03

PUBLISHED: 03/13/17



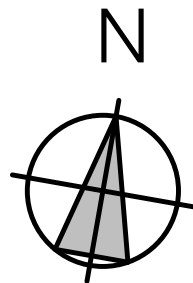
First Floor Plan

1/4" = 1'-0"



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02/24/17



COWBOY

Village at Oakhurst II

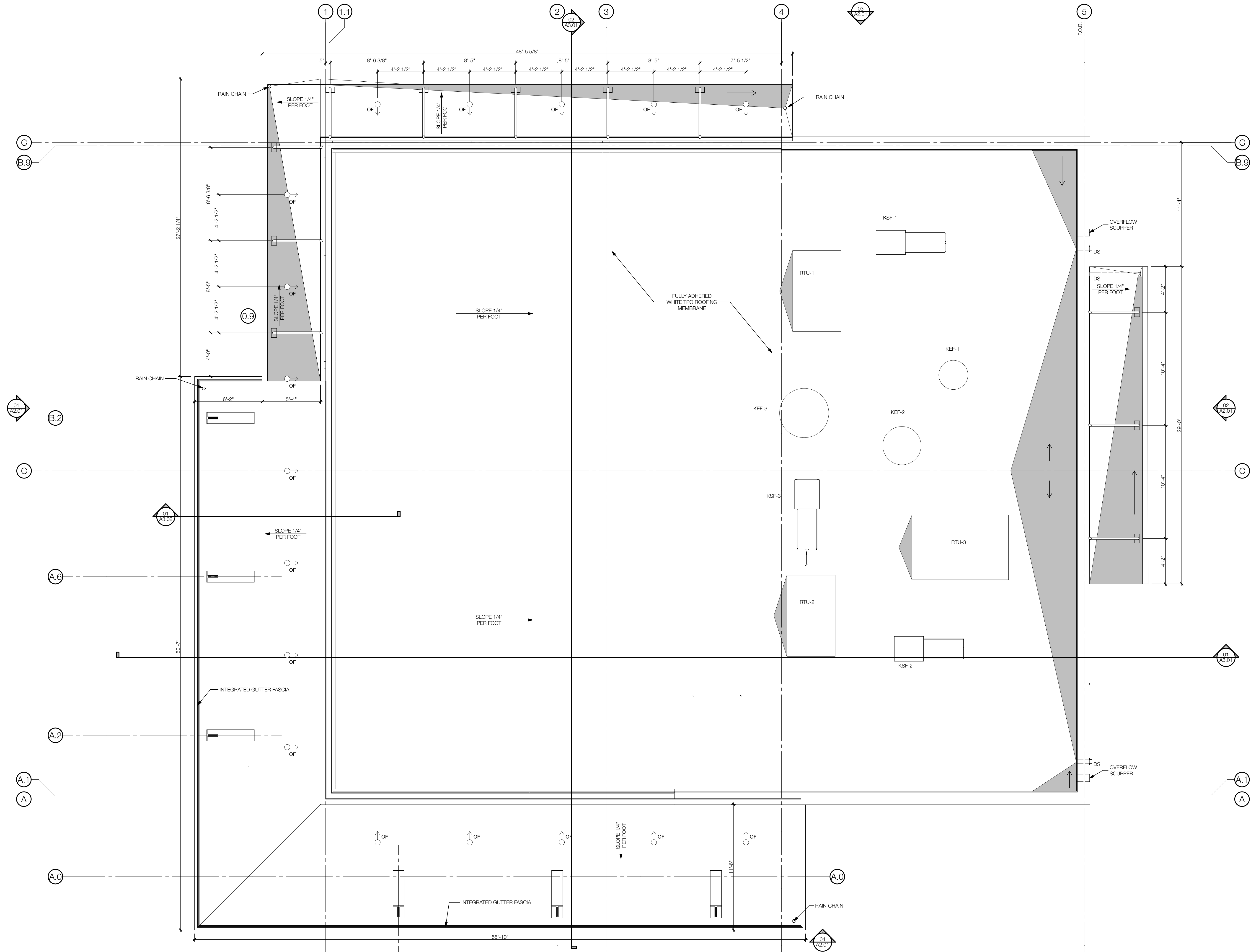
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REVISIONS:

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FLOOR PLAN

A1.01

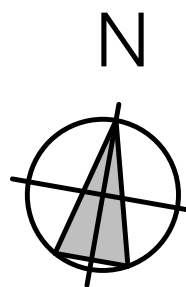


Roof Plan



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ROOF PLAN

A1.02

1/4" = 1'-0"

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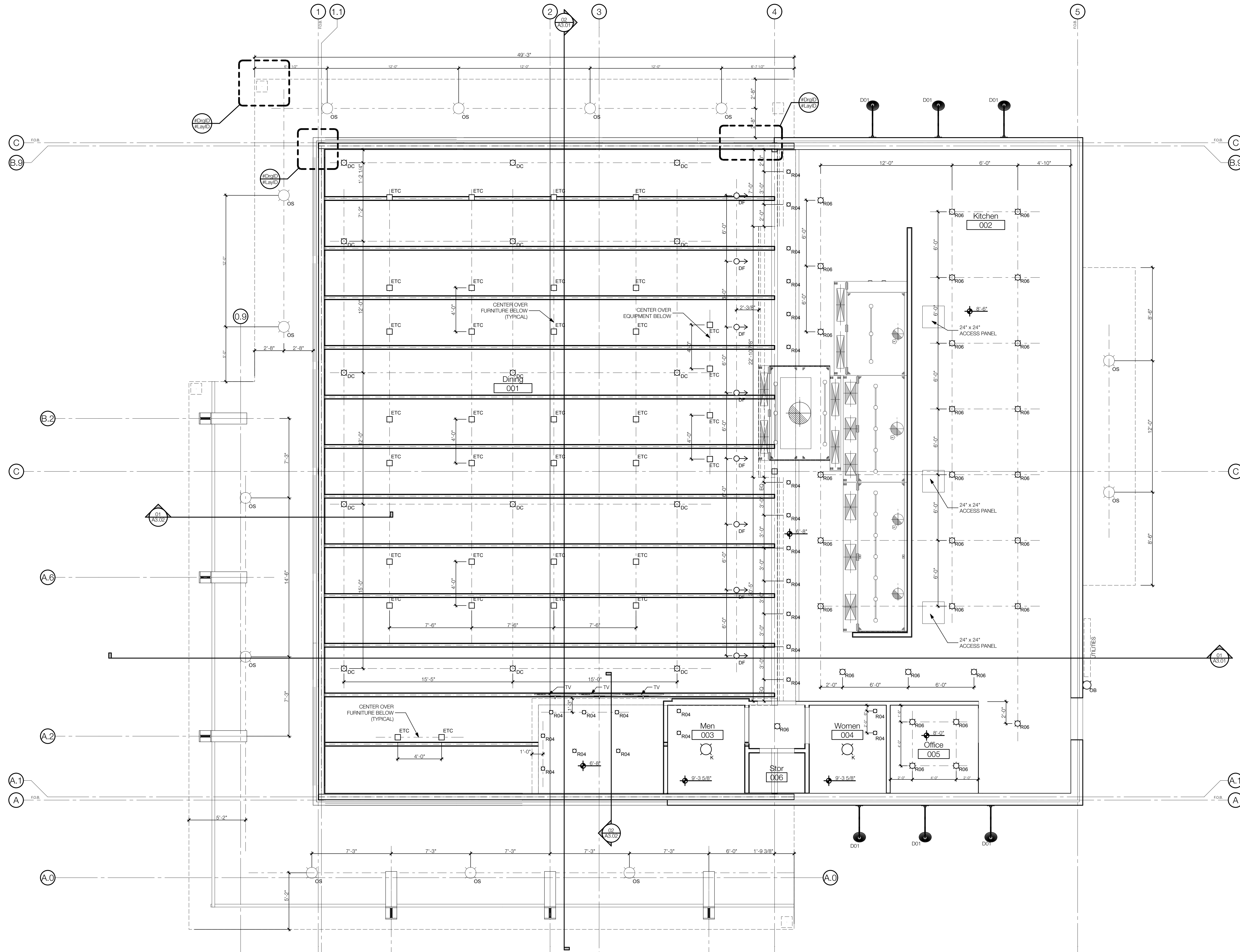
PROJECT NUMBER: 15-006

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REFLECTED CEILING
PLAN

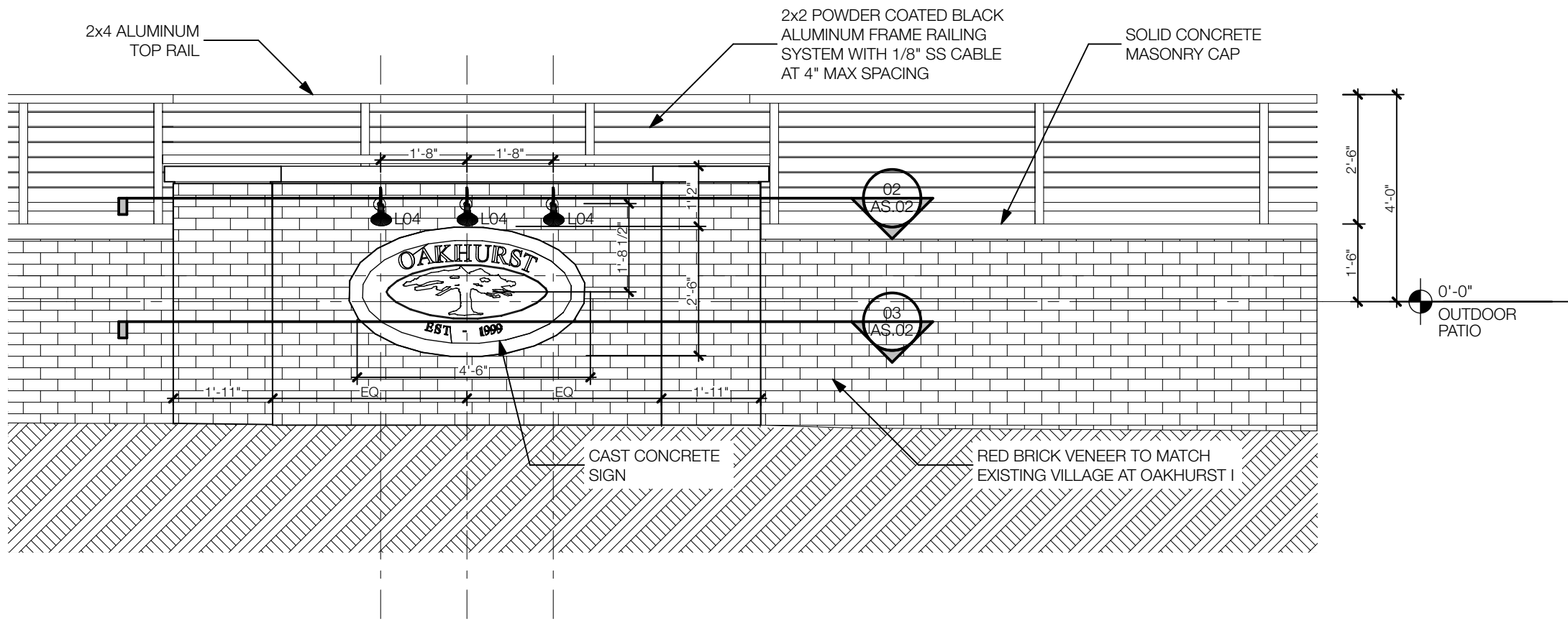
A1.03



Reflected Ceiling Plan

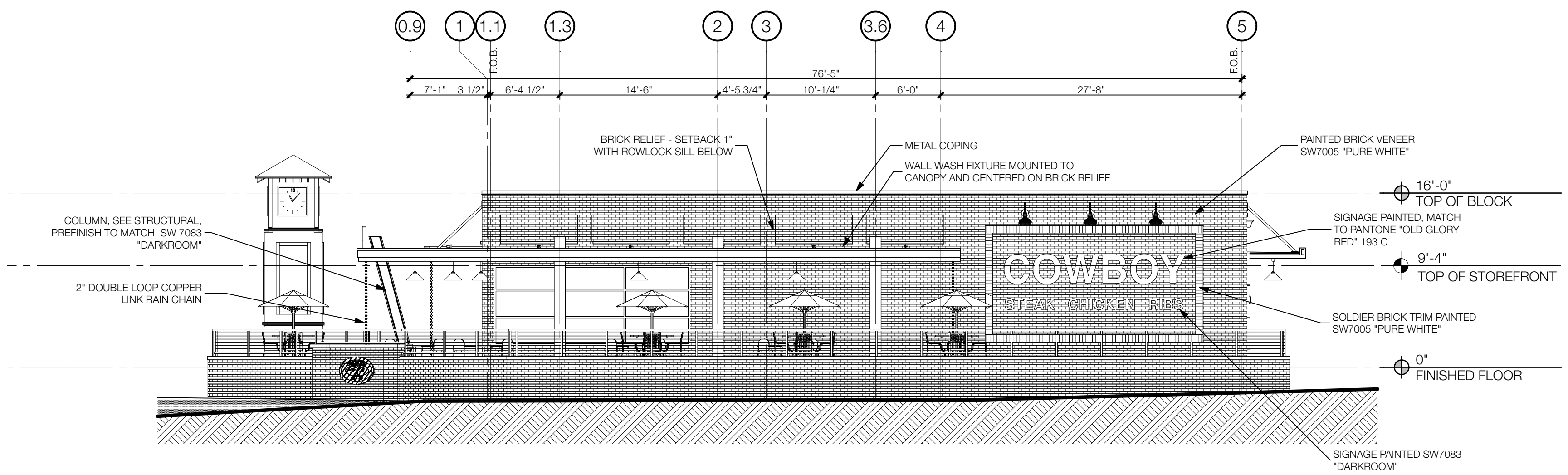
1/4" = 1'-0"

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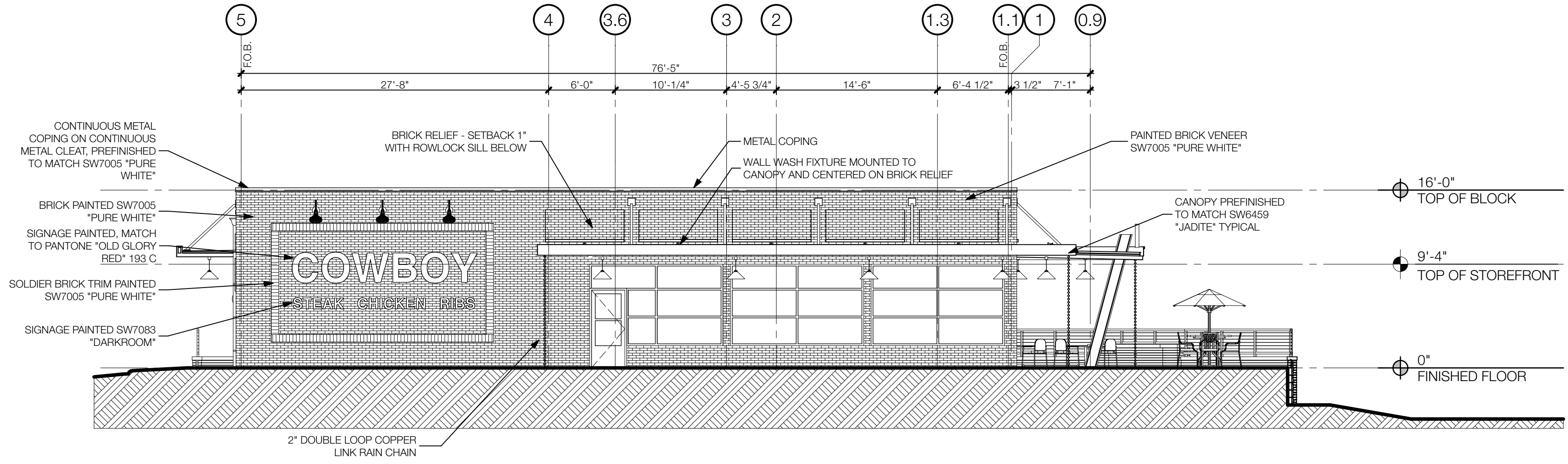
05 Retaining Wall Signage

3/8" = 1'-0"



