



**Town of Cornelius
Architectural Review Board**

**Agenda
January 27, 2017
12:00 PM
Cornelius Town Hall - Room 204**

- 1. Call To Order**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
- 4. Review And Recommendation On Agenda Items**
 - A.** REZ 10-16: DB Holdings (Auto Sales Dealership))
 - B.** Courtyard's at Lake Norman Clubhouse
 - C.** Pike's Nursery
 - D.** MAV 01-17: Lake Norman Hardware
- 5. Old Business**
- 6. New Business**
 - A.** Arts District Joint Meeting - January 30th @ 6:30pm
 - B.** Proposed Lighting Ordinance and Guide
- 7. Next Meeting**
- 8. Adjournment**

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: January 27, 2017

To: Architectural Review Board Members
From: Jason T. Pauling, AICP - Senior Planner

Action Requested:

A request from DB Automotive Real Estate Holdings, LLC to develop an automotive sales, service and storage use at 18837 Statesville Road. The proposed project consists of removing two existing buildings and constructing a new 22,850 square foot building to initially be used for auto service only, which will then eventually be expanded to 26,800 square feet and include auto sales. The existing site is approximately 5.6 acres, and is zoned Highway Commercial (HC), and is also within the Automobile Sales Overlay District (AS-O).

Manager's Recommendation:

Review and provide direction

ATTACHMENTS:

Name:	Description:	Type:
 DB Holdings_CZ_application.pdf	Application	Backup Material
 DB Holdings_project_description_letter.pdf	Project Description	Backup Material
 DB Holdings_ZONING.jpg	Zoning Map	Backup Material
 DB Holdings_LU.jpg	Land Use Map	Backup Material
 DB Holdings_VICINITY.jpg	Vicinity Map	Backup Material
 DB Holdings_PROPERTY.jpg	Property Map	Backup Material
 POLARIS_IMAGE.pdf	Polaris Aerial Photo	Backup Material
 Street_View.JPG	Street View 1	Backup Material
 Street_View_2.JPG	Street View 2	Backup Material
 Revised_Site_Plan.pdf	Revised Site Plan	Backup Material
 1-12-2017_REVIEW_BOARD_PRES.pdf	Revised Illustrative Site Plan & Elevations	Backup Material
 Phase_I_First_Floor_Plan.pdf	Phase 1 - First Floor Plan	Backup Material
 Phase_I_Mezzanine_Floor_Plan.pdf	Phase 1 - Mezzanine Plan	Backup Material
 Phase_II_First_Floor_Plan.pdf	Phase 2 - First Floor Plan	Backup Material
 Phase_II_Mezzanine_Floor_Plan.pdf	Phase 2 - Mezzanine Plan	Backup Material



TOWN OF CORNELIUS

Planning Department

PO Box 399 | Cornelius, NC 28031 | Phone: 704-896-2461 | Fax: 704-896-2462

Staff Only:

Date Rec'd: 10/28

Rec'd by: JP

Case #: REZ 10-16

LAND DEVELOPMENT APPLICATION FORM

1. Application Type

- | | ✓ | Fee | | ✓ | Fee |
|---------------------------------|--------------------------|-------|---------------------------------|--------------------------|-------|
| • Sketch Plan/Plat (Major Sub): | <input type="checkbox"/> | _____ | • Conditional Zoning (CZ) | <input type="checkbox"/> | _____ |
| • Preliminary Plat (Major Sub): | <input type="checkbox"/> | _____ | • Special Use Permit (SUP) | <input type="checkbox"/> | _____ |
| • Final Plat (Major Sub): | <input type="checkbox"/> | _____ | • Major Architectural Variation | <input type="checkbox"/> | _____ |
| • Construction Documents: | <input type="checkbox"/> | _____ | • Minor Architectural Variation | <input type="checkbox"/> | _____ |
| • General Rezoning | <input type="checkbox"/> | _____ | • Other: | <input type="checkbox"/> | _____ |

Fee Total: _____

2. Project Information

Date of Application: 11-4-2016 Name of Project: DB HOLDINGS
 Location: 18837 STATESVILLE RD. Property Size (acres): 5.62 # of Units/Lots: _____
 Current Zoning: AG-0 Proposed Zoning: CZ (AG-0)
 Current Land Use: AUTOMOTIVE SERVICE, STORAGE, COMMERCIAL Proposed Land Use: AUTO. SALES, SERVICE, STORAGE
 Tax Parcel Number(s): 00541209

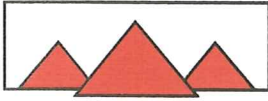
3. Contact Information

DB AUTOMOTIVE REAL ESTATE HOLDINGS LLC
 Owner, Applicant, or Developer
20700 TORRENCE CHAPEL RD
 Address
CORNELIUS, NC 28031
 City, State Zip
704-896-3800
 Telephone
JACK SALZMAN
 Signature Print Name Date
 Email: J.SALZMAN@CLAKENORMANCHRYSLER.COM

ADAM STACE ASSOCIATES ARCHITECTURE
 Agent(s) (Engineer, Architect, Etc.)
126 N. MAIN ST
 Address
MOORESVILLE, NC 28115
 City, State Zip
704-664-1311
 Telephone
LARRY SCHAEFFER 11-4-2016
 Signature Print Name Date
 Email: LARRYSC@ADAMSTACEASSOCIATESARCH.COM

4. The following items shall be considered as part of a complete application, please check this list to ensure all items are included:

- | | |
|---|--|
| <input type="checkbox"/> Signed "Original" application | <input type="checkbox"/> Illustrative (color) site/sketch plan for presentation purposes with same layers as described above |
| <input type="checkbox"/> Project Fee(s) – See Fee Schedule | <input type="checkbox"/> Official hard copy of architectural elevations (at least one copy), which may include multiple pages. Must be drawn to scale by a registered architect, and include all primary and accessory buildings (including all building sides), and any other architectural elements/features of the site such as gazebos, trellis's, garden walls, retaining walls, or other items over 4-feet in height (NOT APPLICABLE FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS). |
| <input type="checkbox"/> Written Summary/Description of Request can be on company letterhead. Shall include requested use or uses, sq. feet of non-residential space, or density and number of units/lots for residential, or any other applicable information. For CZ's, must also describe any variations proposed from the Land Development Code | <input type="checkbox"/> Illustrative (color) elevations for presentation purposes for all items described above, as well as perspective (3D) renderings and photograph examples |
| <input type="checkbox"/> Property Survey (at least one copy), including existing buildings, topography, wetlands, streams, vegetation (trees over 18" in diameter), and other natural features. | <input type="checkbox"/> Digital Files of all items listed above |
| <input type="checkbox"/> Site/sketch plan (at least one copy), may contain multiple pages and must be drawn to scale by an engineer or landscape architect. Shall include locations of buildings and/or lots, streets, parking, proposed grading, landscaping/screening, open space, watershed/storm water information, associated storm water measures, and proposed utilities and lighting. Shall also include general information from adjoining lots | |