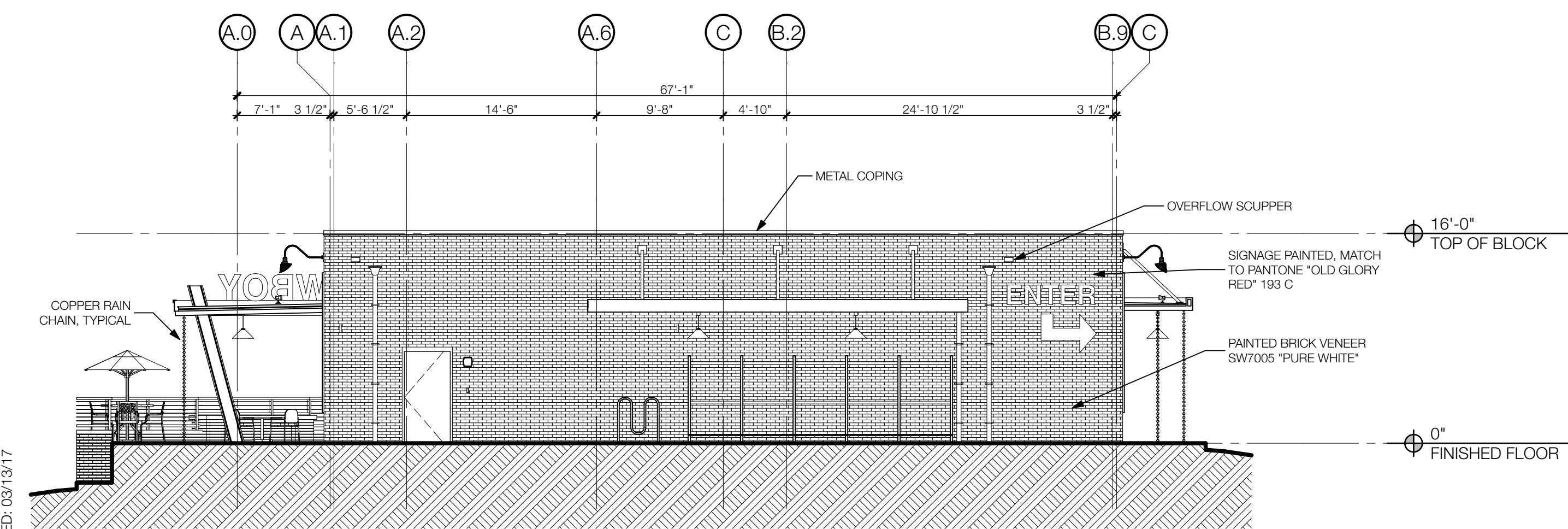
South Elevation

1/8" = 1'-0"



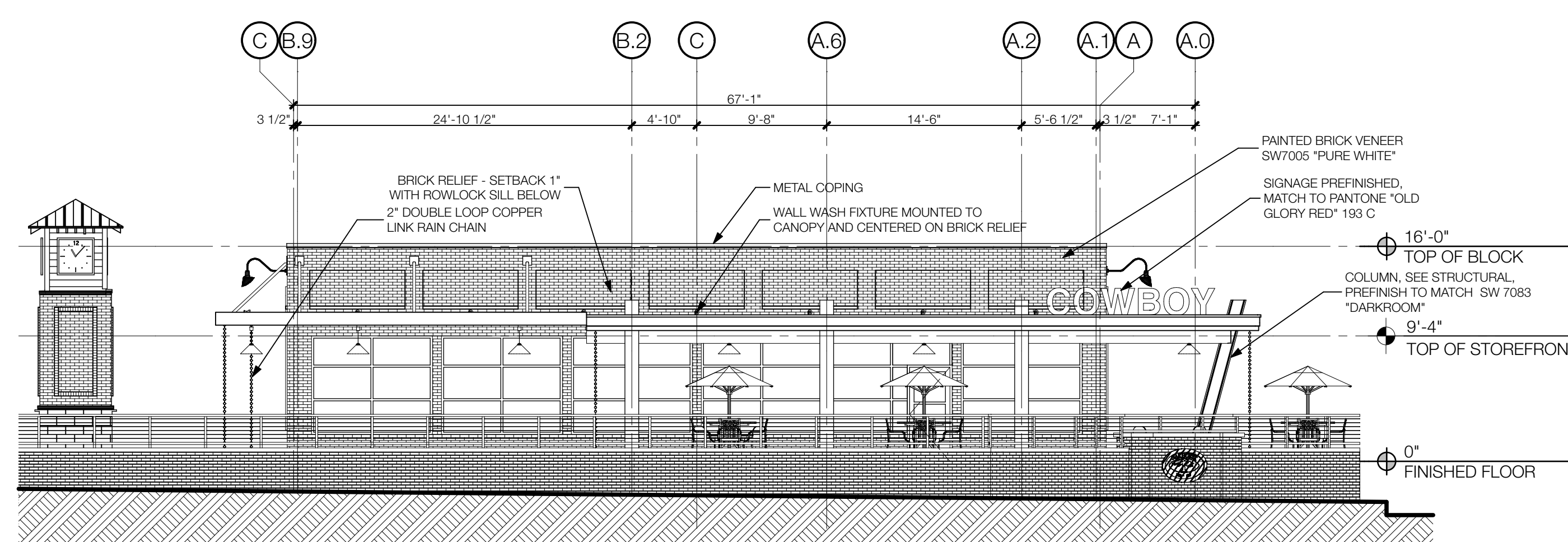
North Elevation

1/8" = 1'-0"



East Elevation

1/8" = 1'-0"



West Elevation

1/8" = 1'-0"



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1950 Abbott Street, Suite 605
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Phone: 704.373.3101
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Mark David Mucci
02/24/17



COWBOY

Village at Oakhurst II

9615 Bailey Rd.
Cornelius, North Carolina 28031

ISSUE DATE: 02.24.2017
PROJECT STATUS: FOR CONSTRUCTION
PROJECT NUMBER: 15-006
REVISIONS:

Rev #	Description	Issue Date
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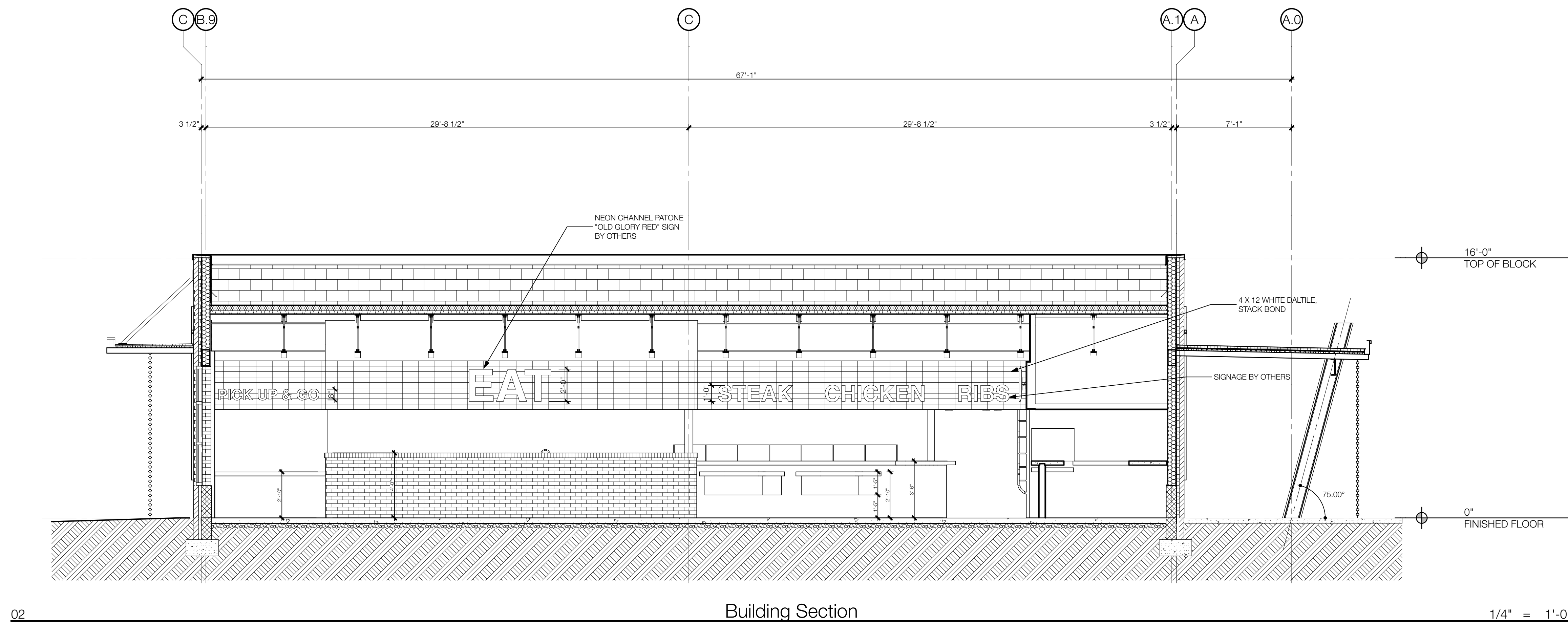
EXTERIOR ELEVATIONS

A2.01



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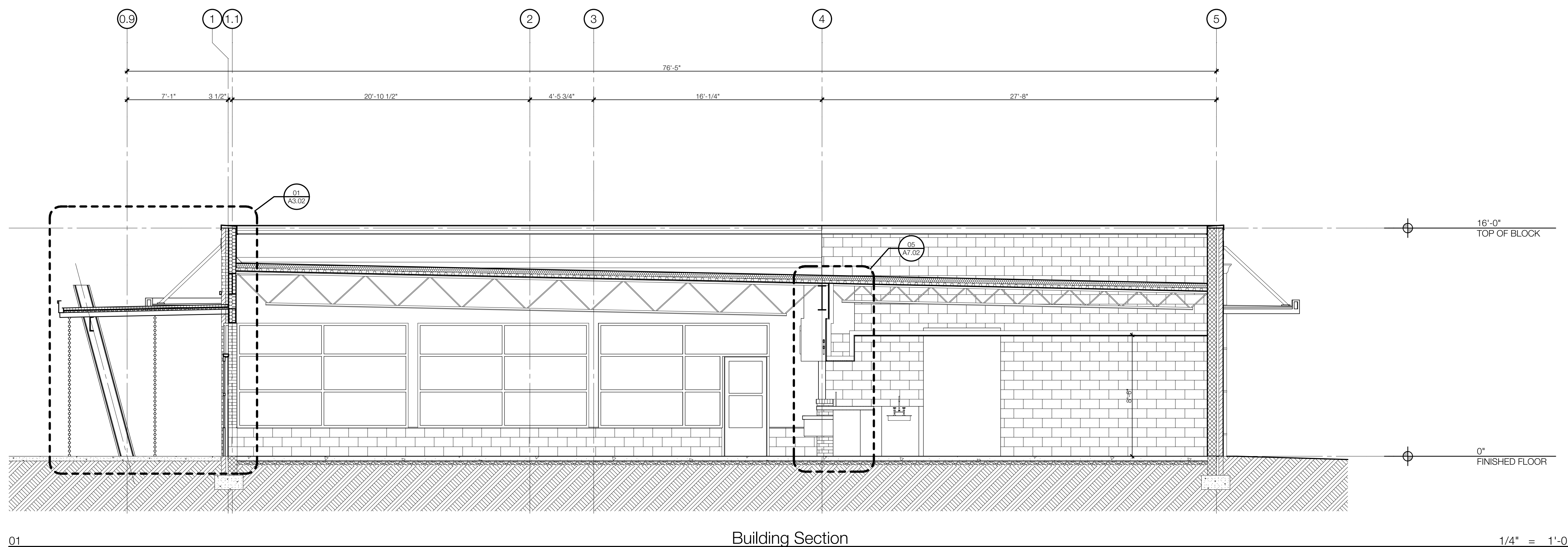
REVISIONS:

Rev #	Description	Issue Date
-------	-------------	------------

BUILDING SECTIONS

A3.01

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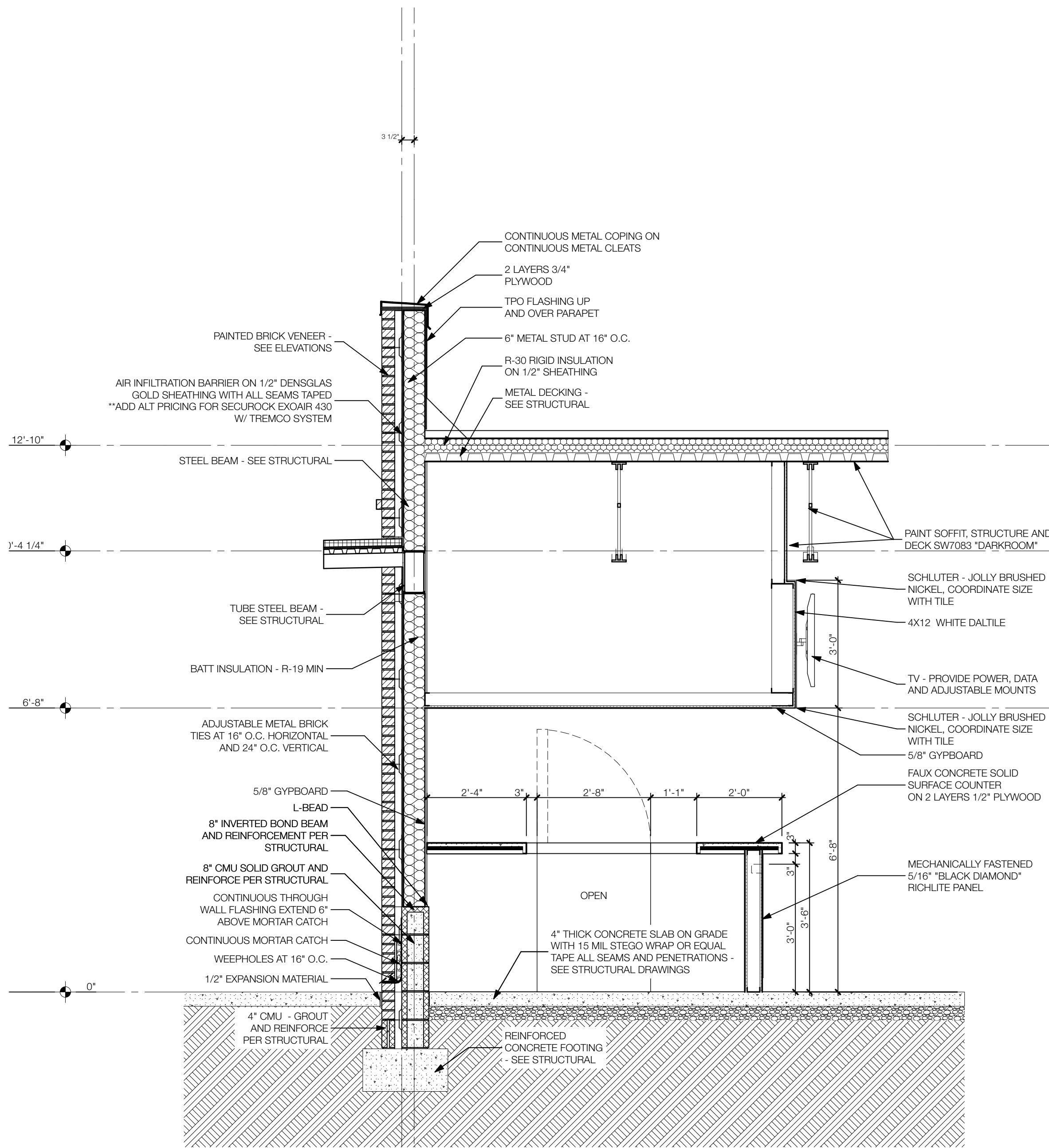
REVISIONS:

Rev #	Description	Issue Date
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SECTION DETAILS