October 25, 2016

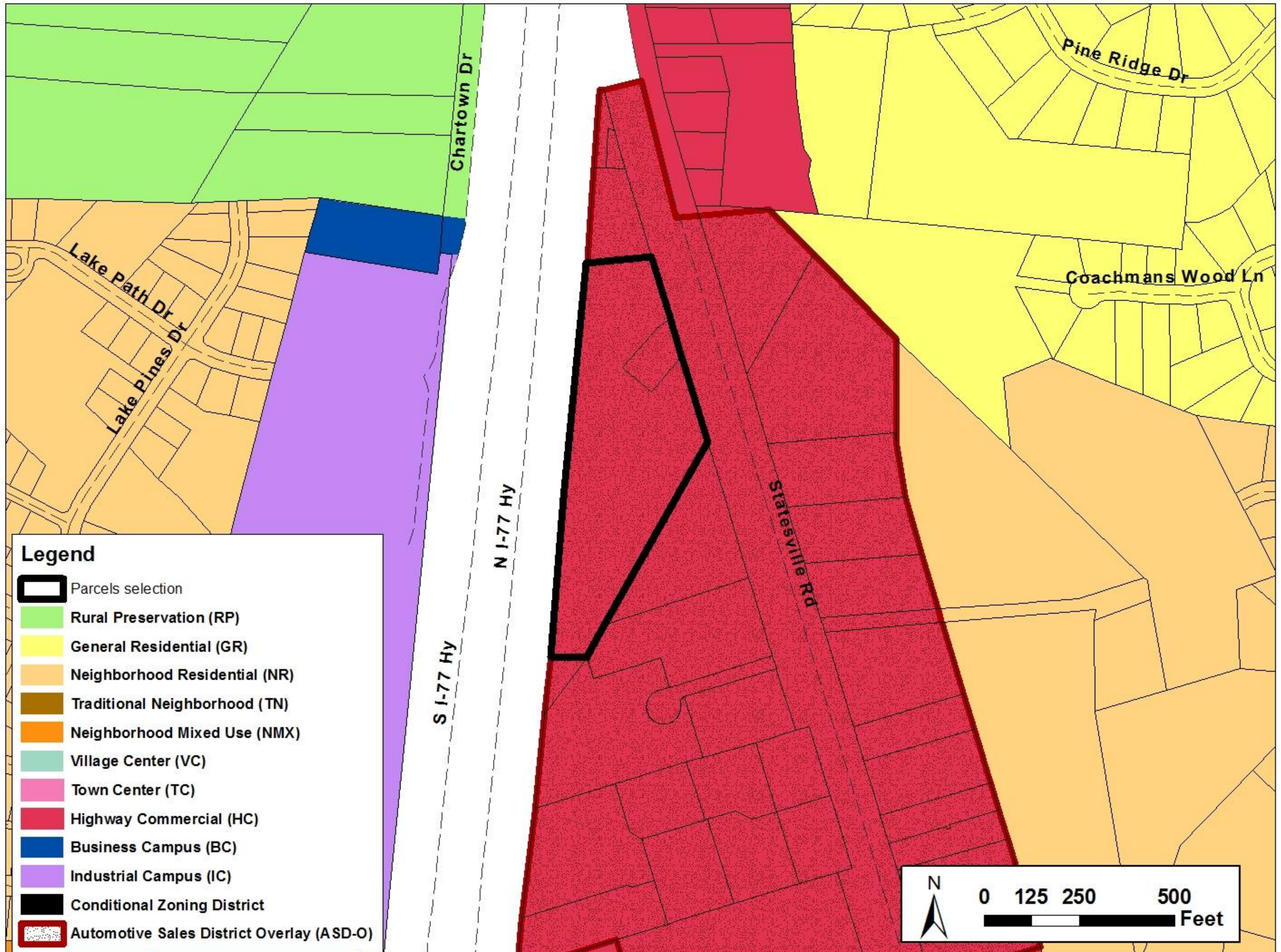
RE: DB Holdings

18837 Statesville Road

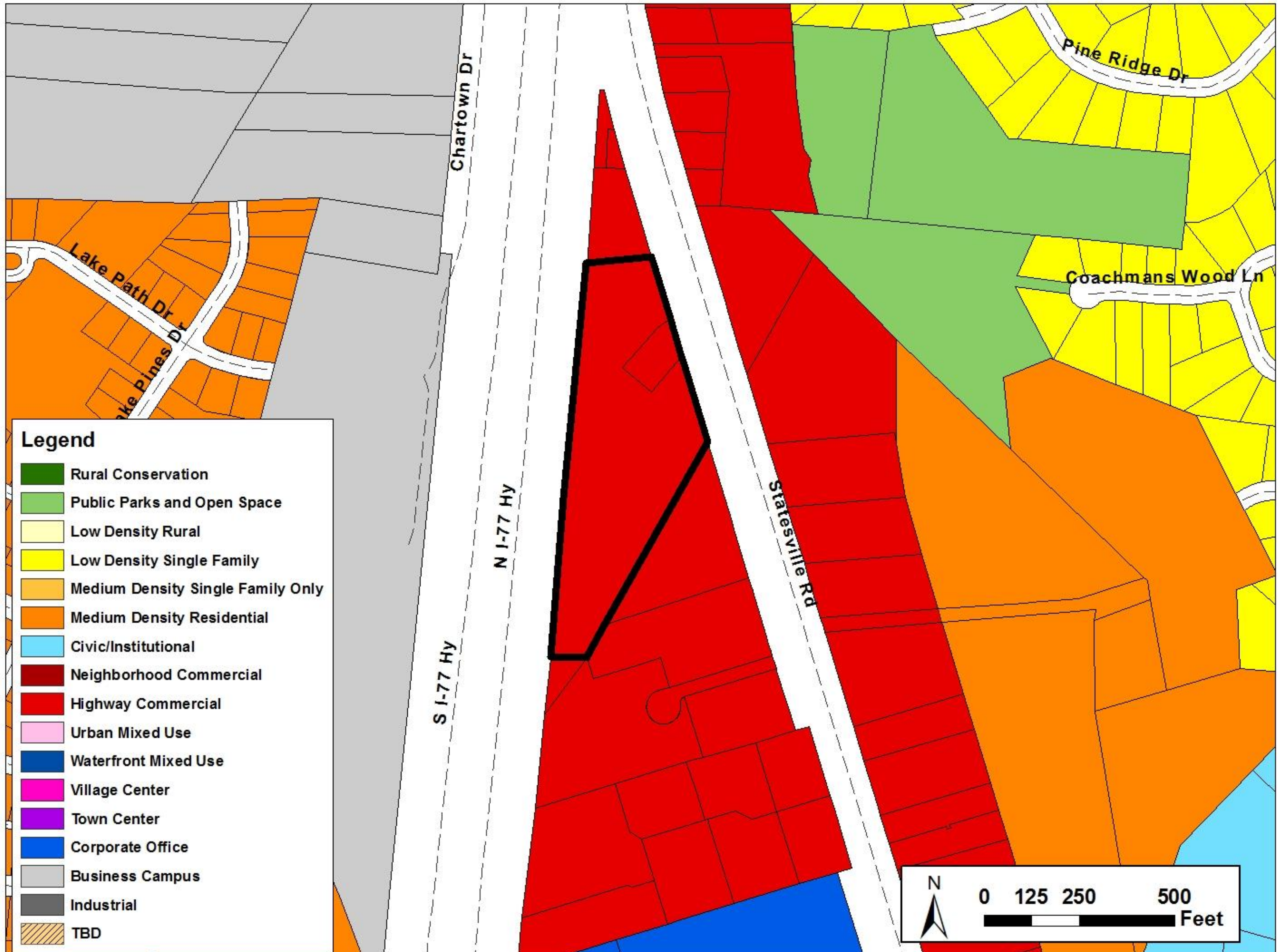
Cornelius, NC

This proposed project consists of the removal of two buildings, with an approximate square footage of 9,075. Phase I will consist of the construction of a new 22,850 square foot commercial building. Phase II will increase the building to 26,800 square feet by adding a new sales floor area to the front of the building and a drive thru wash bay. This single story building with a mezzanine, will serve as an automotive service center with automotive sales. The project includes site improvements which includes; grading, parking lots, service drives, site lighting and landscaping. The site is 5.6 acres and is zoned as HC (Highway Commercial) and will remain as Highway Commercial. There are no variations proposed from the Land Development Code.