A3.02

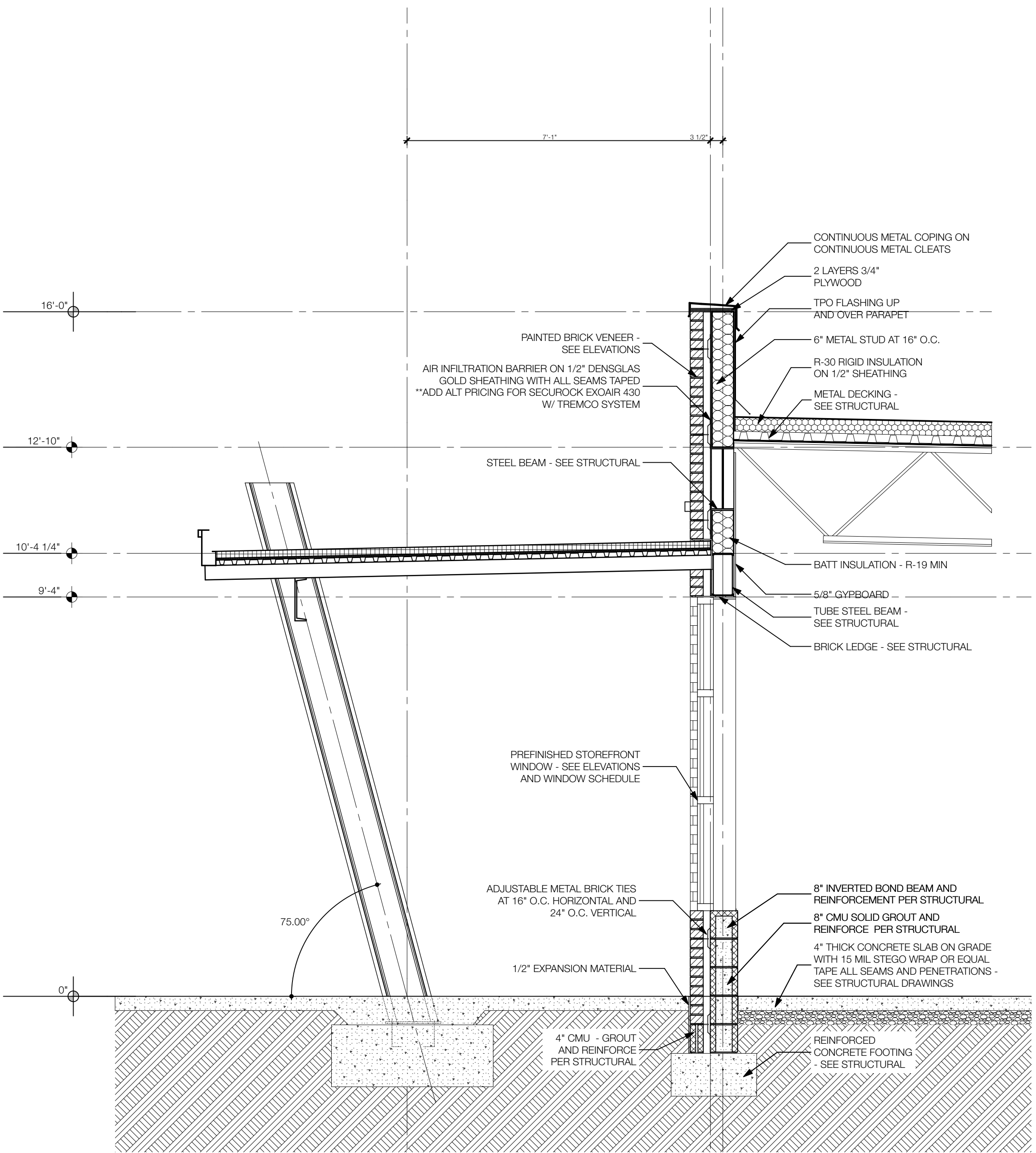
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02

Bar Section

1/2" = 1'-0"



01

Wall-Canopy Section

1/2" = 1'-0"



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-------	-------------	------------

SCHEDULES

A6.01

FINISH NOTES

GENERAL CONTRACTOR TO PROVIDE ALL FINISHES.
ALL FINISHES TO MEET REQUIREMENTS OF VOL NCBC CHAPTER 8.
SEE PLAN FOR INLAY COLORING DETAIL.

DOOR NOTES

ALL HARDWARE SHALL MEET ADA AND NCBC VOL 1-C CODE REQUIREMENTS.
ALL HARDWARE TO BE AGED BRONZE (USD XXX).

TOILET ACCESSORIES

COAT HOOK	BOBRICK	B-672
ANGLE FRAME TILT MIRROR	BOBRICK	B-294 1830
FULL LENGTH CHANNEL FRAME MIRROR	BOBRICK	B165 2460
DOUBLE TOILET PAPER DISPENSER	BOBRICK	B-76867
ALT - TOILET PAPER DISPENSER AND SHELF	BOBRICK	B-2840
WALL MOUNTED SEAT COVER DISPENSER	BOBRICK	B-221
WALL MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-270
STANDING WASTE RECEPTACLE	BOBRICK	B-2400
MOP AND BROOM HOLDER	BOBRICK	B-223 x 24
BABY CHANGING STATION	KOALA KARE	KB200-SS
42" GRAB BAR	AMERICAN SPECIALTIES, INC	3800 SERIES - TYPE 01
36" GRAB BAR	AMERICAN SPECIALTIES, INC	3800 SERIES - TYPE 01
18" GRAB BAR	AMERICAN SPECIALTIES, INC	3800 SERIES - TYPE 01

HARDWARE SET

HW.1

DEAD BOLT
PANIC BAR WITH LOCK
(3) BUTT HINGES
BALANCE OF HARDWARE BY
DOOR MANUFACTURER

HW.2

180 DEGREE DOOR VIEWER
DEAD BOLT
DETEX
HINGES
KICK PLATE
LOCK SET
PASSAGE SET
THRESHOLD
WEATHER STRIPPING

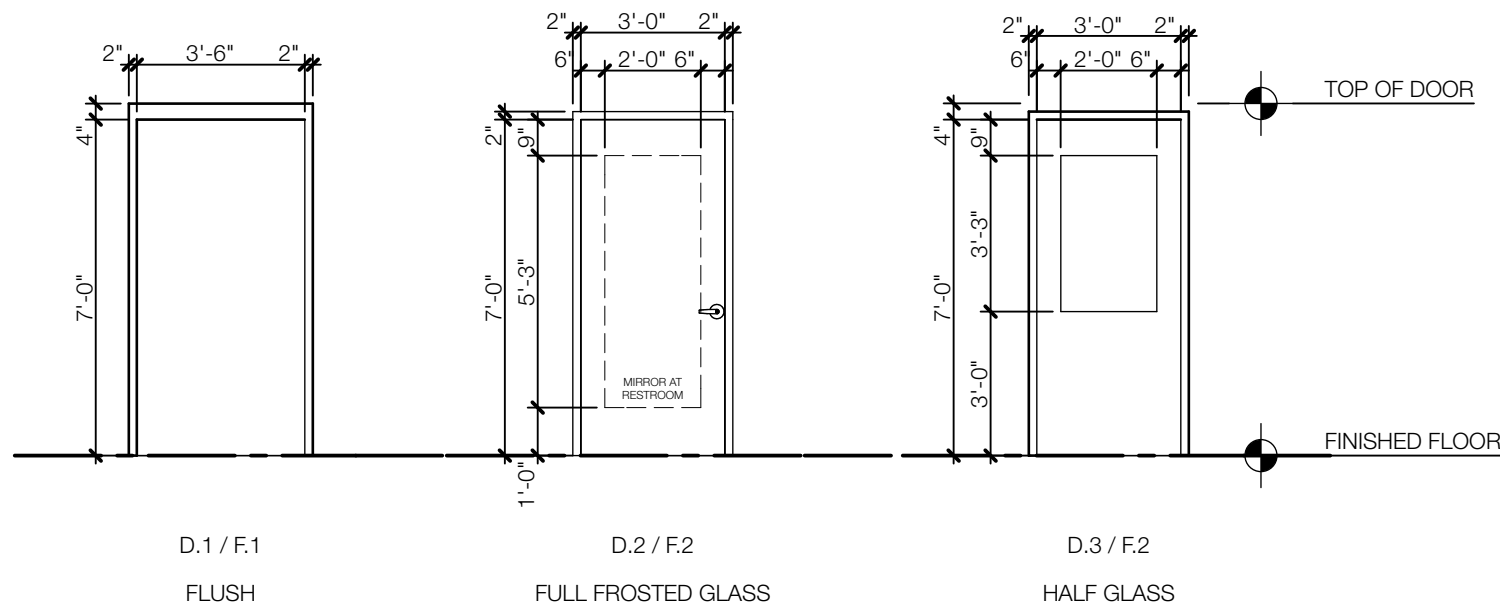
HW.3

HINGES
KICK PLATE
LOCK SET
PASSAGE SET

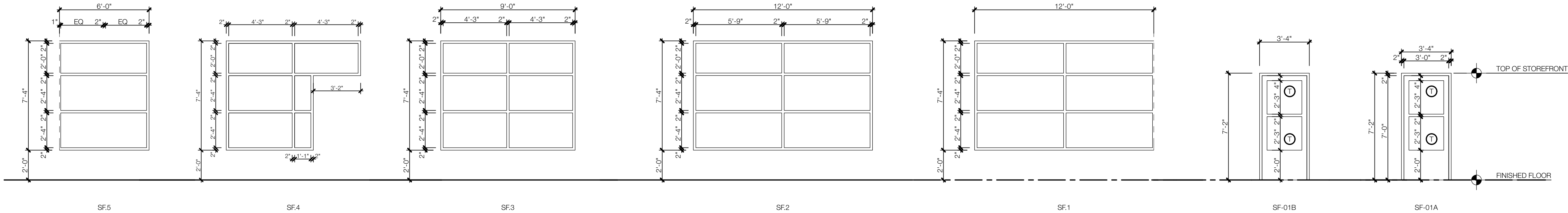
HW.4

HINGES
KICK PLATE
LOCK SET
STOREROOM SET

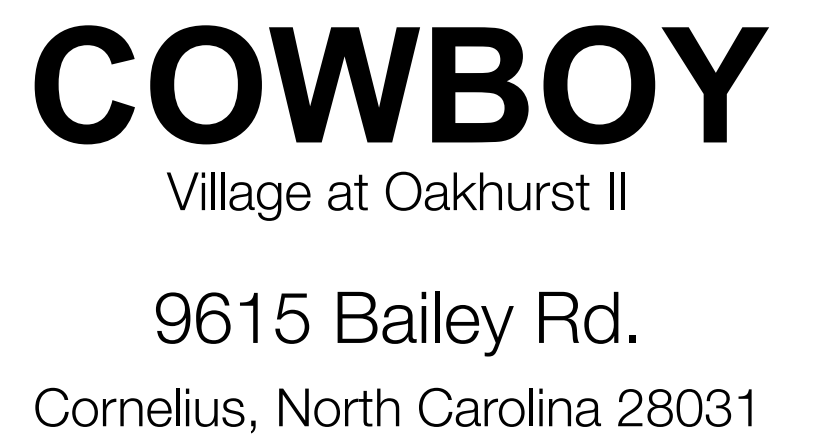
DOOR SCHEDULE																
ID	ZONE NAME	SIZE		DOOR			FRAME			GLAZING	DETAILS			RATING	HW SET	NOTES
		WIDTH	HEIGHT	MATERIAL	ELEVATION	FINISH	MATERIAL	ELEVATION	FINISH		HEAD	JAMB	SILL			
02	Kitchen	3'-6"	7'-0"	H.M.	D.1	TBD	H.M.	F.1	TBD						HW.2	
03	Men	3'-0"	7'-0"	S.C.W.	D.2	TBD	H.M.	F.2	TBD						HW.3	
04	Women	3'-0"	7'-0"	S.C.W.	D.2	TBD	H.M.	F.2	TBD						HW.3	
05	Office	3'-0"	7'-0"	S.C.W.	D.3	TBD	H.M.	F.2	TBD						HW.4	1/2 TEMPERED GLASS
06	Stor	3'-0"	7'-0"	S.C.W.	D.2	TBD	H.M.	F.2	TBD						HW.4	



02 Door Types



Window Elevations



Rev #	Description	Issue Date
-------	-------------	------------

A6.02

01
$$\underline{1/4" = 1'-0"}$$

This is a detailed architectural floor plan of a restaurant. The layout includes the following areas and components:

- Dining Area:** Located at the bottom of the plan, featuring 62 rectangular tables arranged in rows.
- Kitchen (002):** Situated in the upper left, containing various kitchen equipment, sinks, and storage units, numbered 1 through 31.
- POS:** A Point of Sale station located near the kitchen area, numbered 33.
- Storage (006):** Located on the right side, adjacent to the restrooms.
- Restrooms:** Men's (003) and Women's (004) restrooms are located on the right side of the plan.
- Office (005):** Located at the top right, containing a desk and chair.
- Utilities:** Located at the top right, containing various utility equipment, numbered 14 through 16.
- Equipment and Fixtures:** Numerous numbered circles (1-73) indicate specific fixtures, equipment, and furniture throughout the plan.
- Scale Bar:** Located at the top right, indicating the scale of the drawing.



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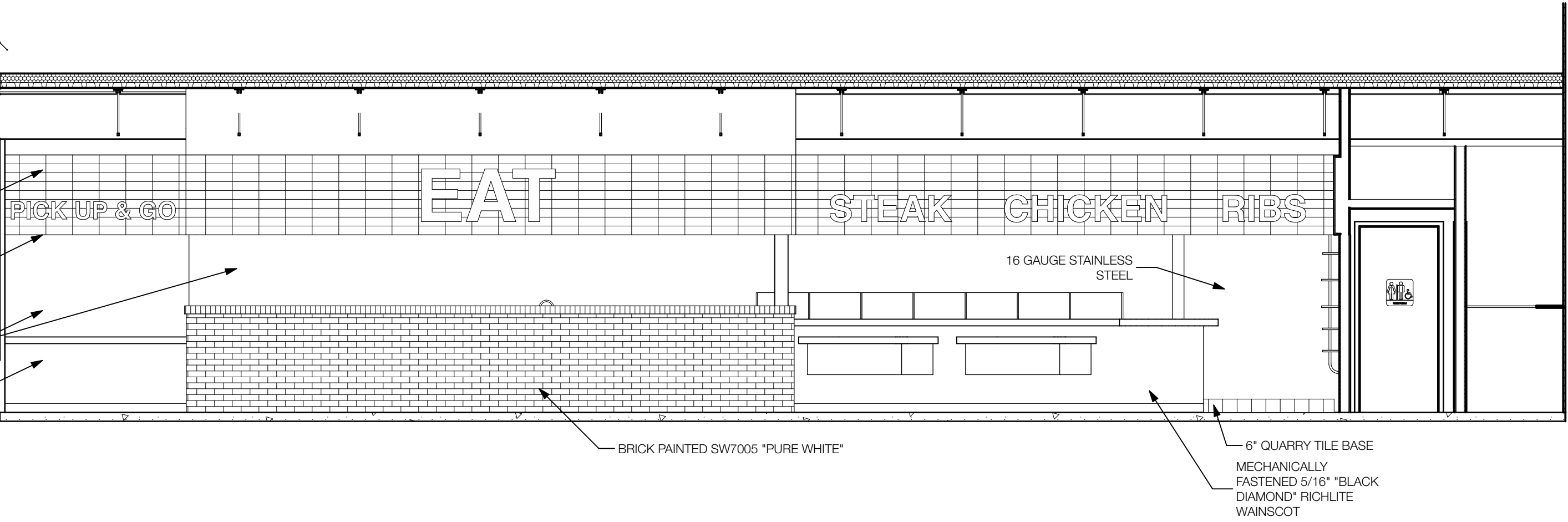
Rev #	Description	Issue Date
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INTERIOR ELEVATIONS

A7.01

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4 X 12 WHITE DALTILE,
STACK BOND
SCHLUTER - JOLLY
BRUSHED NICKEL - USE
SIZE THAT
CORRESPONDS WITH
TILE AND ALIGN EDGE
WITH BOTTOM OF GYP.
16 GAUGE STAINLESS
STEEL
MECHANICALLY
FASTENED 5/16" "BLACK
DIAMOND" RICH-LITE
WAINSCOT

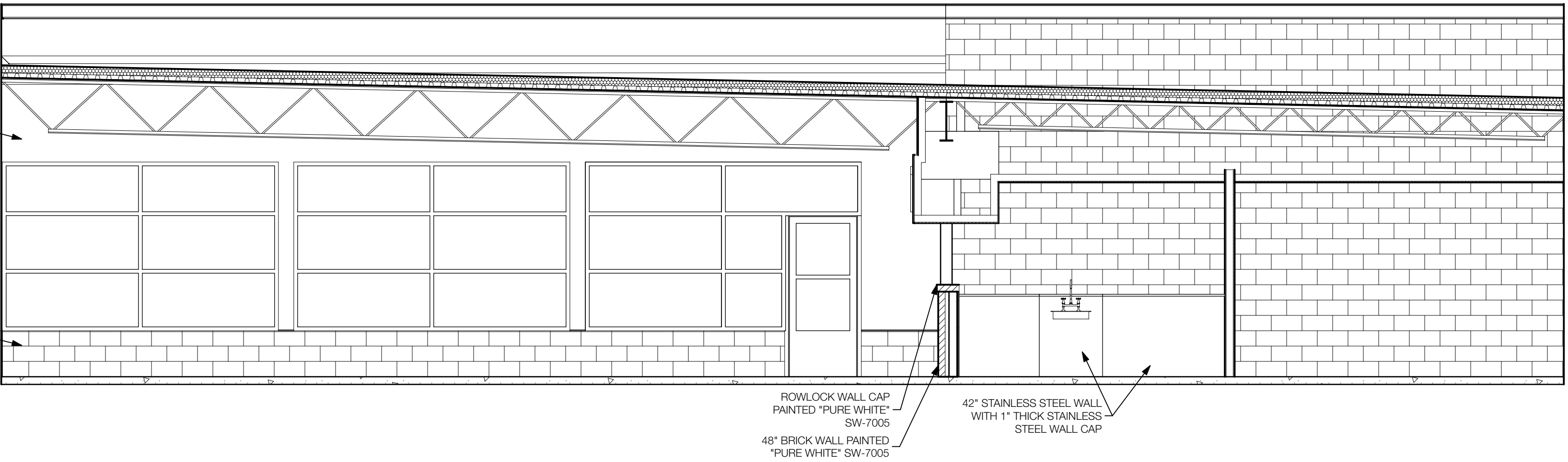


Kitchen Interior Elevation

1/4" = 1'-0"