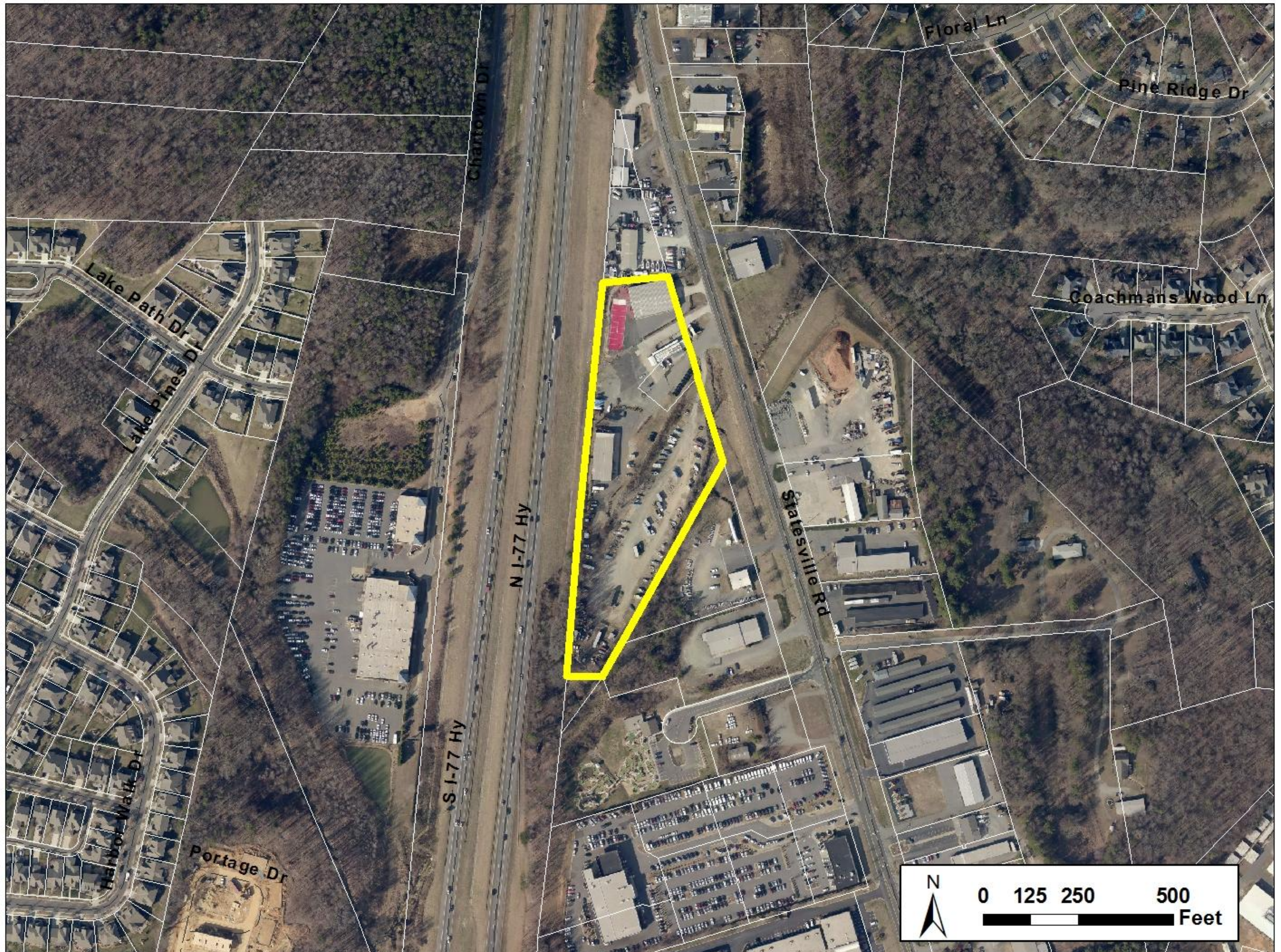
REZ 10-16: DB HOLDINGS



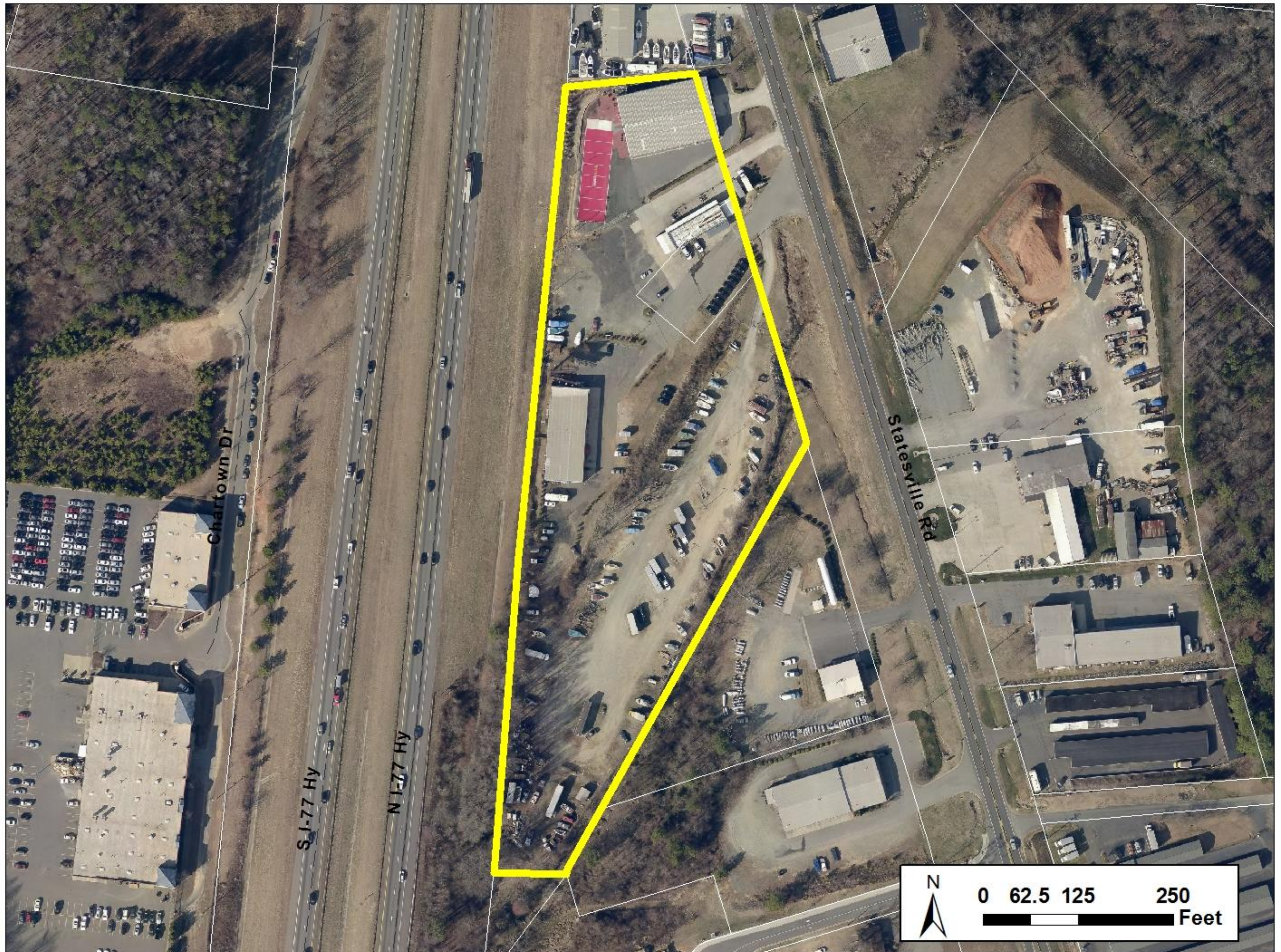
REZ 10-16: DB HOLDINGS

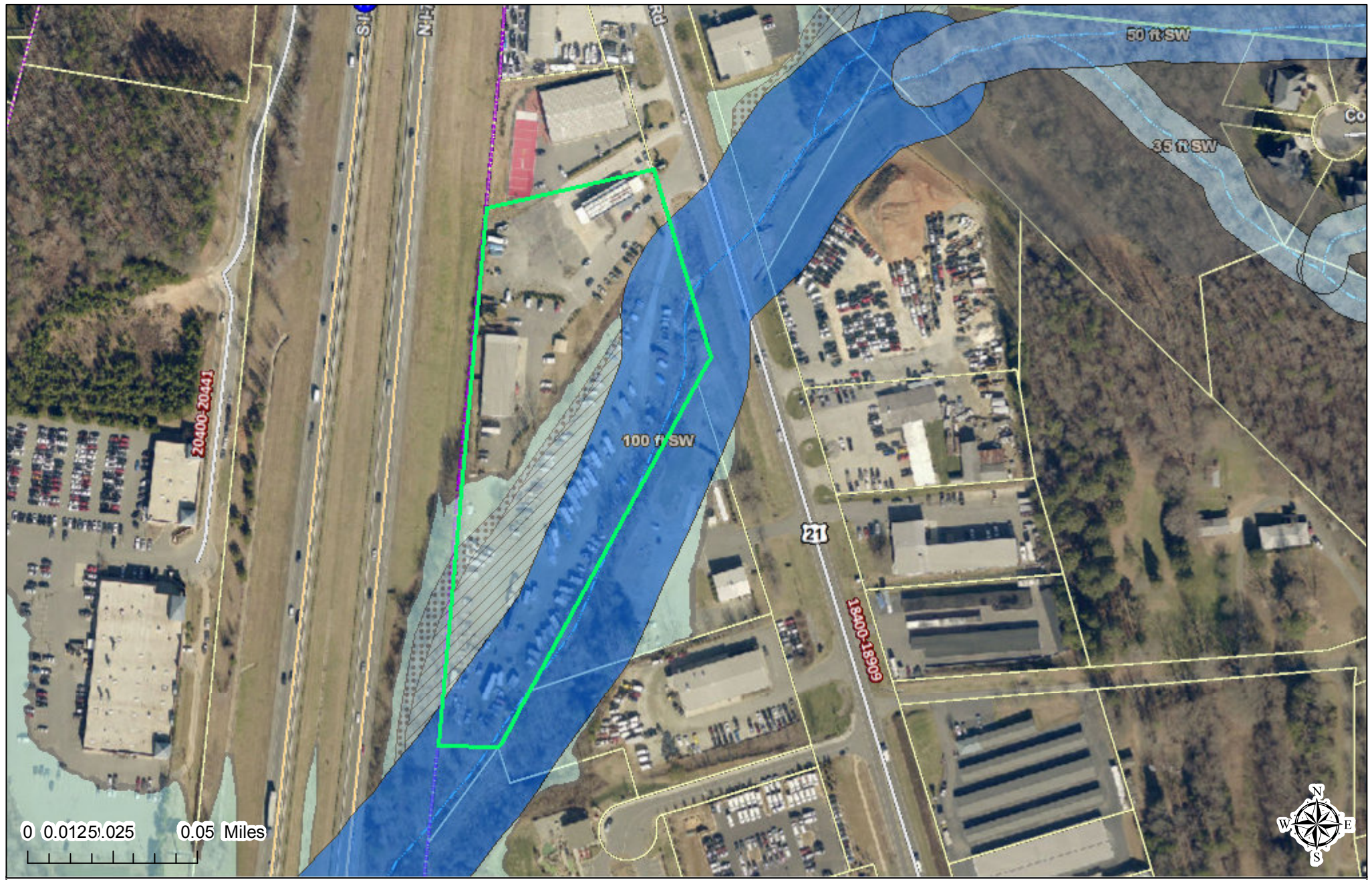


REZ 10-16: DB HOLDINGS



REZ 10-16: DB HOLDINGS





0 0.0125 0.025 0.05 Miles





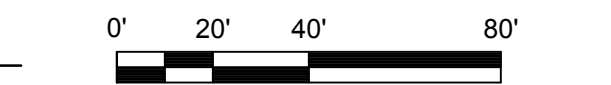


DB HOLDINGS

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

KEY PLAN

SCALE: 1" = 40'