04

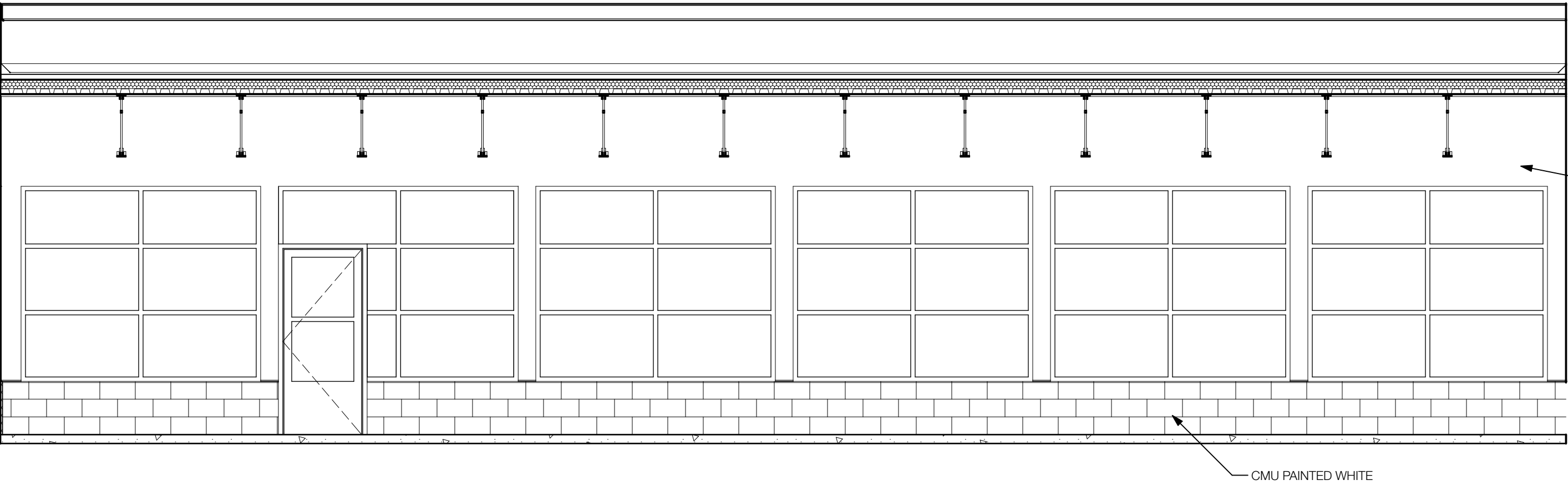
GWB PAINTED
CMU PAINTED WHITE



Dining Interior Elevation

1/4" = 1'-0"

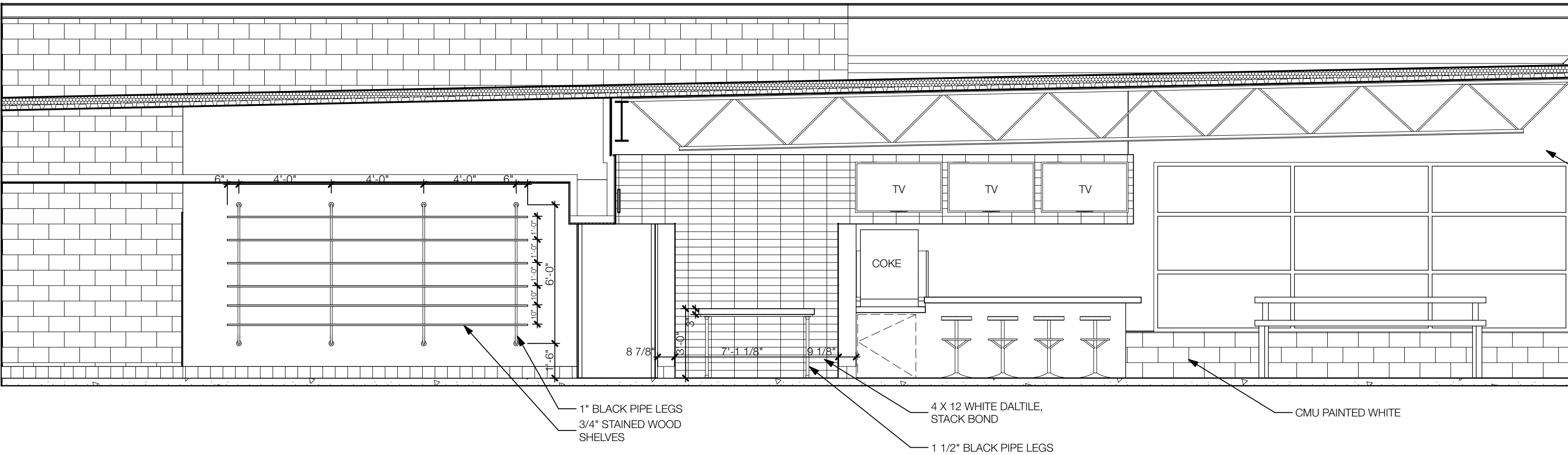
03



Dining Interior Elevation

1/4" = 1'-0"

02



Dining Interior Elevation

1/4" = 1'-0"

01



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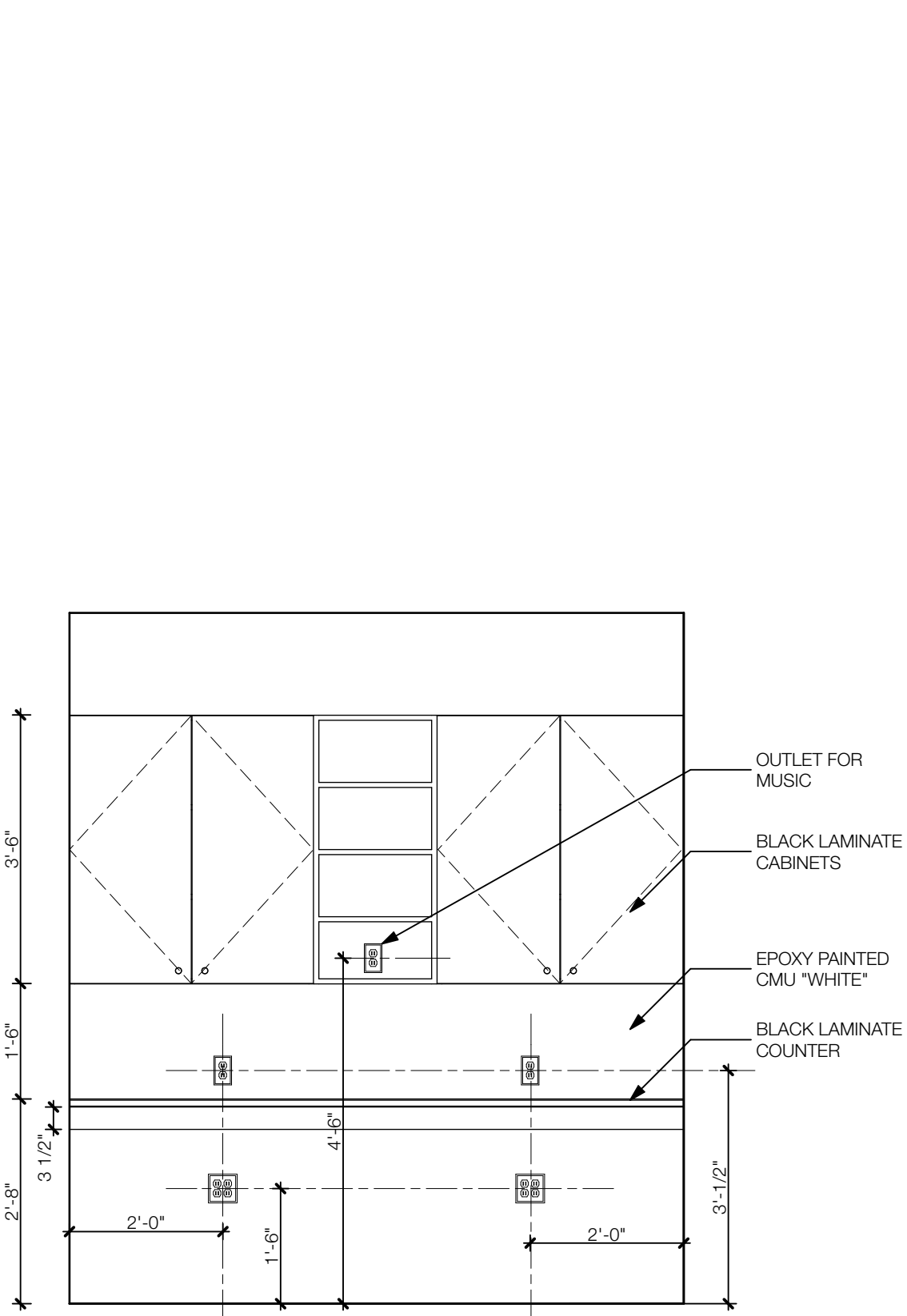
REVISIONS:

Rev #	Description	Issue Date
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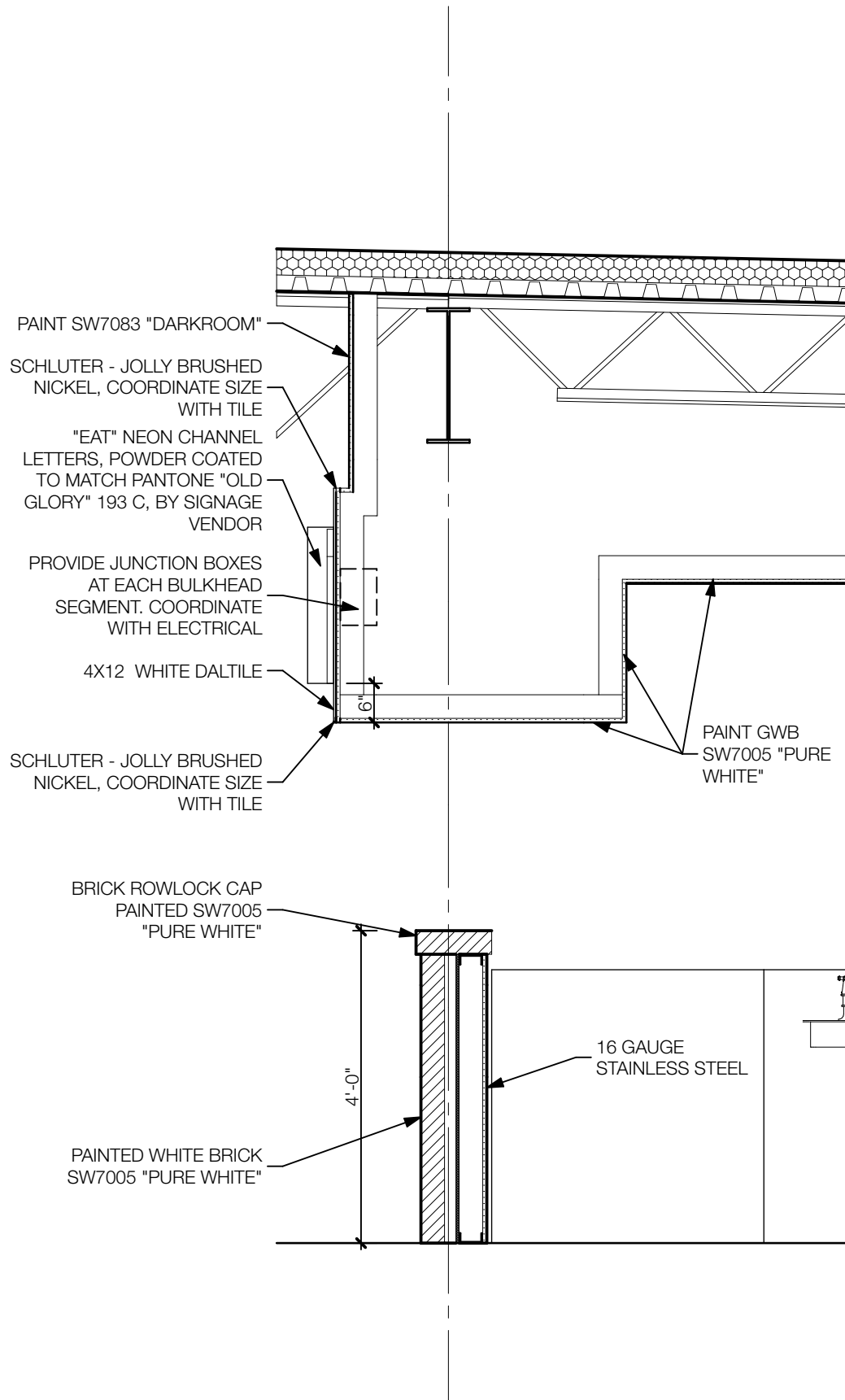
INTERIOR ELEVATIONS

A7.02

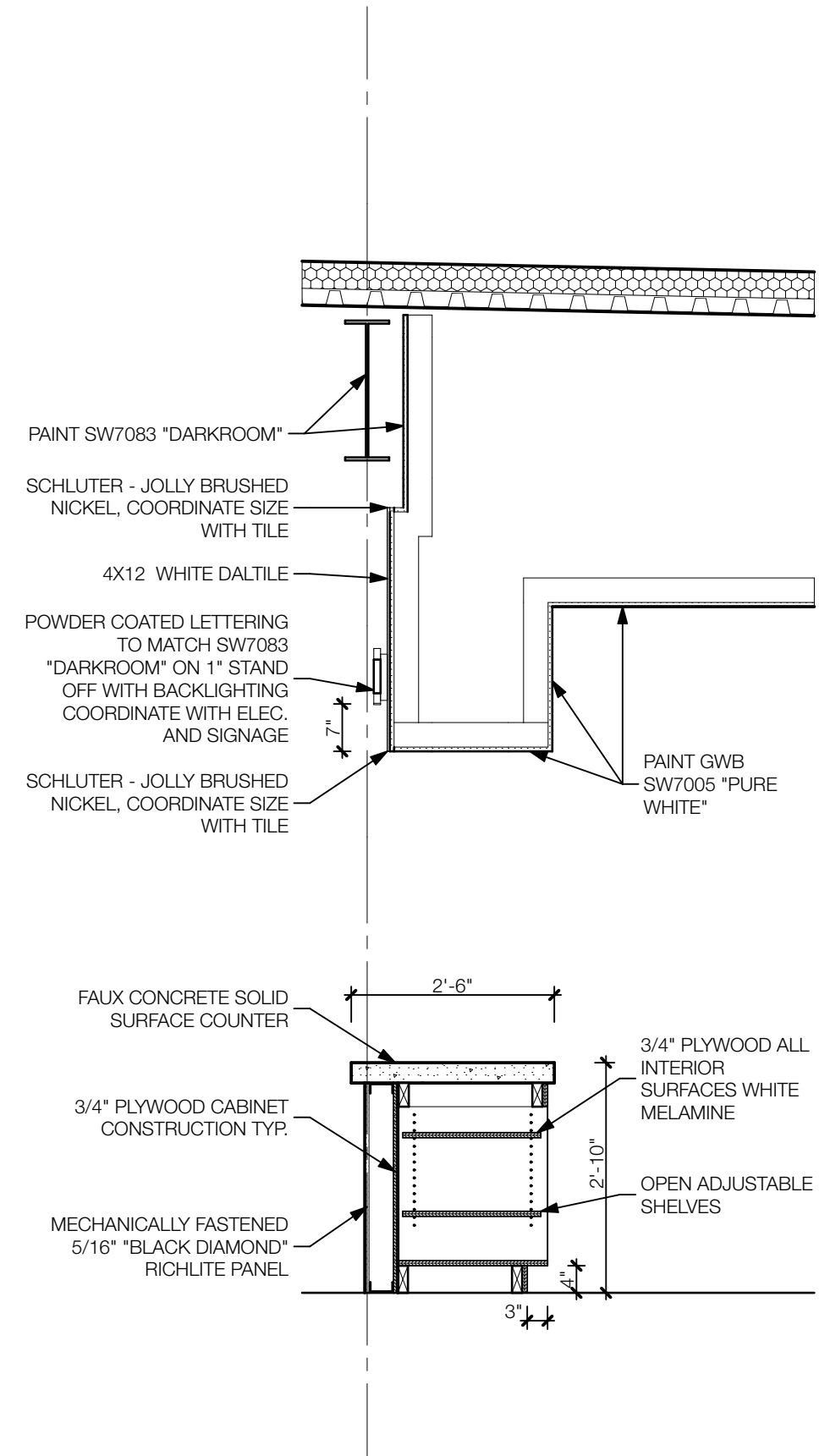
copyright: 2017 mind's eye architecture, inc.