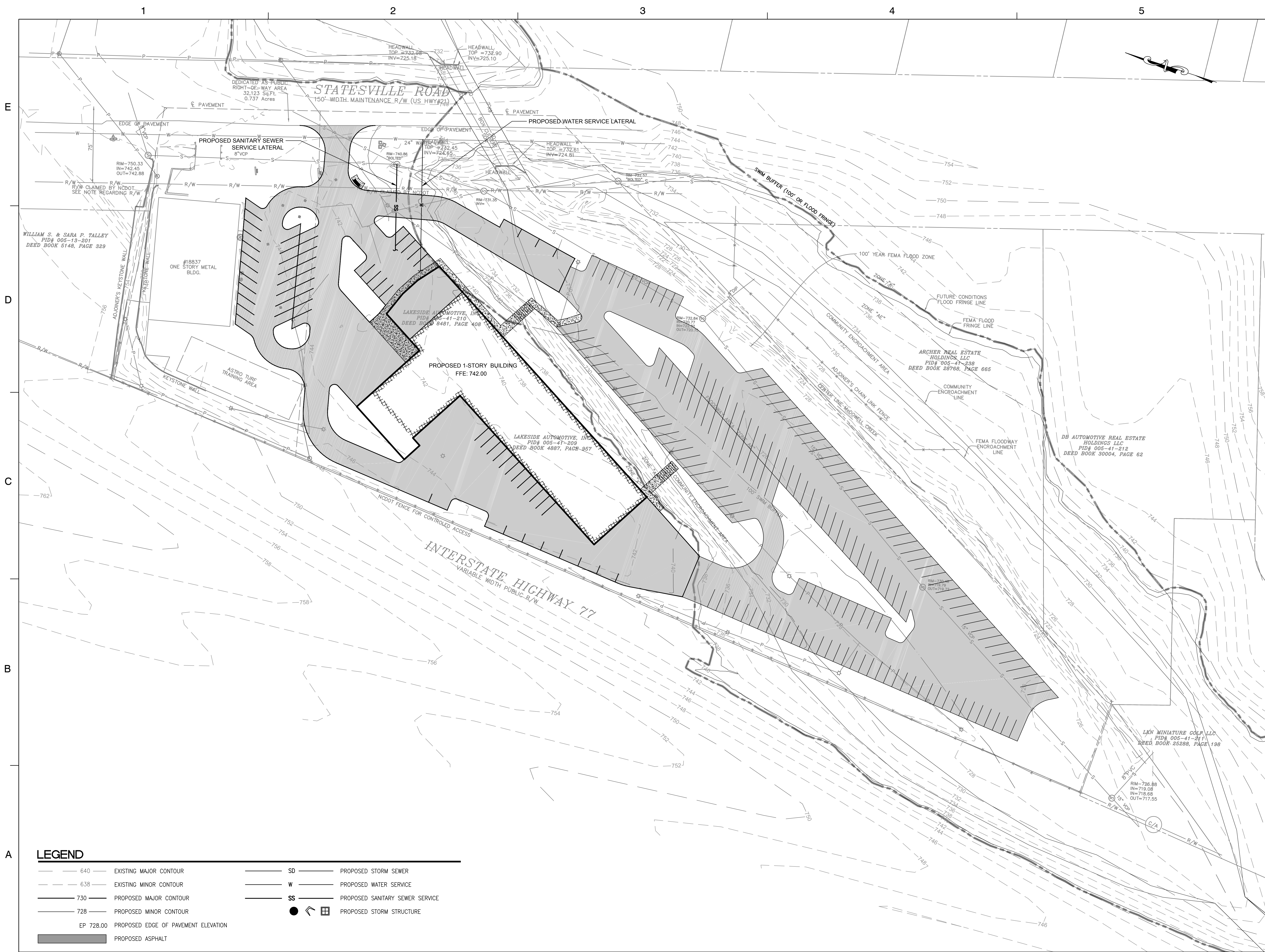
NO.	DATE	BY	DESCRIPTION

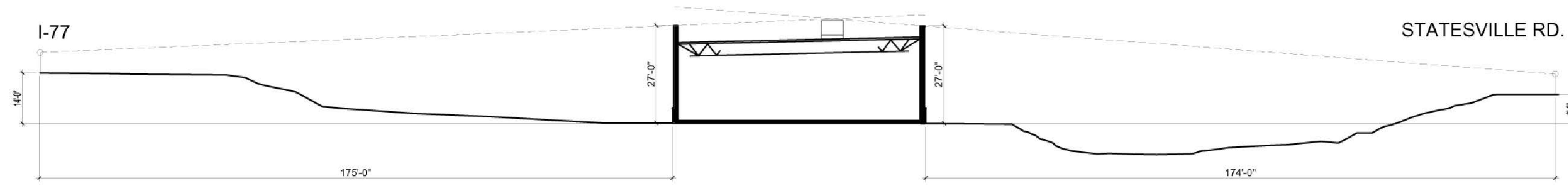
NO.	DATE	BY	DESCRIPTION

GRADING PLAN

PROJECT NO. 50083181

C3.02





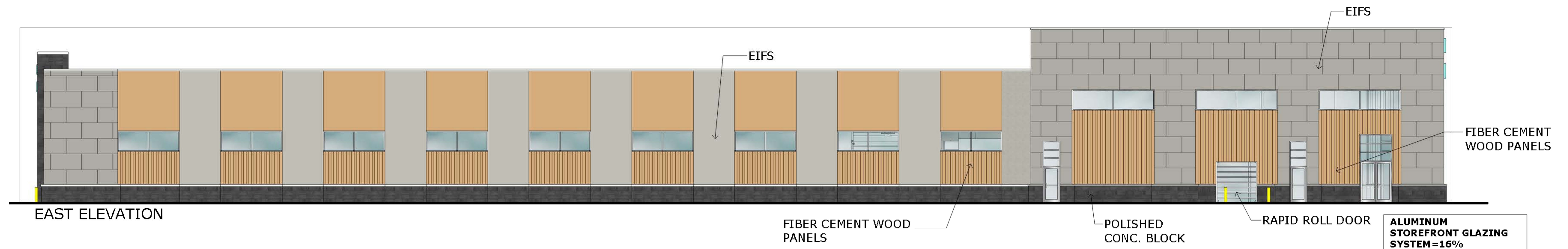
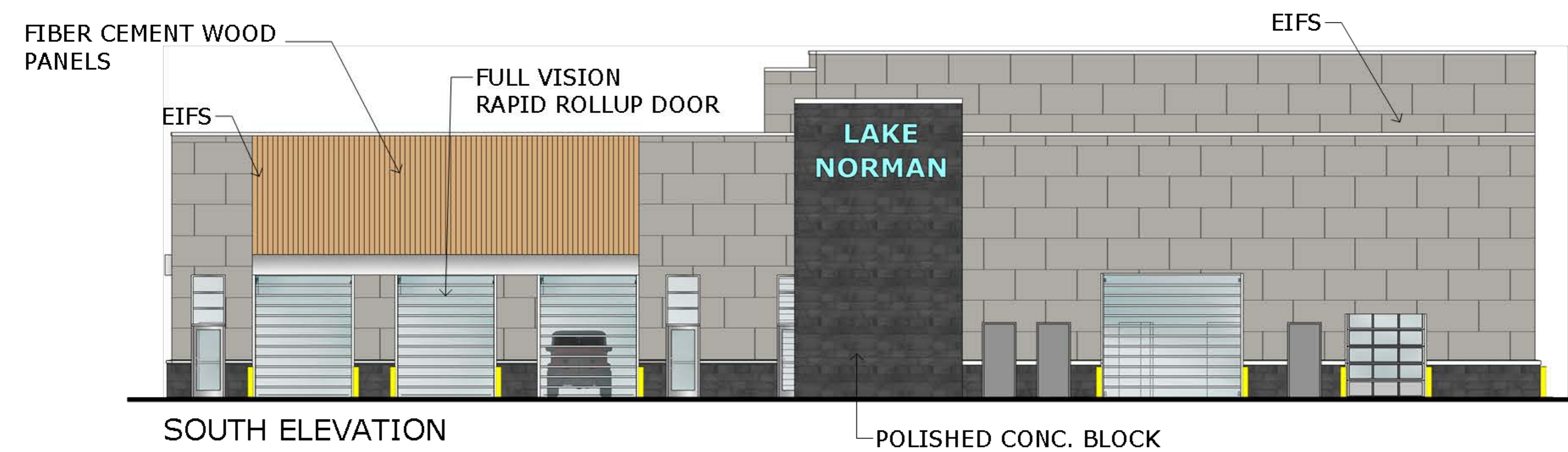
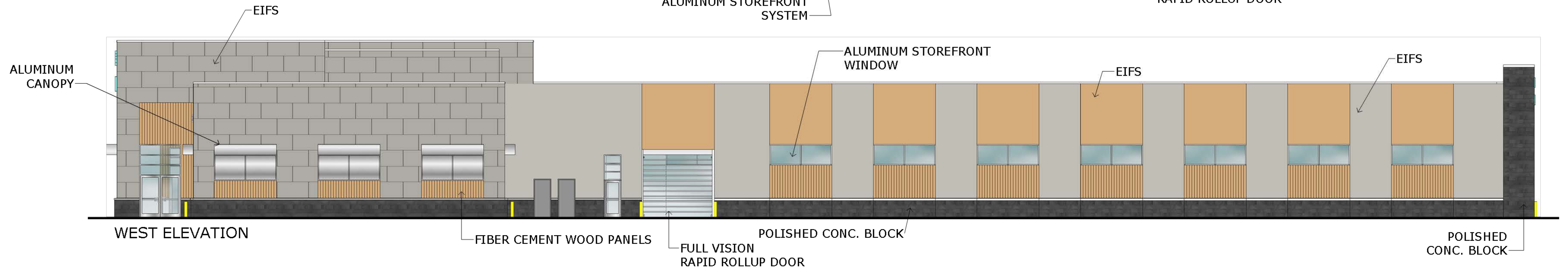
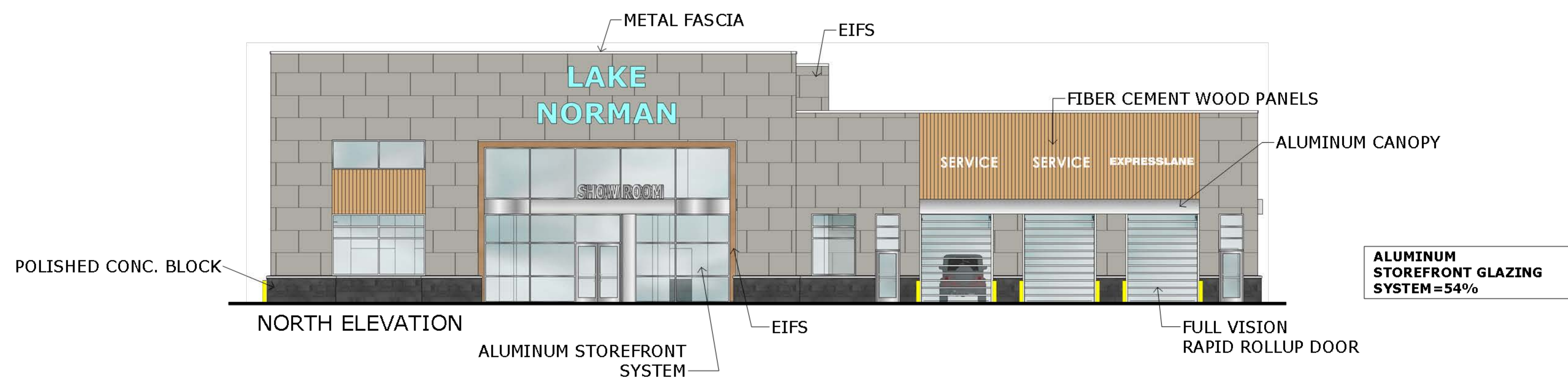
RTU SCREENING PROFILE

SCALE: 1/16" = 1'-0"



CONCEPT SITE PLAN

SCALE: 1" = 30'-0"



PHASE I ELEVATIONS

SCALE: 1/8" = 1'-0"



PHASE II ELEVATIONS

SCALE: 1/8" = 1'-0"