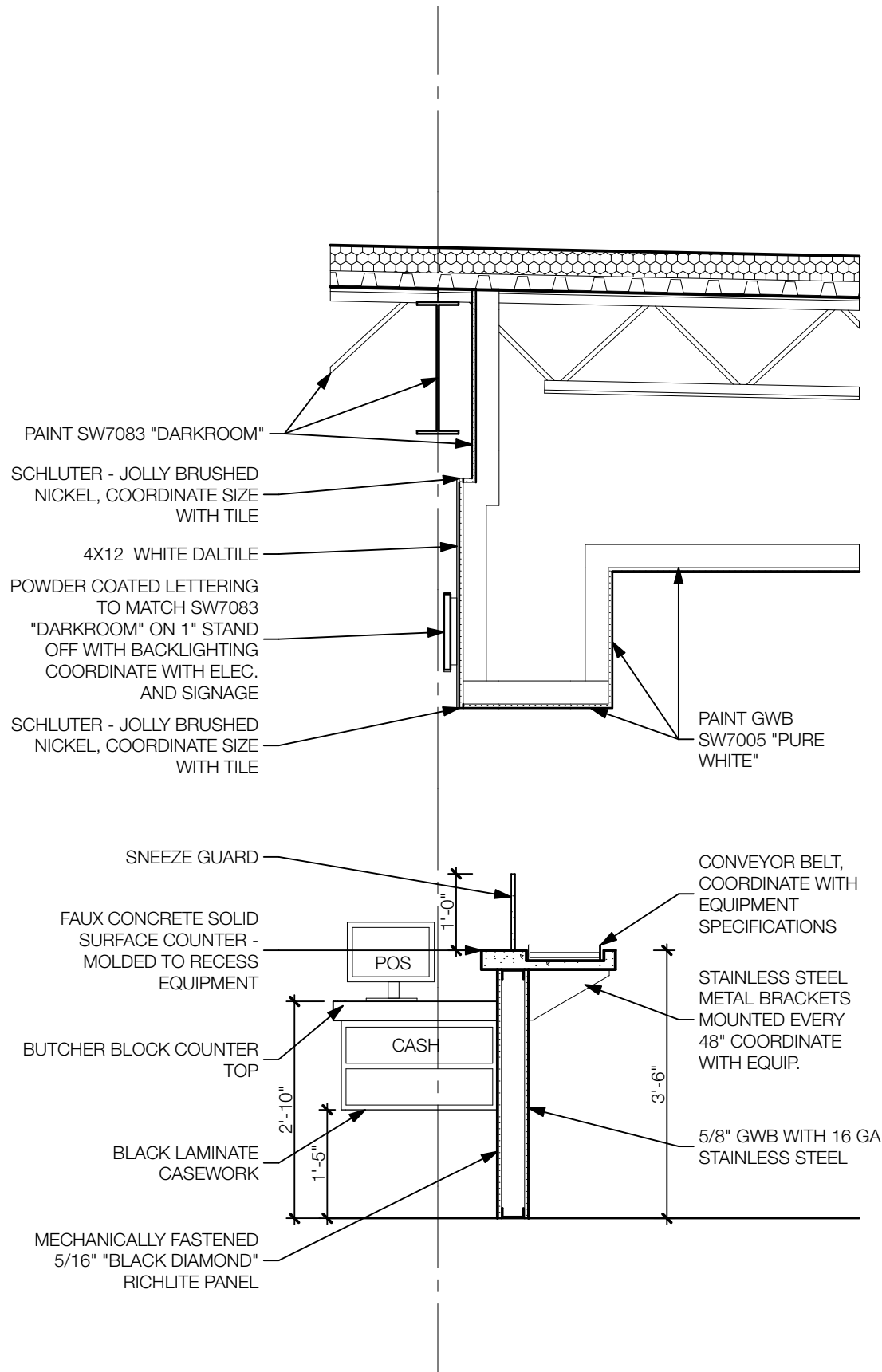
08 Office Interior Elevation 1/2" = 1'-0"



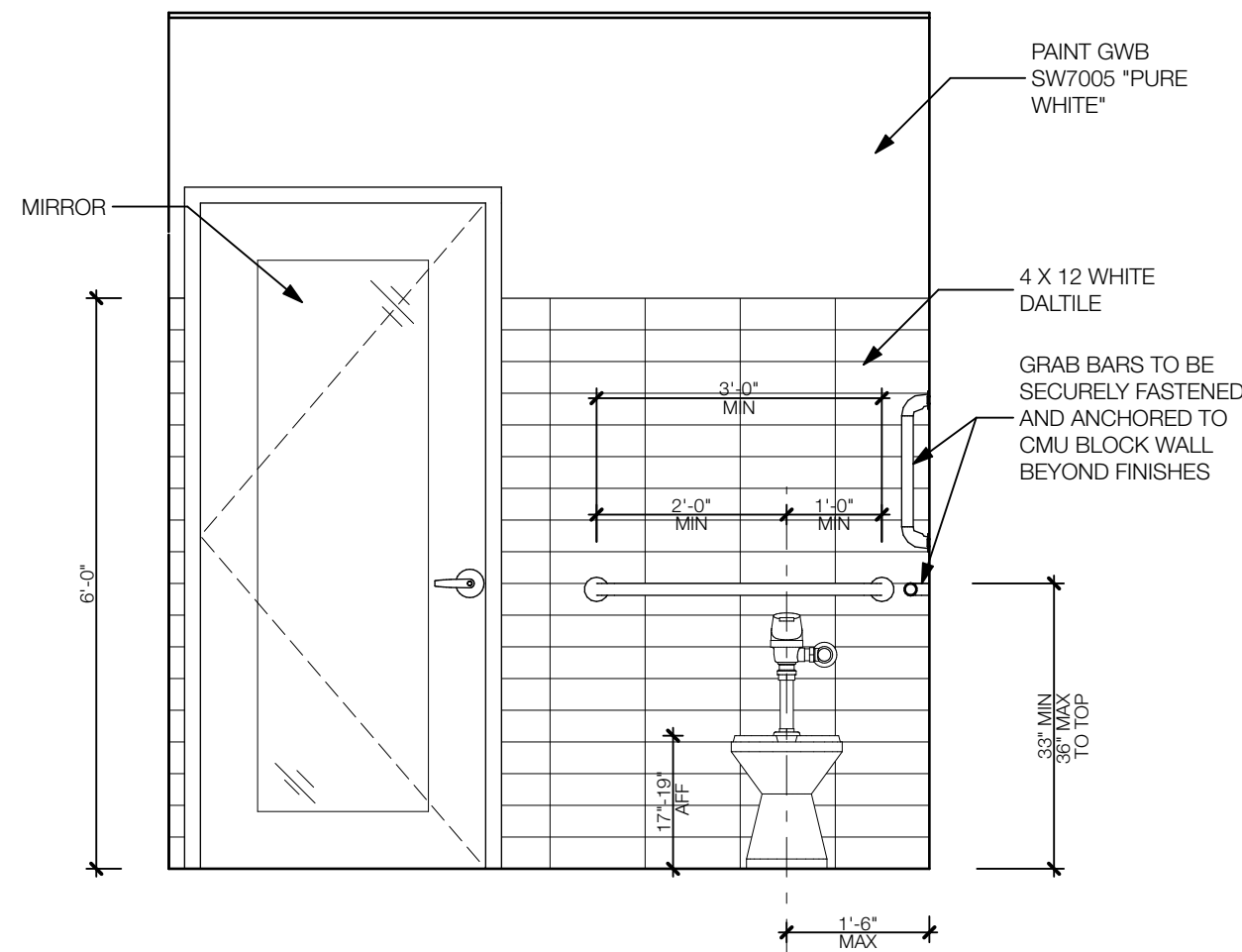
06 Section at Grill 1/2" = 1'-0"



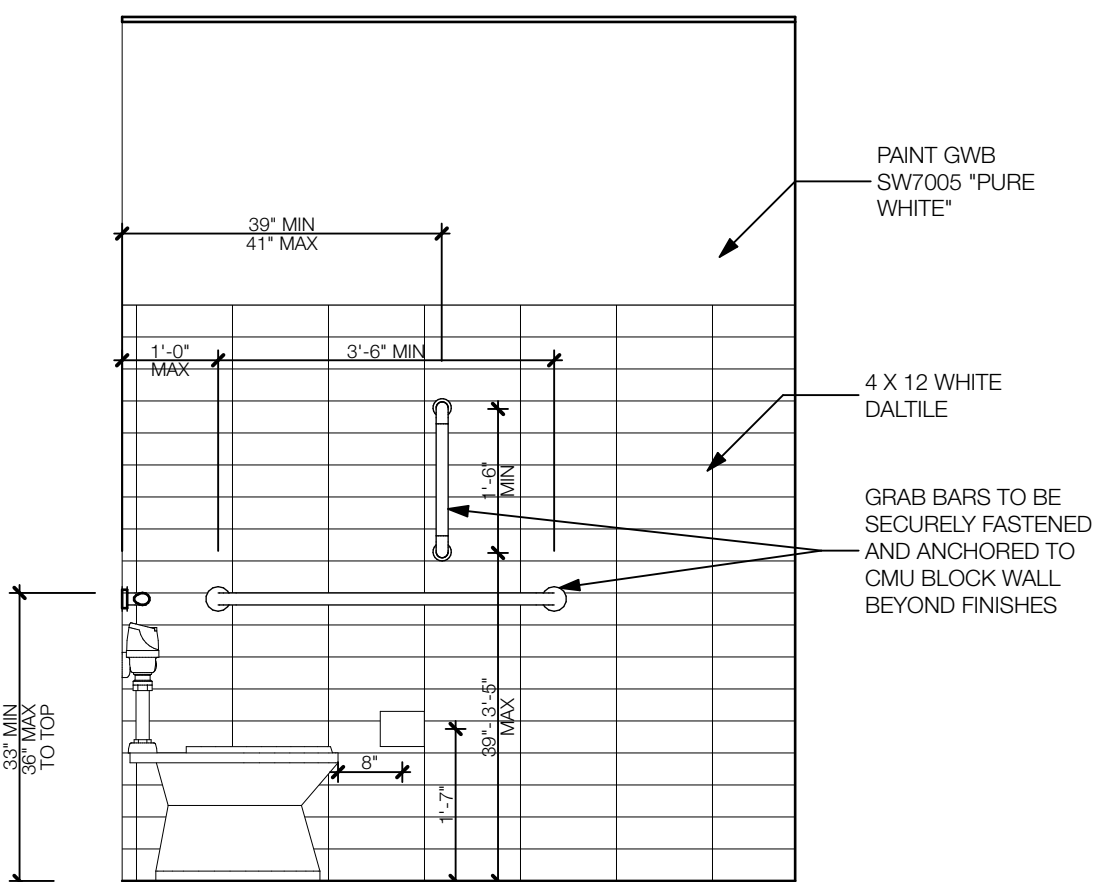
07 Section at Bakery 1/2" = 1'-0"



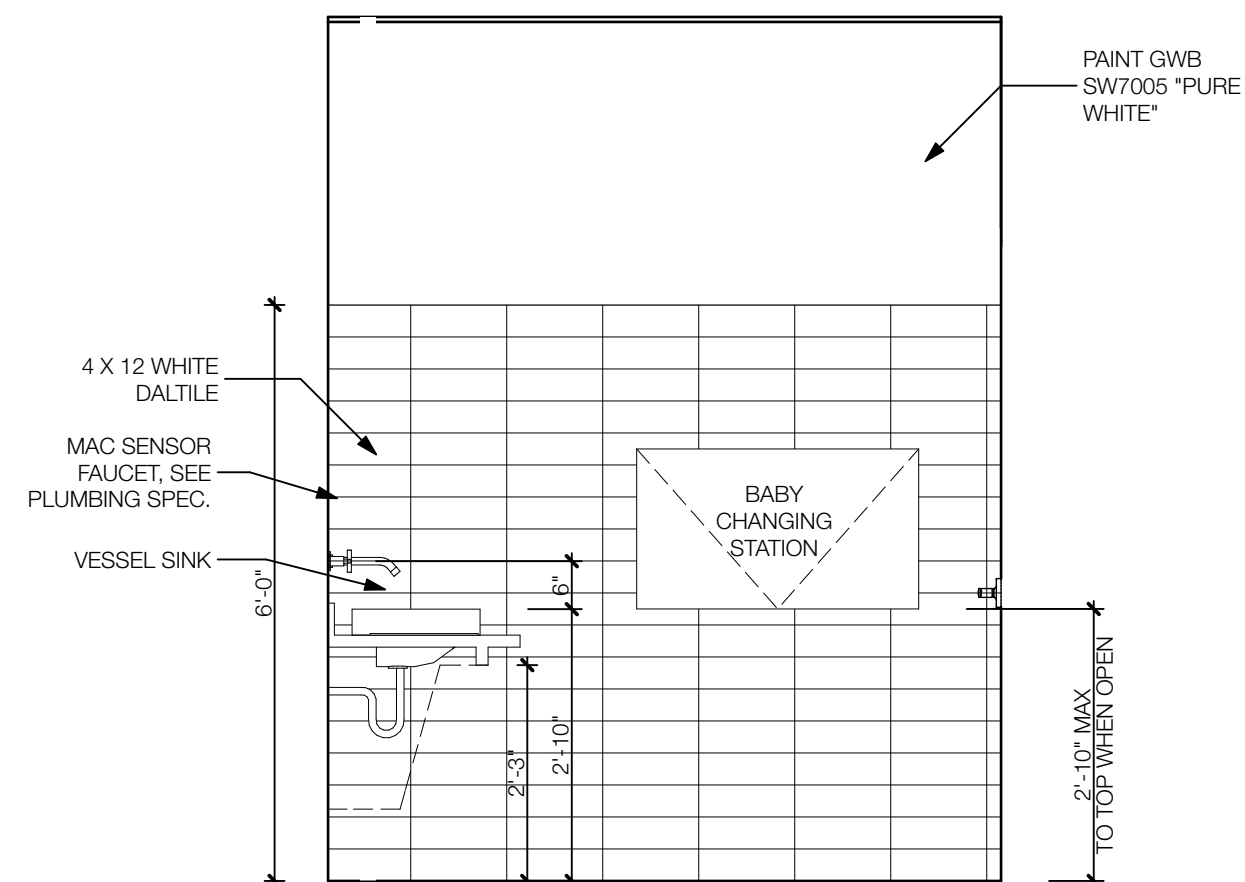
05 Section at POS 1/2" = 1'-0"



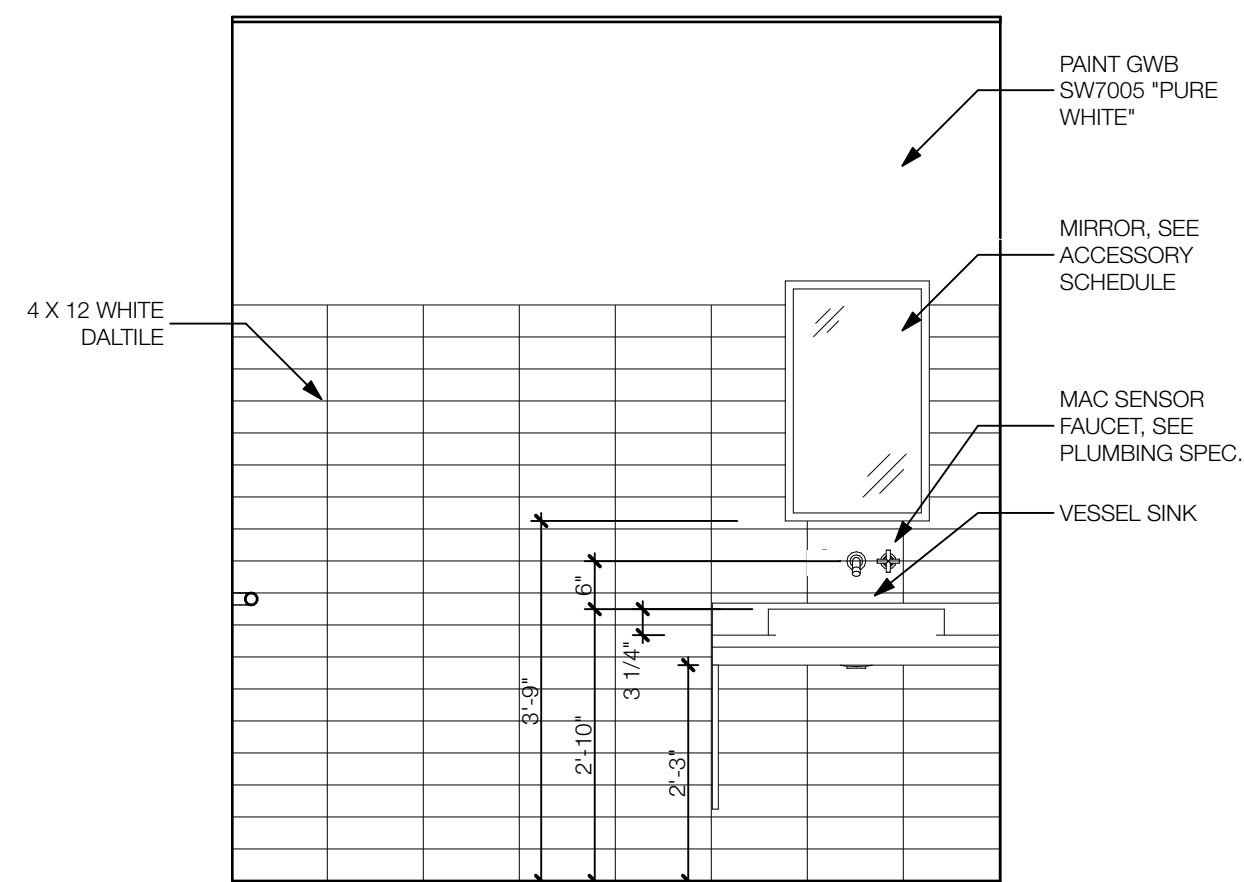
04 Men Interior Elevation 1/2" = 1'-0"