NORTH WEST VIEW-PHASE 1



NORTH EAST VIEW-PHASE 1

PHASE I RENDERINGS



NORTH EAST VIEW-PHASE 1



SOUTH EAST VIEW-PHASE 1

PHASE I RENDERINGS



NORTH WEST VIEW-PHASE 2



NORTH EAST VIEW-PHASE 2

PHASE II RENDERINGS



SOUTH EAST VIEW-PHASE 2



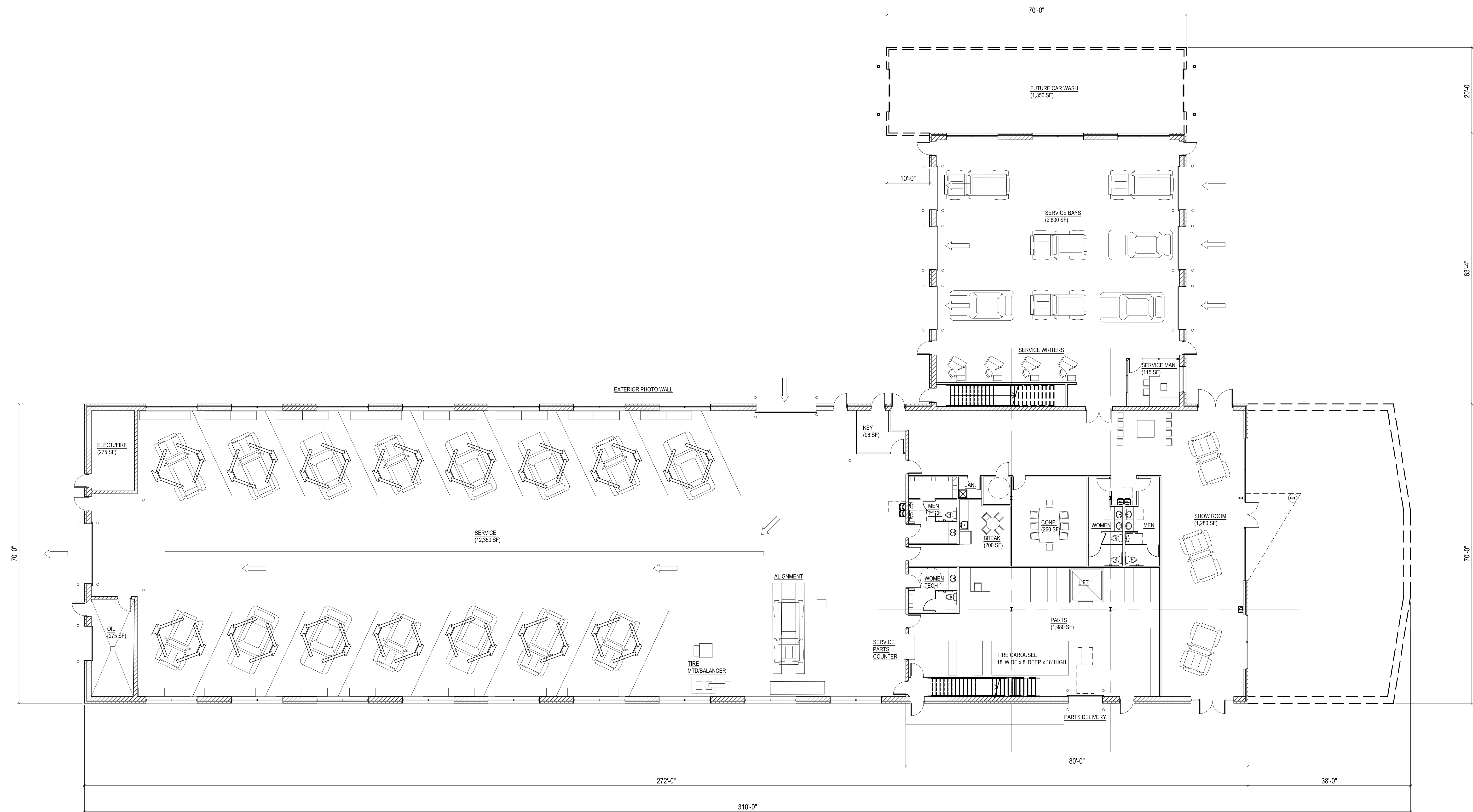
SOUTH WEST VIEW-PHASE 2

PHASE II RENDERINGS

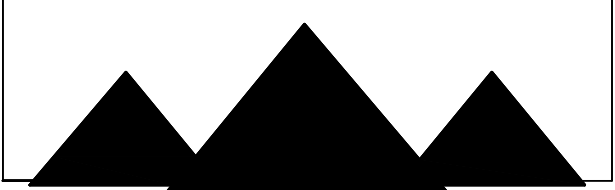
NEW AUTOMOTIVE DEALERSHIP BUILDING FOR:
DB HOLDINGS

CORNELIUS, NORTH CAROLINA

Project No. : 3222.03
Contact : D. STRONG
Drawn By: DAS
Date : 12-06-2016



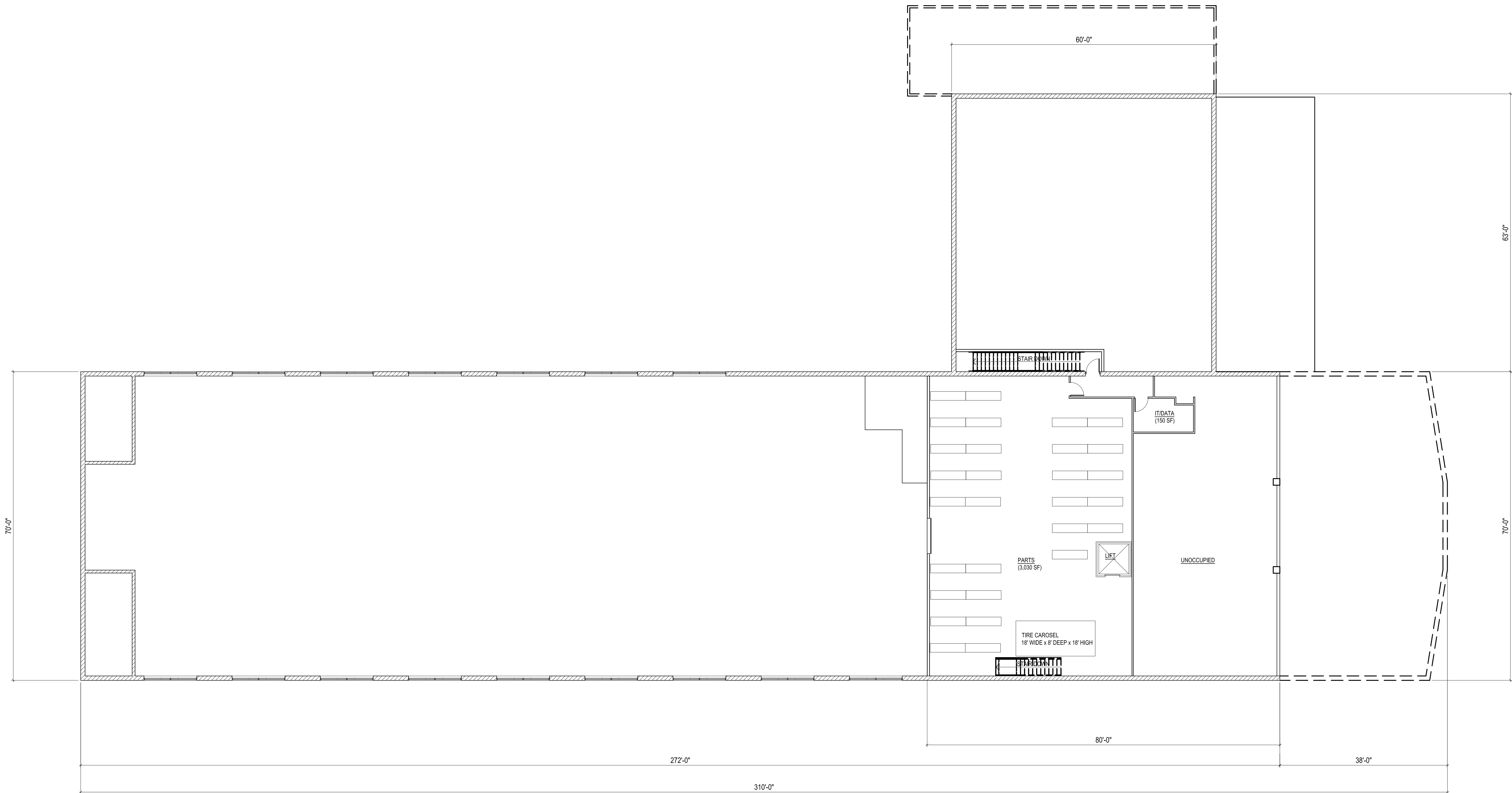
PROPOSED
FIRST
FLOOR PLAN
PHASE I



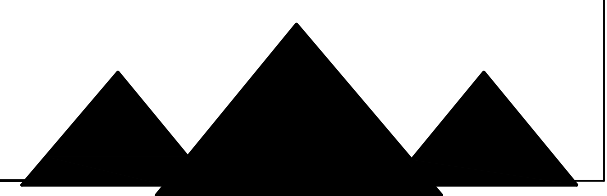
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DB HOLDINGS

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Project No. : 3222.03
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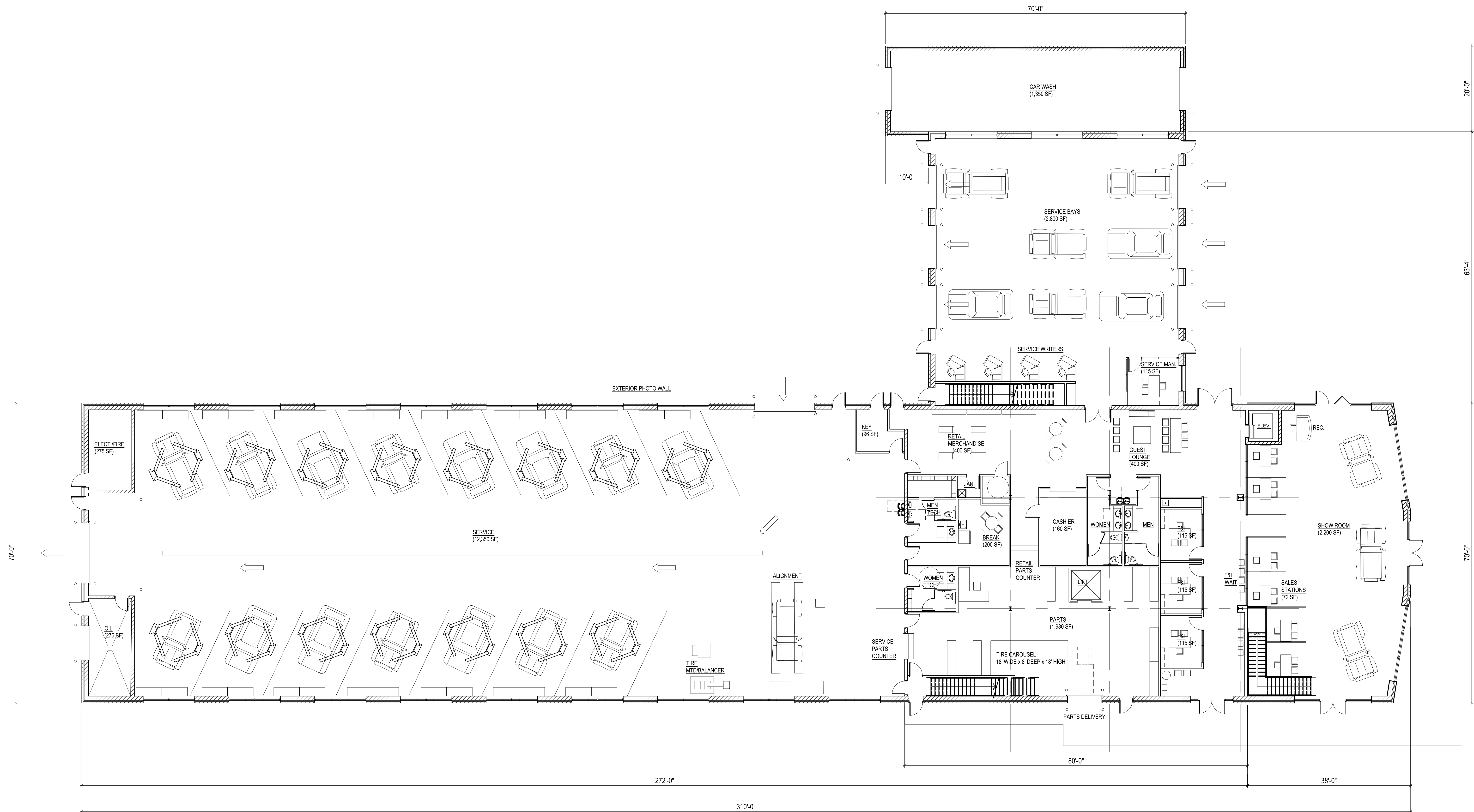
**PROPOSED
MEZZANINE
LEVEL
PHASE I**



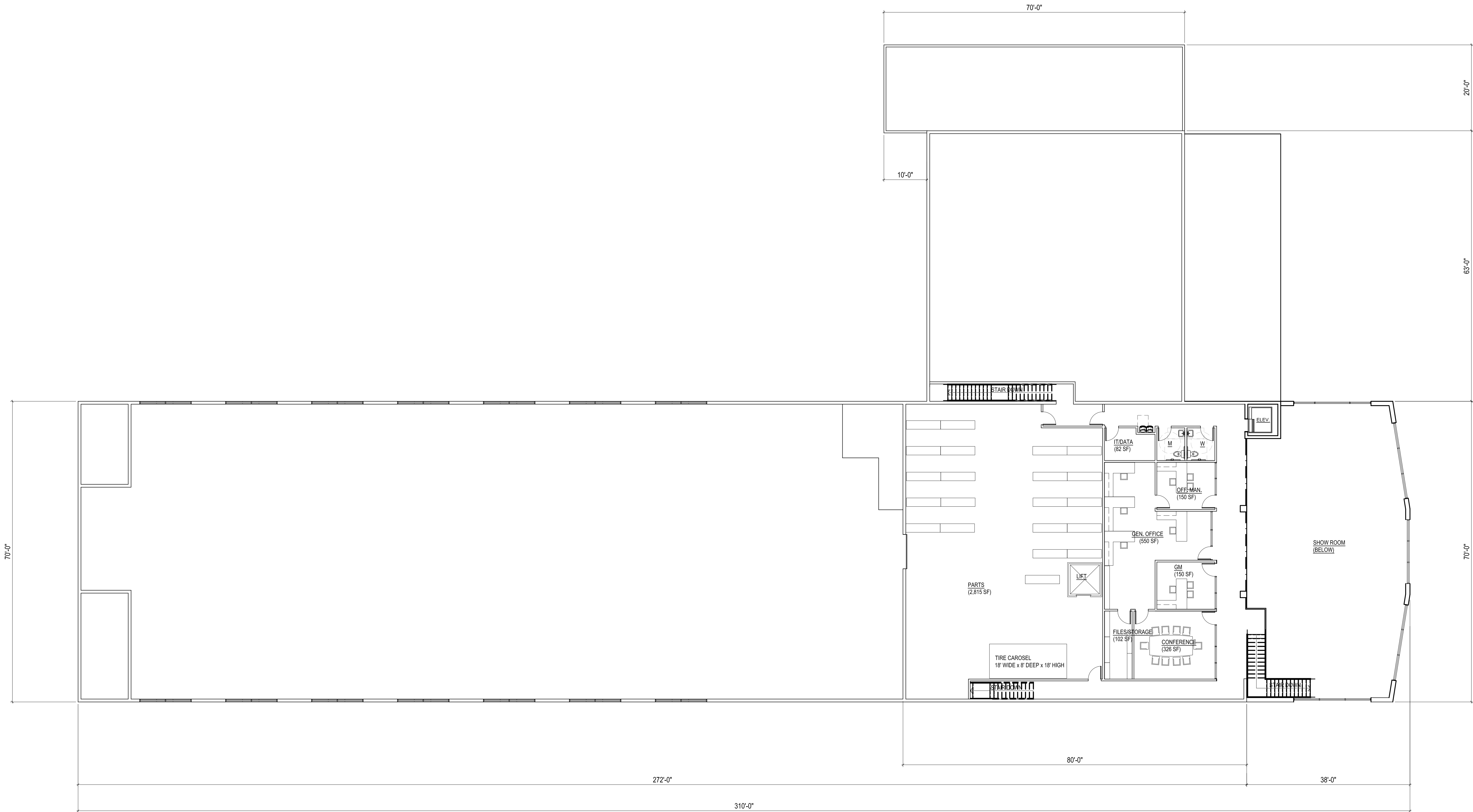
NEW AUTOMOTIVE DEALERSHIP BUILDING FOR:
DB HOLDINGS

CORNELIUS, NORTH CAROLINA

Project No. : 3222.03
Contact : D. STRONG
Drawn By: DKS
Date : 12-06-2016



PROPOSED
FIRST
FLOOR PLAN
PHASE II



REQUEST FOR BOARD ACTION

 **Print**

Date of Meeting: January 27, 2017

To: Architectural Review Board Members

From: Jason T. Pauling, AICP - Senior Planner










Action Requested:

A request by Epcon Carolinas LLC to construct the community clubhouse building that was approved as part of the Courtyards at Lake Norman (aka Courtyards at Nantz) subdivision.

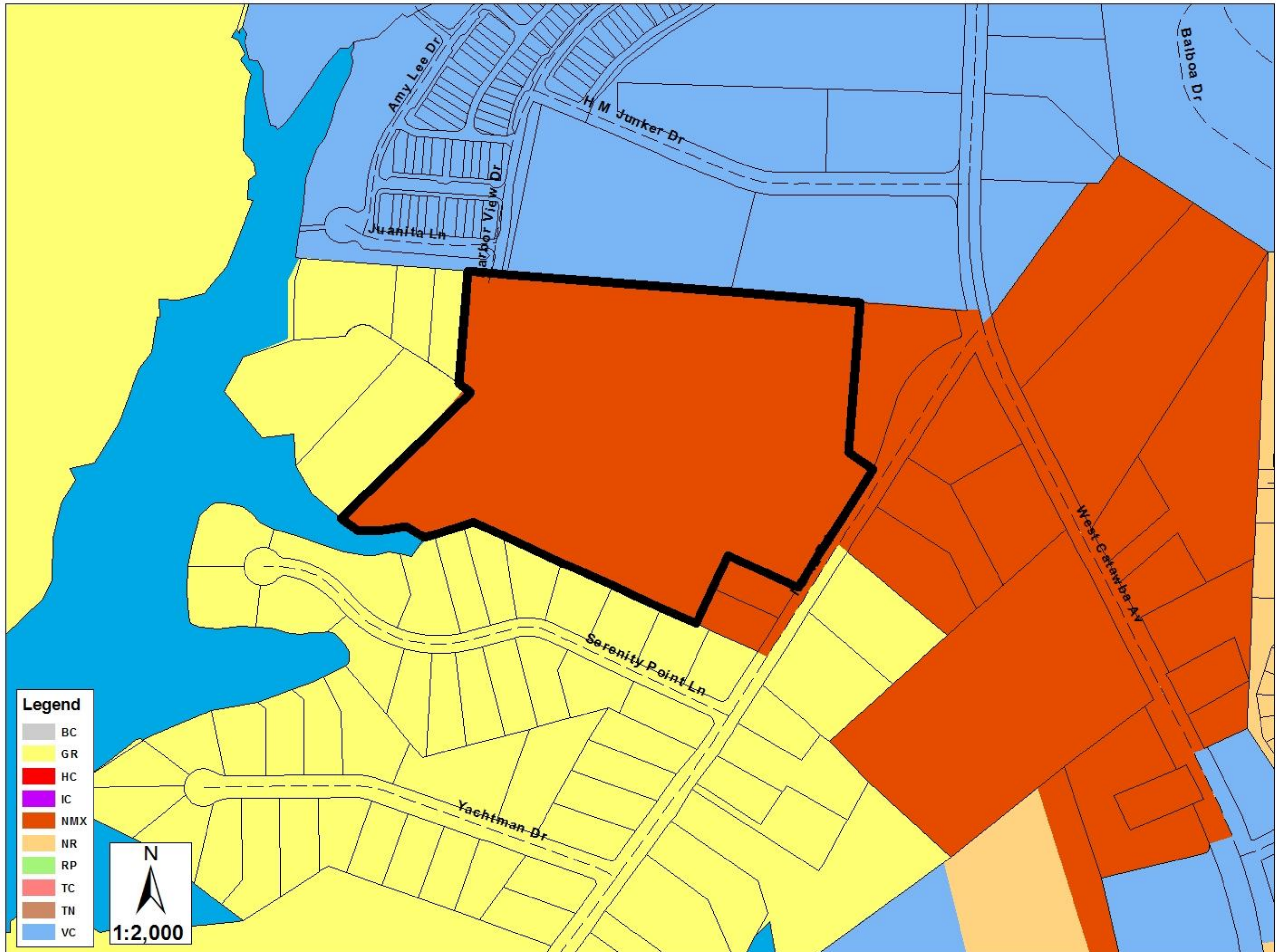
Manager's Recommendation:

Review and provide direction

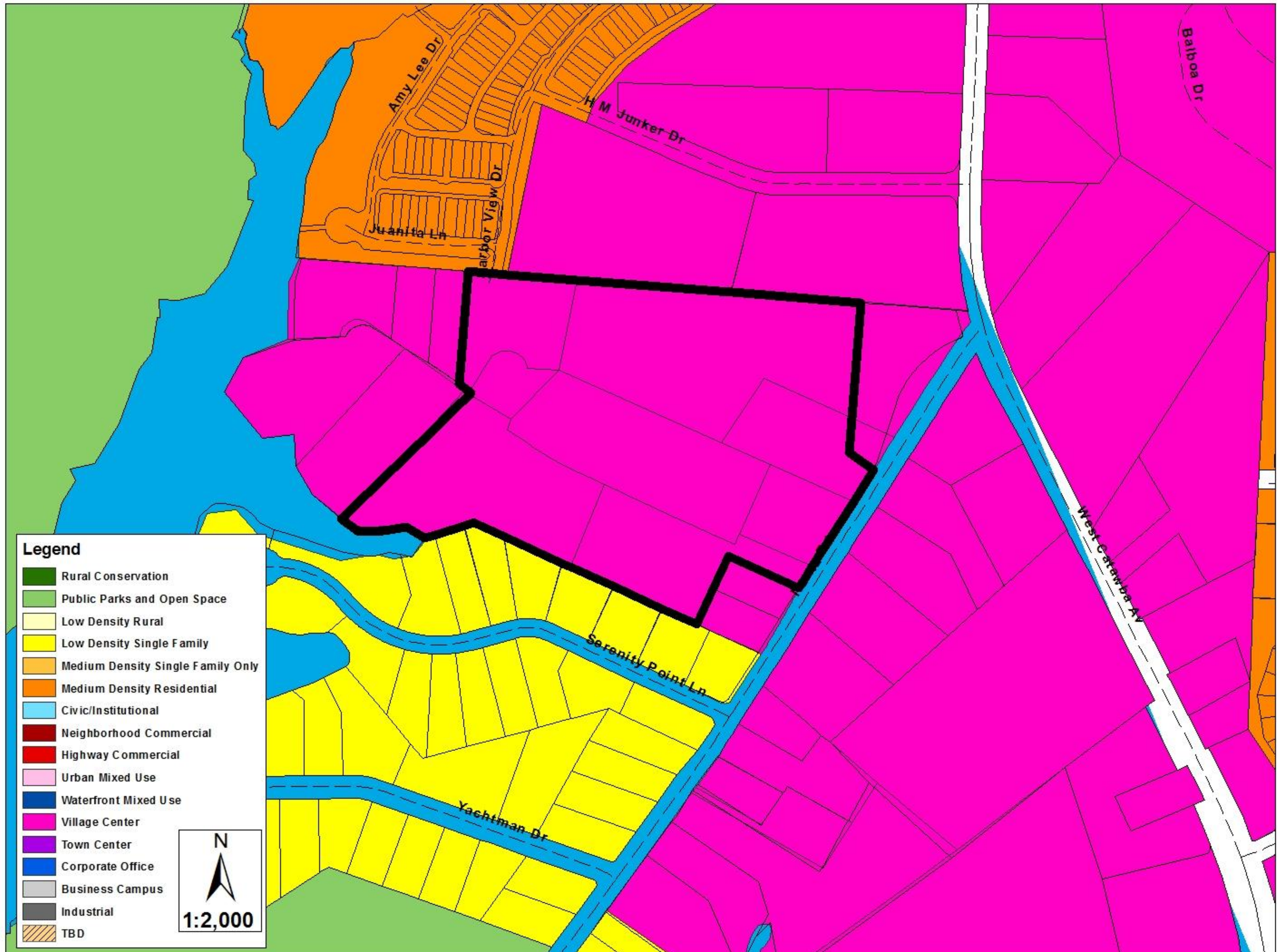
ATTACHMENTS:

Name:	Description:	Type:
 CYatNantz_Zoning.jpg	Zoning Map	Backup Material
 CYatNantz_LU.jpg	Land Use Map	Backup Material
 CYatNantz_Vicinity.jpg	Vicinity Map	Backup Material
 CYatNantz_Property.jpg	Property Map	Backup Material
 Epcon_CorneliusARCFom.pdf	ARB Checklist	Backup Material
 Epcon_Amenity-Clubhouse_Center_Site_Plan.pdf	Site Plan	Backup Material
 Epcon_Courtyards_on_Lake_Norman_(formerly_Nantz_Road)-Site_Plan.pdf	Overall Site Plan	Backup Material
 Epcon_ClubhouseArchitecturalPlans-CYonLakeNorman(formerlyNantzRd).pdf	Floor Plan and Elevations	Backup Material
 Lake_Norman_FC_Clubhouse_Birds-eye_300.jpg	Color perspective rendering	Backup Material