03 Men Interior Elevation 1/2" = 1'-0"



02 Men Interior Elevation 1/2" = 1'-0"

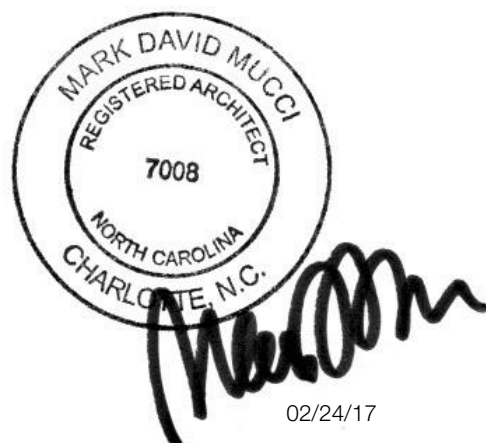


01 Men Interior Elevation 1/2" = 1'-0"



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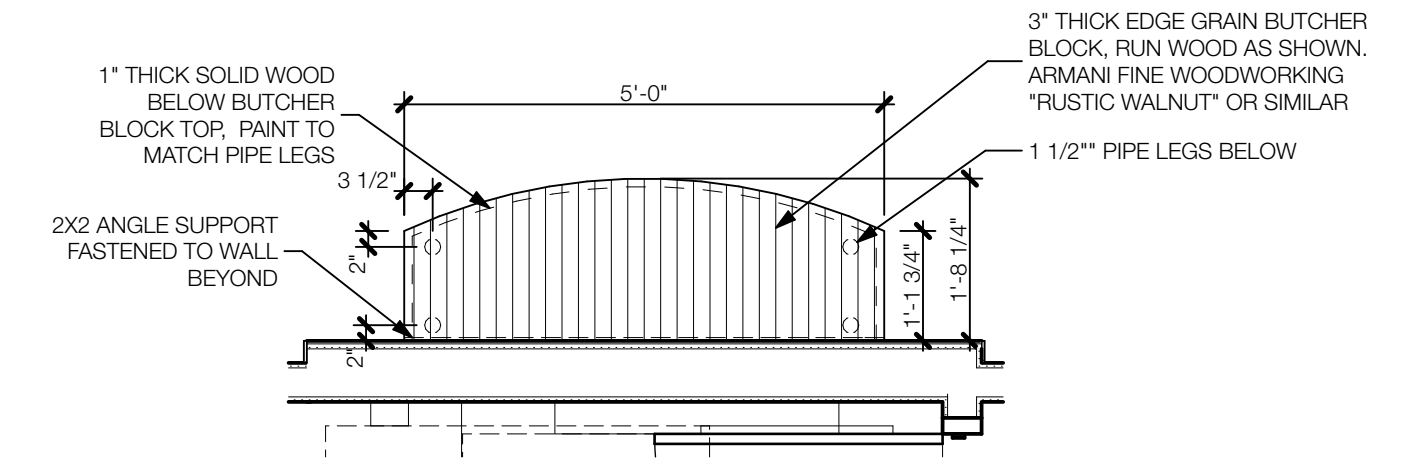
ISSUE DATE: 02.24.2017
PROJECT STATUS: FOR CONSTRUCTION
PROJECT NUMBER: 15-006
REVISIONS:

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MILLWORK DETAILS

A7.03

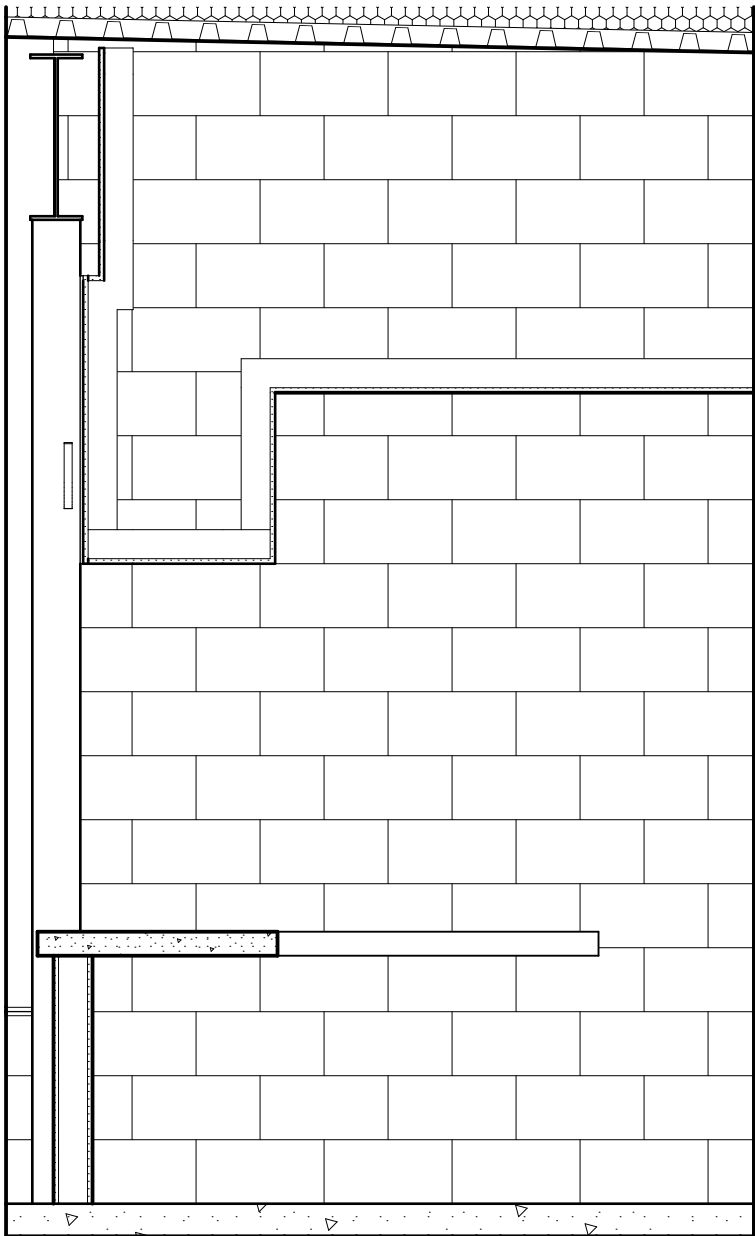
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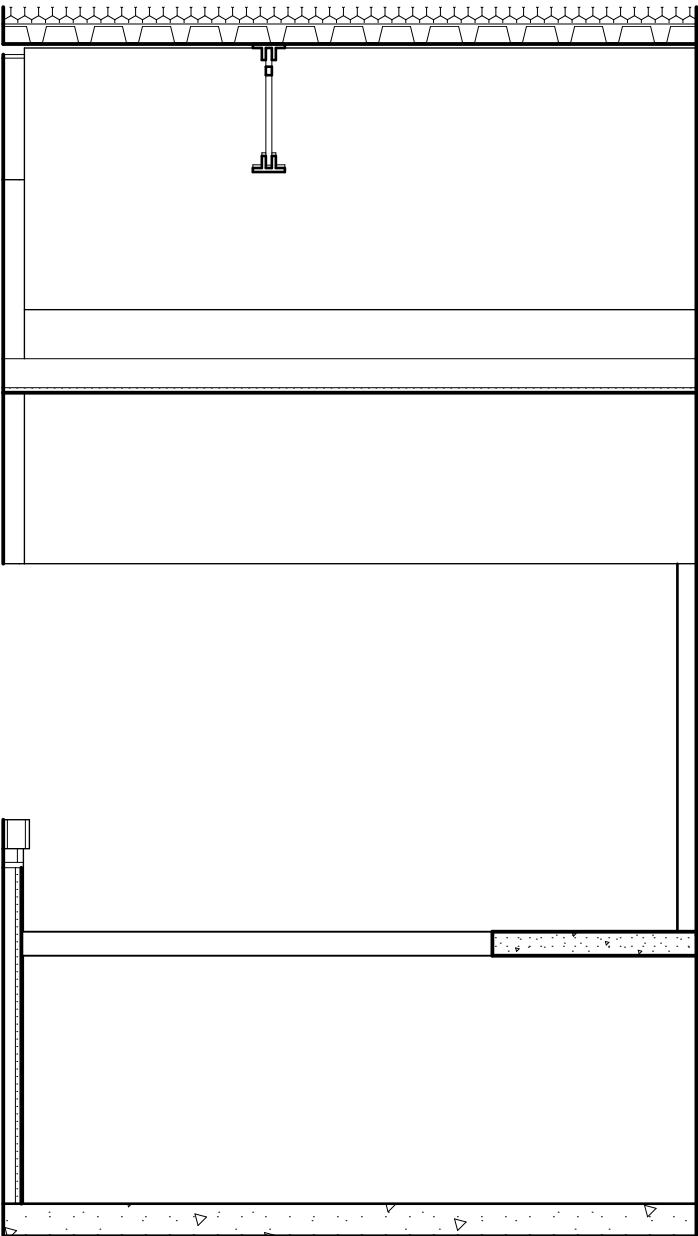
04 BEVERAGE STATION 1/2" = 1'-0"



01 Millwork Elevation at Distribution Counter 1" = 1'-0"



03 Kitchen Interior Elevation 1/2" = 1'-0"



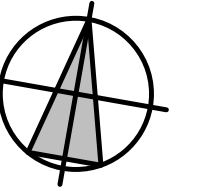
02 Millwork Elevation at POS 1/2" = 1'-0"



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02/24/17



COWBOY

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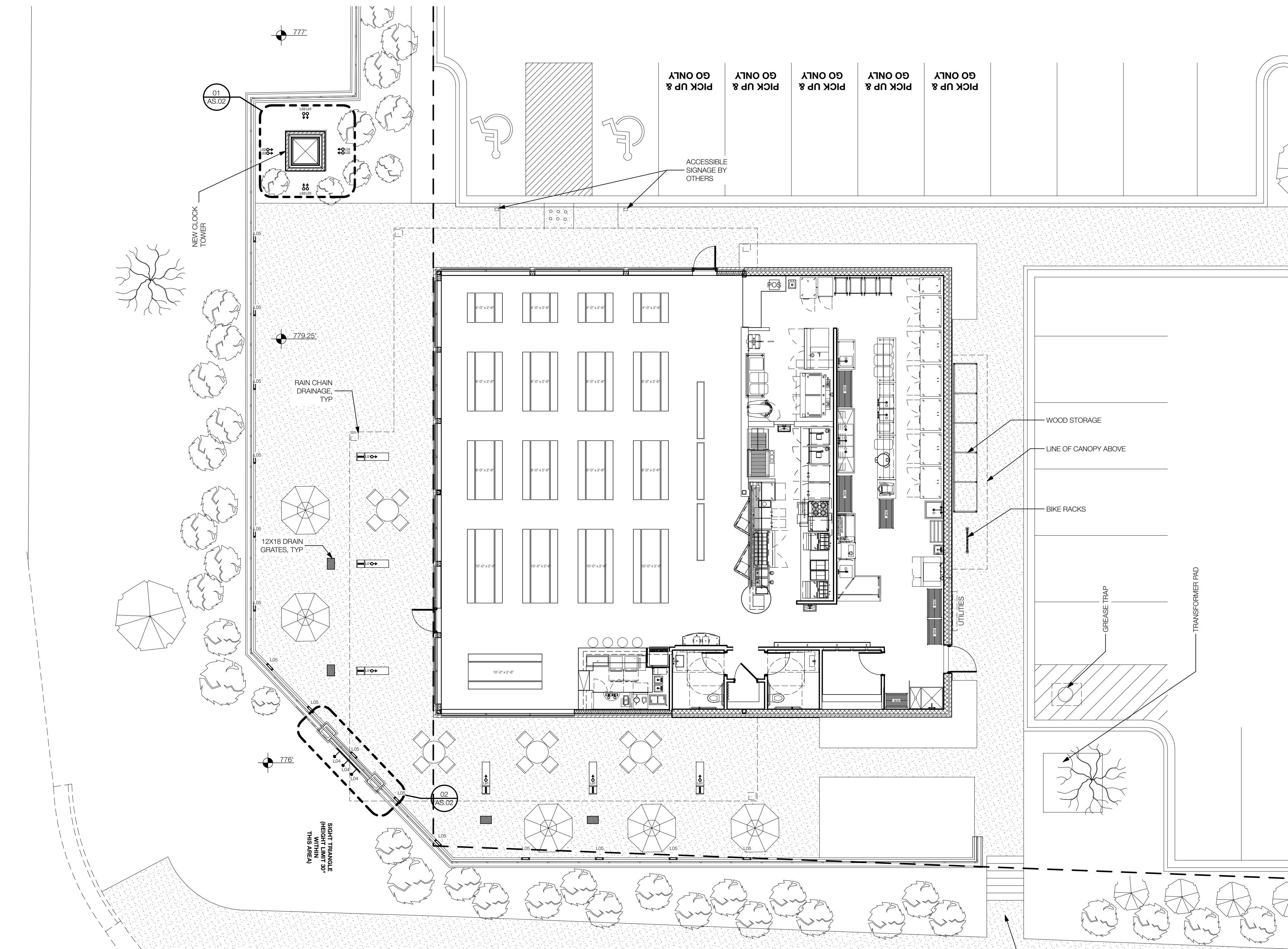
ISSUE DATE: 02.24.2017

PROJECT STATUS: FOR CONSTRUCTION

PROJECT NUMBER: 15-006

REVISIONS:

Rev #	Description	Issue Date
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REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: April 28, 2017

To: Architectural Review Board Members

From: Jason Pauling, AICP - Senior Planner

Action Requested:

A request from Mama's Pizza to construct a new building, which will eventually replace their current restaurant located at 19741 S. Main Street. The new building will be approximately 5,250 square feet, and will include 3,250 square feet for the new Mama's Pizza Restaurant, and 2,000 square feet of additional commercial space to be leased to another tenant. The new building is proposed to have frontage on Hickory Street and Tryon Street in lieu of South Main Street, which is a variation from the code and requires Board approval. The new building is designed to have a building front façade appearance on all three streets.