Courtyards at Nantz Road



Courtyards at Nantz Road



Courtyards at Nantz Road



Courtyards at Nantz Road





TOWN OF CORNELIUS:

ARCHITECTURAL REVIEW CHECKLIST & SUBMITTAL REQUIREMENTS

Please review the following information carefully and check to be sure all requirements of Chapter 4 have been met, be prepared to discuss if any variations are appropriate with staff and the Architectural Review Board:

- ☒ Front Façade/Elevation – The front elevation faces the primary street and the overall massing is pedestrian in scale. The primary entrance is architecturally and functionally designed on the front façade of the building, and extends parallel to the frontage line. **For commercial buildings, 70% of the street level frontages are part of windows or doorways.** Street level windows are visually permeable. Mirrored glass is not permitted, and faux windows or display casements are not permitted in lieu of exterior window treatments for the frontage elevation.
- ☒ Building materials, scale and style – Building materials, scale and style are appropriate with surrounding uses. Building walls are brick, cast concrete, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block, and siding (non-vinyl) materials may only be used on building walls not visible from a public street or as an accent material only. Two wall materials may be combined horizontally, but the heavier material is below.
- ☒ Building Articulation – Frontage wall has adequate articulation, no wall shall remain unpierced by a window, door, or general access point for more than 16 feet. Doors that are intended to provide access contain a stoop, porch or awning that forms as the predominant aspect of the building design. For buildings greater than 100 feet in width, there shall be no uninterrupted wall length exceeding 75 feet. An interruption may consist of a change in place or a change in texture/masonry patterns. For buildings less than 75 feet, one interruption is required within 30 feet on either side of the center of the building.
- ☒ Building Roof – For pitched roof, the roof is clad with wood shingles, standing seam metal, corrugated metal, slate, diamond tab asphalt shingles, or similar materials. Flat roofs have parapet walls high enough to conceal the flat portion of the roof and conceal all roof top mechanical equipment. Parapets are terraced on side elevations. Canopies and awnings are canvas or of similar material and durability. If there are any skylights, they shall be flat. *NO SKYLIGHTS - ASPHALT SHINGLES*
- ☒ Accessory buildings, fences, walls and accessory equipment – All accessory buildings and walls are clad in materials similar in appearance to the principal structure or use materials that complement the principal structure. *NO ACCESSORY BUILDINGS*

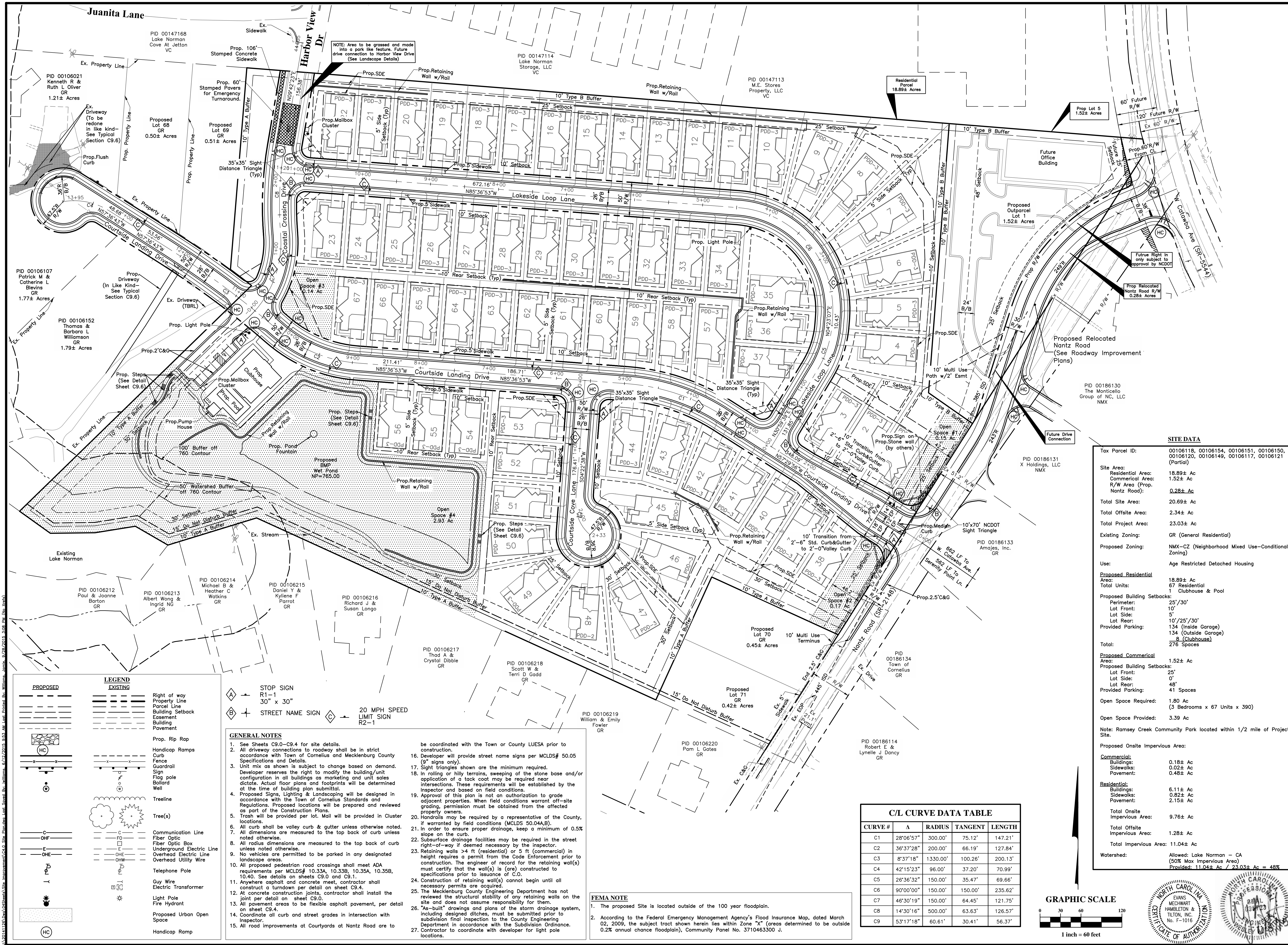
SUBMITTAL REQUIREMENTS FOR ARCHITECTURAL REVIEW BOARD

- ☒ Elevations of all four sides with dimensions, features and materials clearly labeled drawn to scale by a registered architect.
- ☒ Color elevations, color samples, or photo examples
- ☒ Site Plan – May contain multiple pages, drawn to scale by an engineer or landscape architect. Include locations of buildings, lots, streets, parking, proposed grading, landscaping/screening, open space, watershed/storm water information, associated storm water measures, and proposed utilities and lighting. Shall also include general information from adjoining lots
- ☒ Perspective drawings/renderings shown at different angles
- ☒ Floor plans

★ *Additional info may be necessary based upon the Land Development Code, or as determined by the Planning Director.*

THE ARCHITECTURAL REVIEW BOARD (ARB)

- A. Pursuant to G.S. 160A-361, the Town of Cornelius has an Architectural Review Board (ARB) consisting of seven (7) persons who are residents or property owners within the Town. At least four of the members are required to be architects, landscape architects, building designers or other design professionals. At least one (1) of the members shall reside east of I-77. The Town Board may also designate one of its members as a non-voting (ex-officio) member of the ARB. Each member of the ARB and its chair are appointed by the Town Board
- B. The ARB typically meets on the 4th Friday of every month at 12:00 PM. The deadline to submit materials for the ARB is by the **2nd Friday of every month**. Digital files can be emailed to Planning Staff or be on a disk.
- C. A quorum of at least four (4) members of the ARB is necessary in order to hold a meeting. All meetings are open to the public, and follow all open meeting and public records requirements, include "Roberts Rules of Order for Small Boards."
- D. Decisions shall be by a simple majority of the board for those that are present at the meeting, and board members with a conflict of interest shall abstain from voting.
- E. The ARB operates in an advisory only capacity to the Planning Director, his/her staff, the Planning Board and the Town Board of Commissioners on a project by project basis. On cases that will be heard by the Planning Board and Town Board of Commissioners for final recommendation, the ARB's recommendations will typically be noted in the staff report and staff analysis of the specific project.



REVISIONS

MARK	DATE	DESCRIPTION
1	04/28/15	Revised Per Town and County Comments
2	06/03/15	Revised Per Town and County Comments

EPCON COMMUNITIES

8600 Sam Furr Road, Suite 180
Huntersville, NC 28078
PH: (855) 762-1010
Contact: Rich Heath

TOWN OF CORNELIUS, MECKLENBURG COUNTY, NORTH CAROLINA

SITE IMPROVEMENT PLANS

FOR

COURTYARDS AT NANTZ ROAD

SITE PLAN

DATE

June 3, 2015

SCALE

1" = 60'

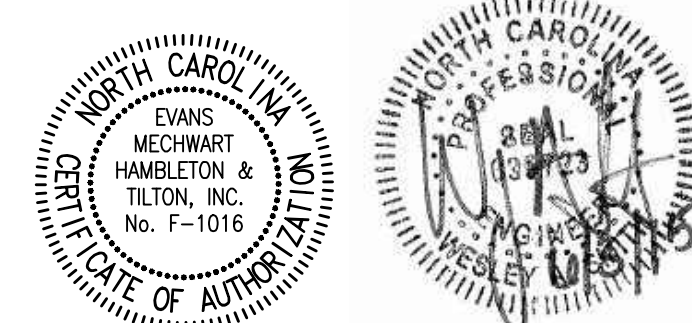
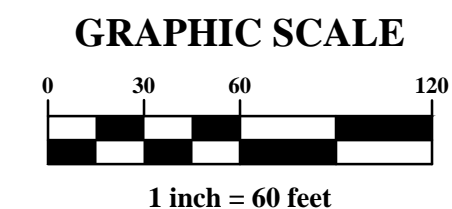
JOB NO.