Manager's Recommendation:

Review and Provide Direction

ATTACHMENTS:

Name:	Description:	Type:
 2017-01-12_Rezoning_Letter.pdf	Rezoning Description Letter	Backup Material
 MAMA_S_Zoning.jpg	Zoning Map	Backup Material
 MAMA_S_LU.jpg	Land Use Map	Backup Material
 MAMA_S_Vicinity.jpg	Vicinity Map	Backup Material
 MAMA_S_Property.jpg	Property Map	Backup Material
 IMG_9706.JPG	Photo1: Tryon-Hickory	Backup Material
 IMG_9708.JPG	Photo 2: Tryon	Backup Material
 IMG_9709.JPG	Photo 3: Hickory	Backup Material
 IMG_9710.JPG	Photo 4: South Main Front	Backup Material
 Mama_s_Pizza_REZONING_Civil_Package.pdf	Rezoning Civil Plan Package	Backup Material
 2016-12-15_Mamas_Pizza_Rendering.pdf	Color Site Plan	Backup Material
 MAMAS_PIZZA_SHEETS_3.22.17-A.pdf	Elevations	Backup Material



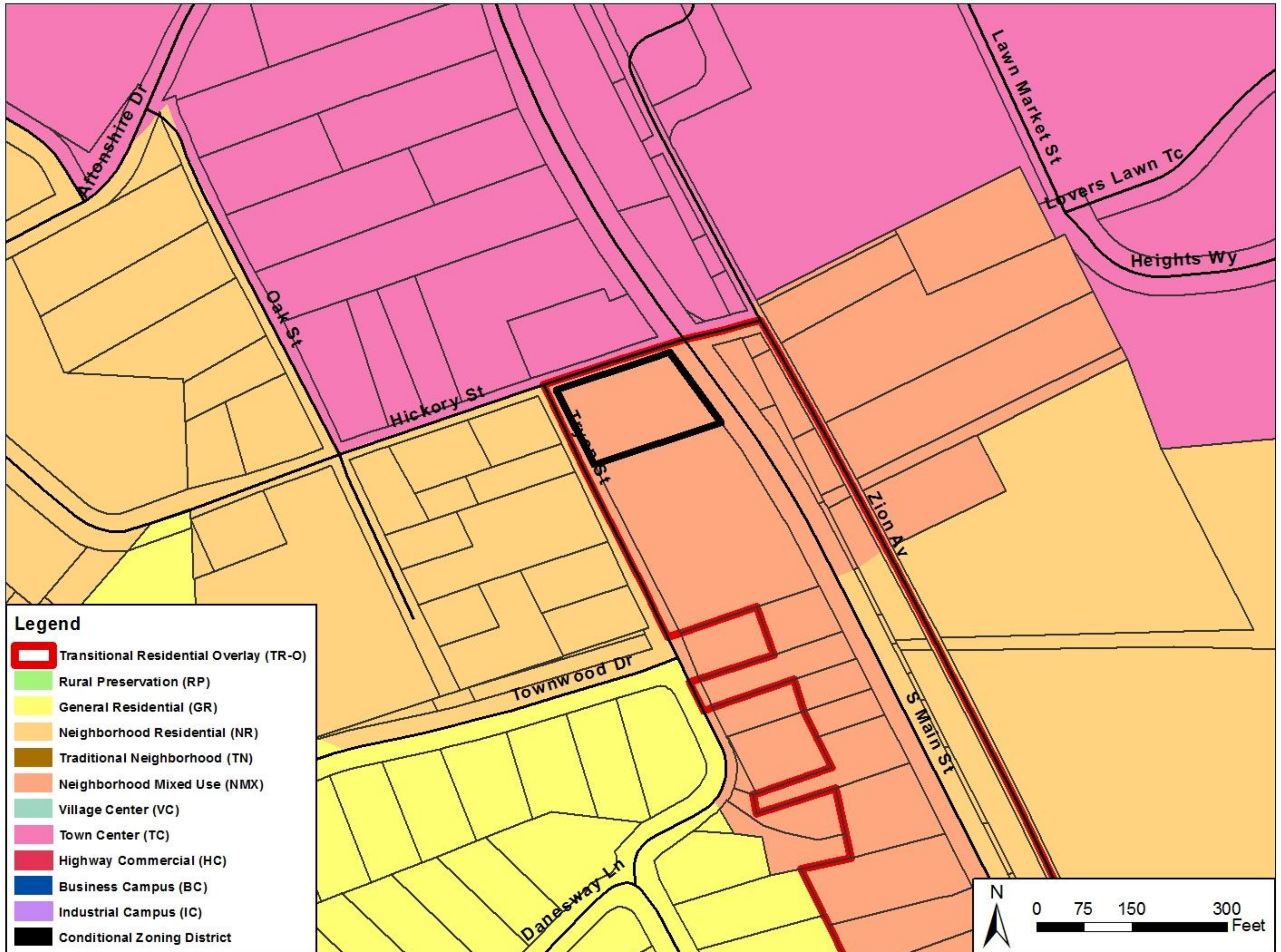
Written Summary,
January 01, 2017

This project proposes a 3,250 sf multi-use building for Mama's pizza with an outdoor dining space and an additional 2,000 sf commercial building space with sidewalks to access the building off of Tryon Street and Hickory Street. Site plan proposes new parking area with multiple access points from existing sidewalks onto the new site and required landscaping.

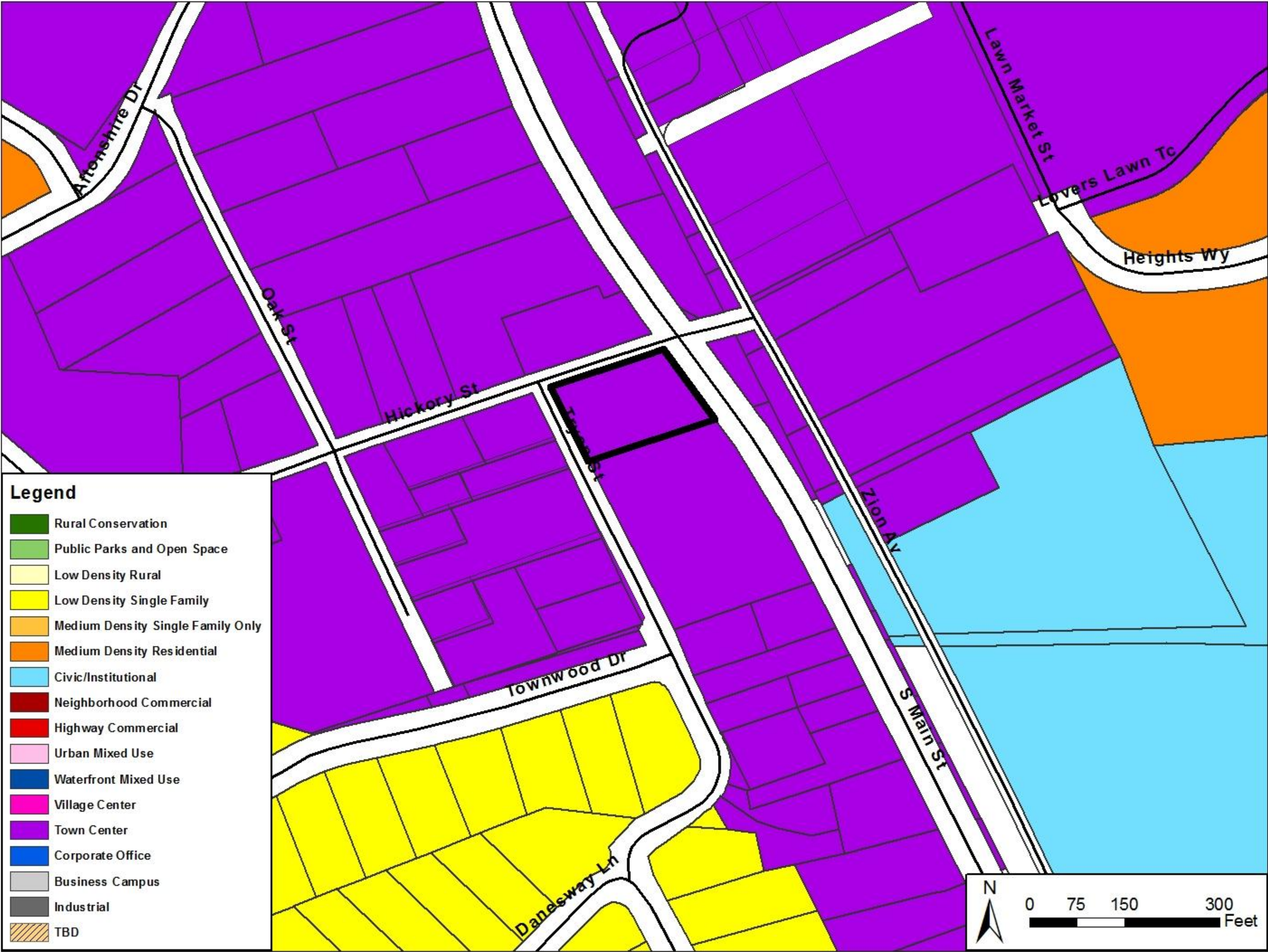
Sincerely,

Jay Henson, ASLA
HensonFoley

MAMA'S PIZZA



MAMA'S PIZZA



MAMA'S PIZZA



MAMA'S PIZZA











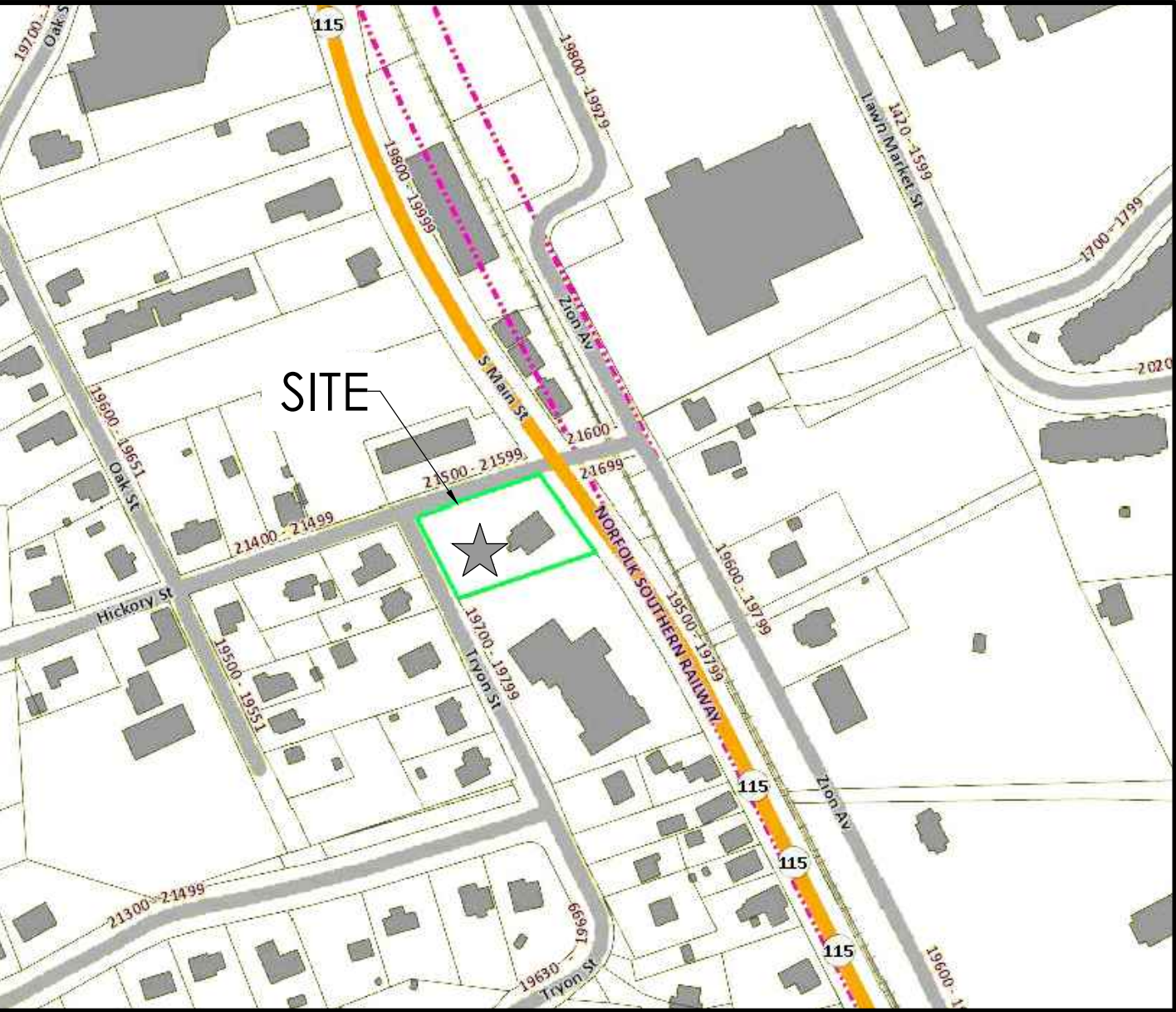
Since 1978
N. Main St.
Manna's
Pizza Express
Dine In or Delivery
(704) **892-3305**

CONTENTS:	
C1	COVER SHEET
C2	SURVEY & EX CONDITIONS
C3	SITE PLAN

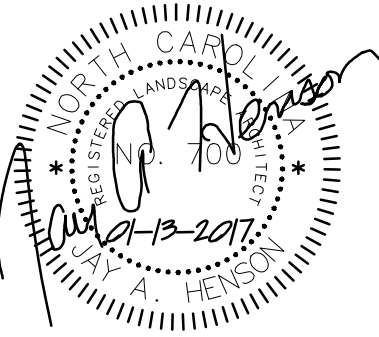
CIVIL SITE PLAN PACKAGE
PROPOSED

MAMA'S PIZZA
CORNELIUS, NC

OWNER:
FORE REALTY INCORPORATED
18817 COVESIDE LANE
CORNELIUS, NC 28031
PH: (561) 212-3063



VICINITY MAP
SCALE: N.T.S.

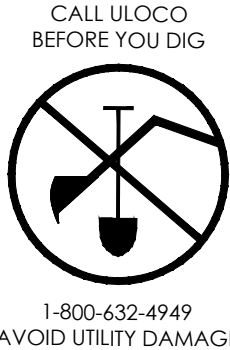


MAMA'S PIZZA
PID: 00515122
19741 S MAIN STREET, CORNELIUS, NC 28031

COVER SHEET

REVISIONS:	

C01 - COVER.DWG	
PROJECT NUMBER:	216082
DATE: 01/13/2017	DRAWN BY: JAH
SHEET	C 1 OF 03



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMMENDED.

WITNESS MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____

PROFESSIONAL LAND SURVEYOR

SET CONCRETE NAIL
INTERSECTION
HICKORY & TRYON

0.887 ACRES
TOTAL

TRYON STREET

TED R. HARVIEL
DB 2906-220
PIN 007-512-28

[illegible]

0.00

S 71°01'28"W 110.91'

1. DEEDS AND MAPS AS SHOWN
2. MB. 28-638
3. MB. 48-107



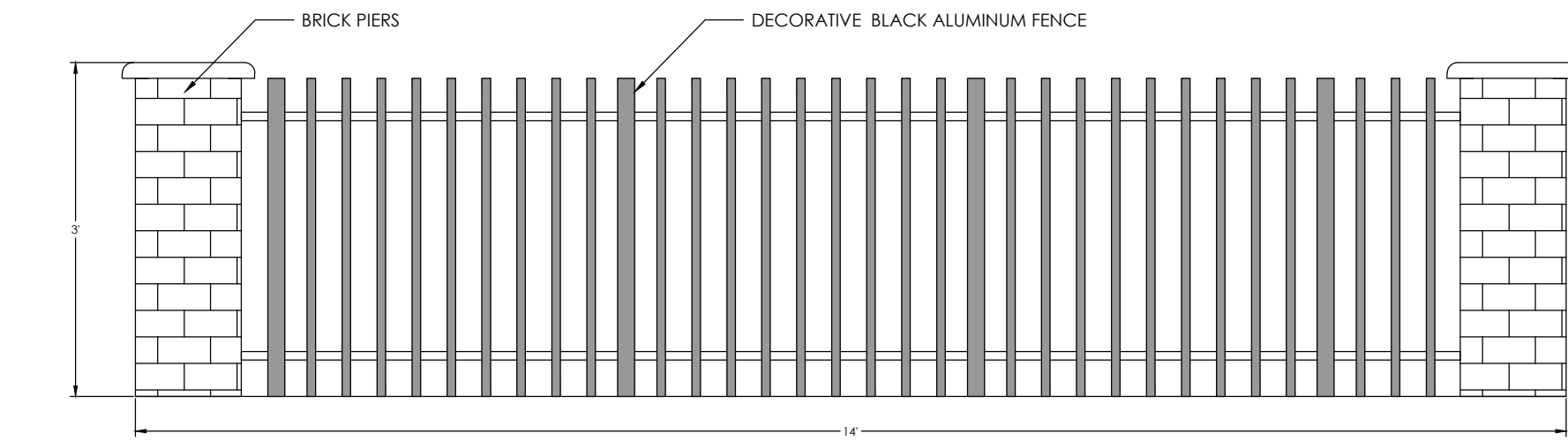
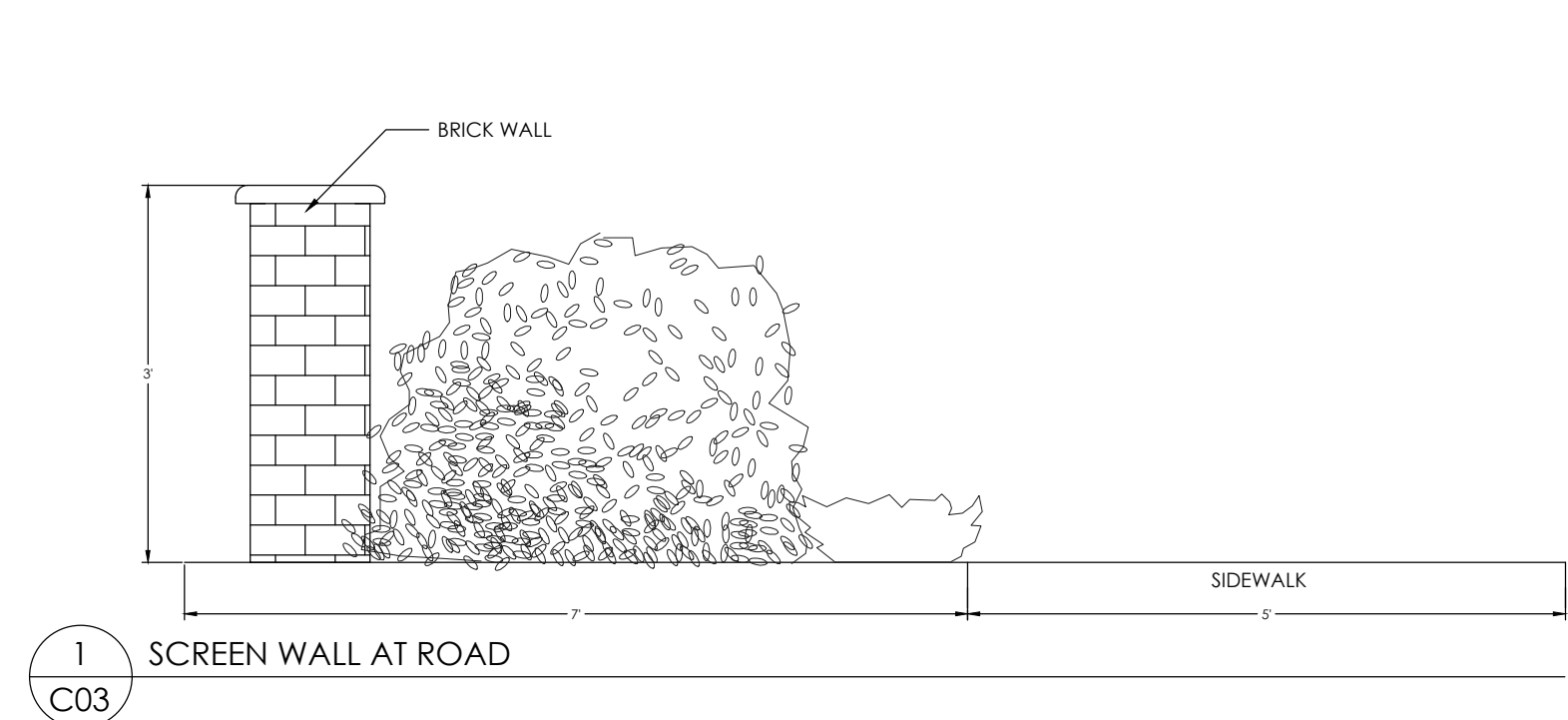
NOTES:

NCGS "CORNELIUS"
N-633,756.068'
E-1,447,793.243'
ELEV.-836.20' (N)

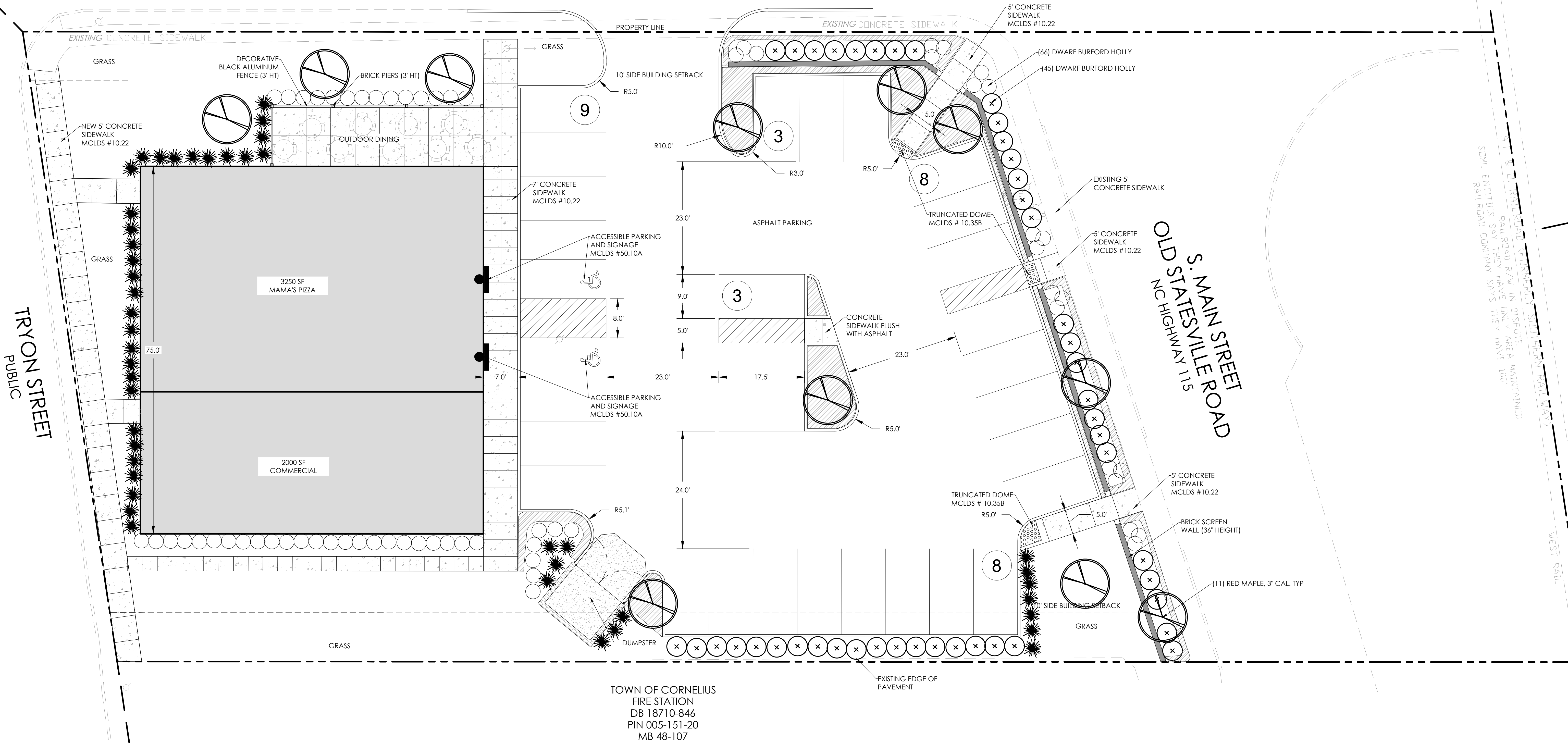
PROPERTY OF
FORE REALTY, INC.

FILE NAME: FORE-REALTY-OLD-LASPATAS

60



2
C03



SITE PLAN NOTES

1. THE INTENT OF THIS PROJECT IS TO CONSTRUCT THE NEW BUILDING WHILE EXISTING BUILDING AND BUSINESS REMAIN INTACT. UPON COMPLETION OF BUILDING THE EXISTING BUILDING AND PARKING WILL BE DEMOLISHED AND CONSTRUCTED PER PLAN. THE BUSINESS WILL NOT OPEN UNTIL ALL CO'S ARE ISSUED AND ALL WORK IS COMPLETE.
2. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL THE PROPOSED DEVELOPMENT IS IN COMPLIANCE WITH THE APPROVED PLAN IN ACCORDANCE WITH SECTION 9.9.3 OF THE TOWN OF CORNELIUS.
3. SITE LIGHTING WILL BE SUBMITTED AND APPROVED AT TIME OF SITE PLAN REVIEW.
4. SIGN PERMITS WILL BE PER SEPARATE SUBMITTAL.
5. ARCHITECTURAL FOOTPRINT IS FOR INFORMATIONAL PURPOSES ONLY. REFER TO ARCHITECTS PLANS FOR FINAL LAYOUT AND DIMENSIONS.
6. THE PRIMARY USE FOR THE SITE IS A RESTAURANT, THE 2000 SF OF ADDITIONAL SPACE MAY BE USED AS A BANQUET FACILITY, COMPLIMENTARY USE, OR OTHER BUSINESS USE APPROPRIATE FOR THE LOCATION. EXCLUDED USES ARE MASSAGE/TATTOO FACILITIES.

POST CONSTRUCTION/DETENTION

1. THIS PROJECT IS LESS THAN 1 ACRE (DISTURBED AND PARCEL SIZE) AND IS EXEMPT FROM POST CONSTRUCTION/ WATER QUALITY.
2. STORMWATER DETENTION IS NOT REQUIRED SINCE THE BUA INCREASE IS LESS THAN 20,000 SF FROM EFFECTIVE DATE.

ZONING CODE SUMMARY

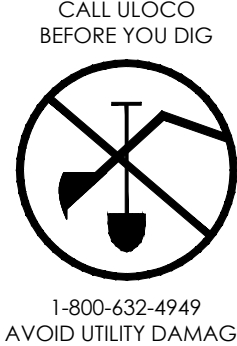
ITEM #	ITEM	PROVIDED
1	BUILDING SIZE	BUILDING TOTAL = 5,250 SF RESTAURANT = 3,250 SF COMMERCIAL = 2,000 SF
2	PARKING SPACES REQUIRED	RESTAURANT @ 1 PER 3 SEATS = 24 SPACES COMMERCIAL @ 1 PER 300 SF = 7 SPACES TOTAL = 31 SPACES
3	PARKING SPACES PROVIDED	31 SPACES
5	MIN. DRIVE AISLE WIDTH	AS NOTED
6	MIN. DRIVEWAY RADIUS	AS NOTED
7	HANDICAP SPACES	2 SPACES (1 VAN)
8	BUILDING HEIGHTS	1 STORY (26 FT MAX.)

IMPERVIOUS SUMMARY

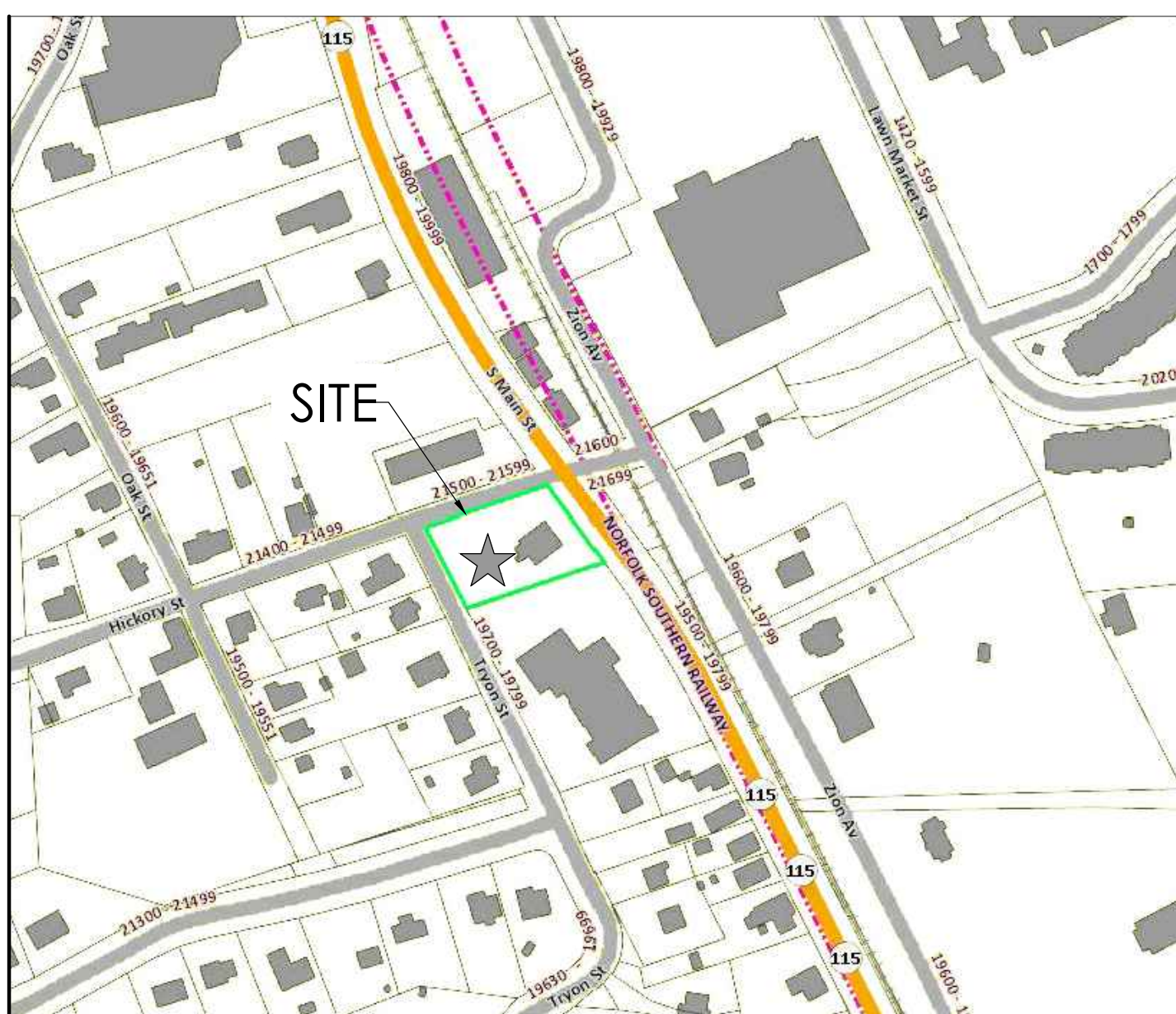
ITEM	SQUARE FOOT	ACRES	PERCENTAGE OF TOTAL SITE AREA
TOTAL SITE AREA	38,332.80 SF	0.88 AC	N/A
EXISTING IMPERVIOUS AREA	14,722 SF	0.33 AC	37.50 %
PROPOSED IMPERVIOUS AREA (on/off site)	19,127 SF	0.32AC	49.90 %
TOTAL IMPERVIOUS AREA	19,127 SF	0.32AC	49.90 %
TOTAL DISTURBED AREA	38,332.80 SF	0.88 AC	100 %

SITE DATA

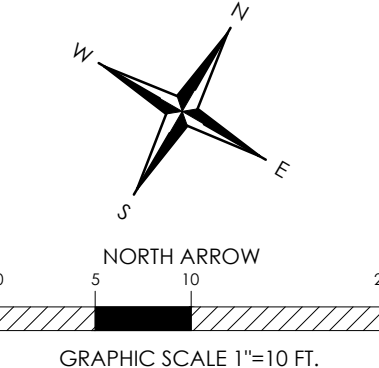
LOCATION:	19741 S. MAIN STREET (PID # 00515122) CORNELIUS, MECKLENBURG COUNTY, NC 28031
ZONE:	EXISTING: NMX PROPOSED: TC-CD
USE:	62% RESTAURANT, 38% COMMERCIAL
CONTACT:	HENSONFOLEY 704-875-1615
WATERSHED:	ROCKY RIVER
LOT AREA:	0.88 AC
MIN. FRONT BUILD TO LINE:	0
MIN. SIDE SETBACK:	10'
MIN. REAR SETBACK:	25'
MAX. BUILDING HEIGHT:	26'
FEMA MAP NUMBER:	3710464300K
FEMA EFFECTIVE DATE:	09/02/2015
SOIL TYPE:	Cu8



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



VICINITY MAP
SCALE: N.T.S.



MAMA'S PIZZA
PID: 00515122
19741 S MAIN STREET, CORNELIUS, NC 28031
SITE PLAN

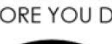
REVISIONS:



POST CONSTRUCTION/DETENTION

1. THIS PROJECT IS LESS THAN 1 ACRE (DISTURBED AND PARCEL SIZE) AND IS EXEMPT FROM POST CONSTRUCTION/ WATER QUALITY
2. STORMWATER DETENTION IS NOT REQUIRED SINCE THE BUA INCREASE IS LESS THAN 20,000 SF FROM EFFECTIVE DATE

CALL ULOCO
BEFORE YOU DIG



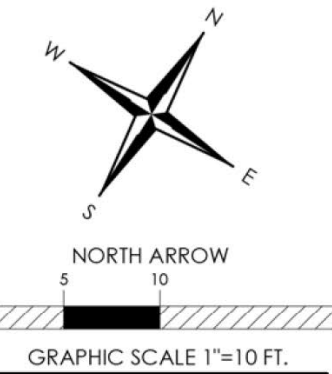
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4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBP. OR, AS AMENDED.

1-800-632-4949
AVOID UTILITY DAMAGE



SITE PLAN

[illegible]

C03 - SITE PLAN.DWG

PROJECT NUMBER: 216082

DATE: 01/12/2017 DRAWN BY: JA

SHEET OF

36"x24" PLOT SHEET

D

C

B

A



VIEW FROM HICKORY STREET - ENTRY



AERIAL



VIEW FROM FIRE STATION PARKING LOT



VIEW FROM TRYON STREET - TOWARD HICKORY

PERSPECTIVES

MAMA'S PIZZA
**
19741 S Main St
Cornelius, NC

PROJECT NO.: P170582

1	DATE	DESCRIPTION
REVISIONS:		
DRAWN BY:		
APPROVED BY:		
ISSUED FOR: DESIGN REVIEW		
DATE: 03.22.17		
DRAWING NAME:		

3D VIEWS

DRAWING NO.:

A-100