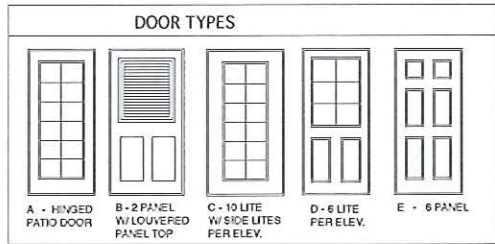
2014-1126

SHEET

C4.0

SITE DATA	
Tax Parcel ID:	00106118, 00106154, 00106151, 00106150, 00106120, 00106149, 00106117, 00106121 (Partial)
Site Area:	Residential Area: 18.89± Ac Commercial Area: 1.52± Ac R/W Area (Prop. Nantz Road): 0.28± Ac
Total Site Area:	20.69± Ac
Total Offsite Area:	2.34± Ac
Total Project Area:	23.03± Ac
Existing Zoning:	GR (General Residential)
Proposed Zoning:	NMX-CZ (Neighborhood Mixed Use-Conditional Zoning)
Use:	Age Restricted Detached Housing
Proposed Residential Area:	18.89± Ac
Total Units:	67 Residential 1 Clubhouse & Pool
Proposed Building Setbacks:	Perimeter: 25'/30' Lot Front: 10' Lot Side: 5' Lot Rear: 10'/25'/30'
Provided Parking:	134 (Inside Garage) 134 (Outside Garage) 8 (Clubhouse)
Total:	276 Spaces
Proposed Commercial Area:	1.52± Ac
Proposed Building Setbacks:	Lot Front: 25' Lot Side: 0' Lot Rear: 48'
Provided Parking:	41 Spaces
Open Space Required:	1.80 Ac (3 Bedrooms x 67 Units x 390)
Open Space Provided:	3.39 Ac
Note:	Ramsey Creek Community Park located within 1/2 mile of Project Site.
Proposed Onsite Impervious Area:	
Commercial:	Buildings: 0.18± Ac Sidewalks: 0.02± Ac Pavement: 0.45± Ac
Residential:	Buildings: 6.11± Ac Sidewalks: 0.82± Ac Pavement: 2.15± Ac
Total Onsite Impervious Area:	9.76± Ac
Total Offsite Impervious Area:	1.28± Ac
Total Impervious Area:	11.04± Ac
Watershed:	Allowed: Lake Norman - CA (50% Max Impervious Area) Provided: 11.04± Ac / 23.03± Ac = 48%





ROOM SCHEDULE				
SPACE	FLOOR	BASES	WALLS	CEILING
MEN'S	NON-SLIP CERAMIC TILE OVER CONCRETE	TILE COVE	CERAMIC TILE @ 55" H.	M.R.G.W.B.
WOMEN'S	NON-SLIP CERAMIC TILE OVER CONCRETE	TILE COVE		
POOL EQUIP. RM.	SEALED CONCRETE	N/A	M.R.G.W.B.	
CHM./STORAGE/MECH. RM./JANITOR RM.	CONCRETE	N/A		
KIT/EXERCISE/GALLERY/OFFICE/PARLOR/HOSPITALITY	CERAMIC TILE OVER CONCRETE	WOOD	G.W.B.	G.W.B.
ENTRY/HALL/COMMUNITY ROOM	LAMINATE FLOOR OVER CONCRETE	WOOD	G.W.B.	G.W.B.

NOTES:
1. F.W.P. - FIBERGLASS WALL PANELS BY KEMITE OR APPROVED EQUAL.
2. PAINT WALLS & CEILINGS W/ ENAMEL PAINT.
3. ALL M.R.G.W.B. WALLS LOCATED AT W.C. & URINALS SHALL BE COVERED IN EPOXY PAINT.

DOOR SCHEDULE						
MARK	DOOR SIZE		CONSTRUCTION	GLAZING	THICKNESS	DOOR TYPES
	WIDTH	HEIGHT				
1	3'-0"	6'-8"	WD.			A
2	3'-0"	6'-8"	M			B
3	3'-6"	6'-8"	WD.	TI		C
4	3'-0"	6'-8"	WD.	TI		D
5	3'-6"	6'-8"	M	TI		B
6	3'-0"	6'-8"	WD.			E

- NOTES:
- HEIGHT: DOOR HEIGHTS ARE 6'-8" NOMINAL UNLESS OTHERWISE NOTED
 - CONSTRUCTION: M - METAL, IM - INSULATED METAL
 - GLAZING: TI - TEMPERED INSULATED
 - THICKNESS: IS BASED ON MFR. TYPICAL STANDARDS MINIMUM THICKNESS IS NOTED FOR CODE REQUIREMENTS ONLY
 - FIRE RATING AND LABEL: WHERE INDICATED PROVIDE DOORS WITH REQUIRED HARDWARE
 - PROVIDE DEAD BOLTS AT ALL EXTERIOR DOORS
 - DOOR 2 SHALL HAVE CORROSION RESISTANT FINISH
 - TOILET ROOM DOORS SHALL HAVE H.C. LEVER HARDWARE

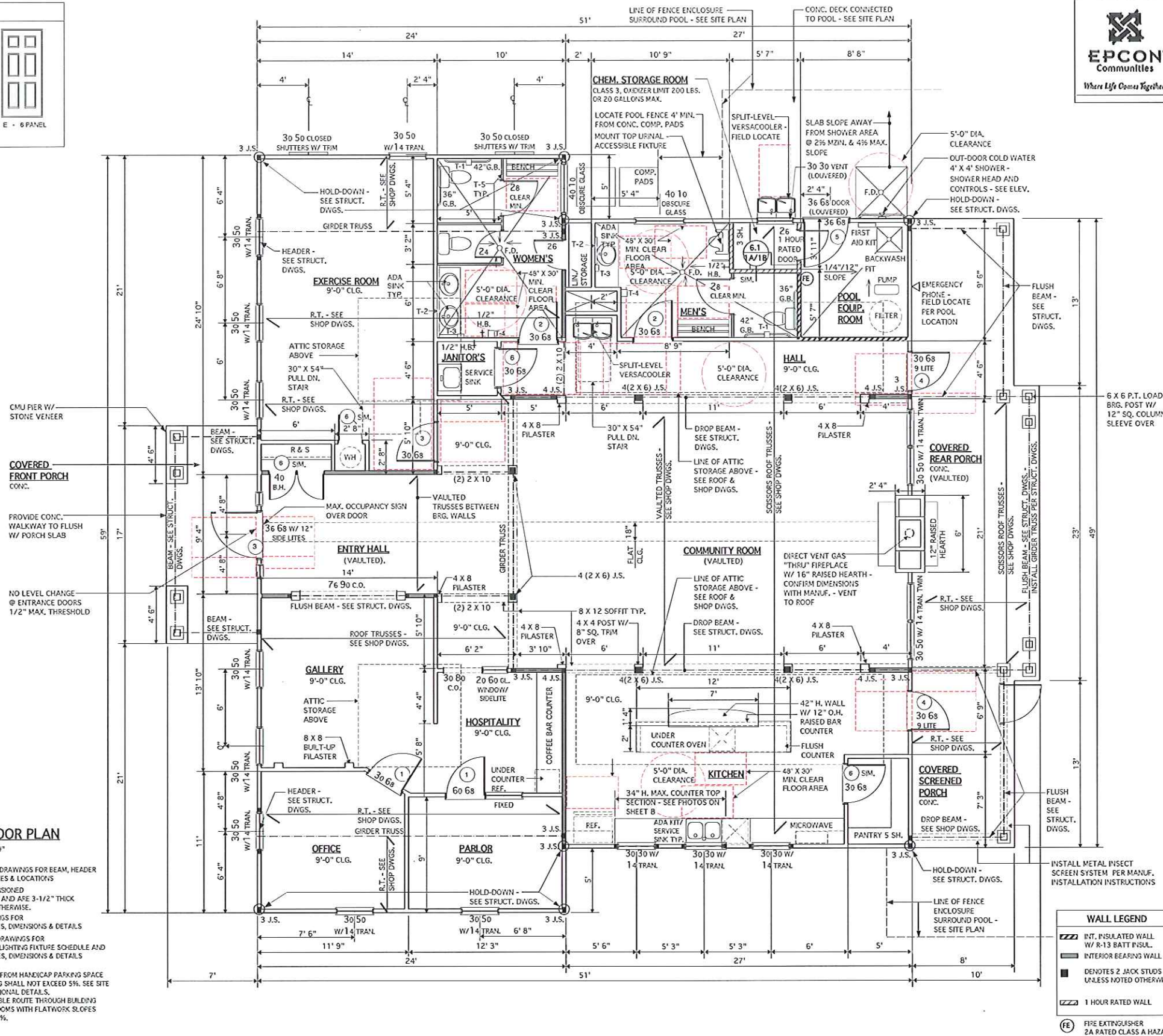
TOILET ACCESSORIES

- T-1 TISSUE HOLDER
T-2 MIRROR (SHATTERPROOF) & SHELF 24" X 36" MIN. MOUNT 40" A.F.F.
T-2(A) MIRROR (SHATTERPROOF) FULL LENGTH (BTM. 9" A.F.F.)
T-3 METAL/PLASTIC SOAP DISPENSER
T-4 ADA COMPLIANT ELECTRIC HAND DRYER WITH AUTOMATIC SENSOR OPERATION TO BE WALL MOUNTED @ 54" MAX. A.F.F. TO BOTTOM OF SENSOR LENS
T-5 TOILET STALL PARTITION TOP TO BE 70" A.F.F. BOTTOM TO BE 12" A.F.F.
NOTE: MOUNTING FOR ACCESSORIES TO BE IN ACCORDANCE WITH 2010 ADA STANDARD FOR ACCESSIBILITY DESIGN

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

NOTES:
SEE STRUCTURAL DRAWINGS FOR BEAM, HEADER & HOLD-DOWN SIZES & LOCATIONS
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE
SEE POOL DRAWINGS FOR ADDITIONAL NOTES, DIMENSIONS & DETAILS
SEE ELECTRICAL DRAWINGS FOR EXIT/EMERGENCY LIGHTING FIXTURE SCHEDULE AND ADDITIONAL NOTES, DIMENSIONS & DETAILS
NOTE: SIDEWALK SLOPE FROM HANDICAP PARKING SPACE TO POOL BUILDING SHALL NOT EXCEED 5%. SEE SITE PLANS FOR ADDITIONAL DETAILS.
PROVIDE ACCESSIBLE ROUTE THROUGH BUILDING AND INTO RESTROOMS WITH FLATWORK SLOPES NOT TO EXCEED 5%.



JAMES WENTLING/ARCHITECT
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110
(215) 568-2551
(888) 675-5318 FAX
email - information@wentlinghouseplans.com

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THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHALL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.



REVISIONS		
MARK	DATE	DESCRIPTION
JW	08-31-16	CLIENT REV.
JW	09-01-16	CLIENT REV.
JW	09-07-16	CLIENT REV.
DN	10-19-16	PRELIM. WD. SET
DN	11-01-16	SHOP DWGS.
DN	11-29-16	STRUCT. DWGS.
DN	12-20-16	CLIENT REV.

PROJECT NO.	162-07
DATE	08-15-16
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS CONSTRUCTION

PROJECT TITLE
CLUBHOUSE BUILDING FOR THE COURTYARDS ON LAKE NORMAN
Cornelius, Mecklenburg County, NC

CLIENT
EPCON CAROLINAS, LLC
8600 Sam Furr Road, #180
Huntersville, NC 28078
(704) 977-8044

DRAWING TITLE
FLOOR PLAN

SHEET
3



REVISIONS		
MARK	DATE	DESCRIPTION
JW	08-30-16	CLIENT REV.
JW	08-31-16	CLIENT REV.
JW	09-01-16	CLIENT REV.
JW	09-07-16	CLIENT REV.
DN	10-19-16	PRELIM. WD. SET
DN	11-01-16	SHOP DWGS.
DN	12-20-16	CLIENT REV.

PROJECT NO.	162-07
DATE	08-11-16
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS CONSTRUCTION

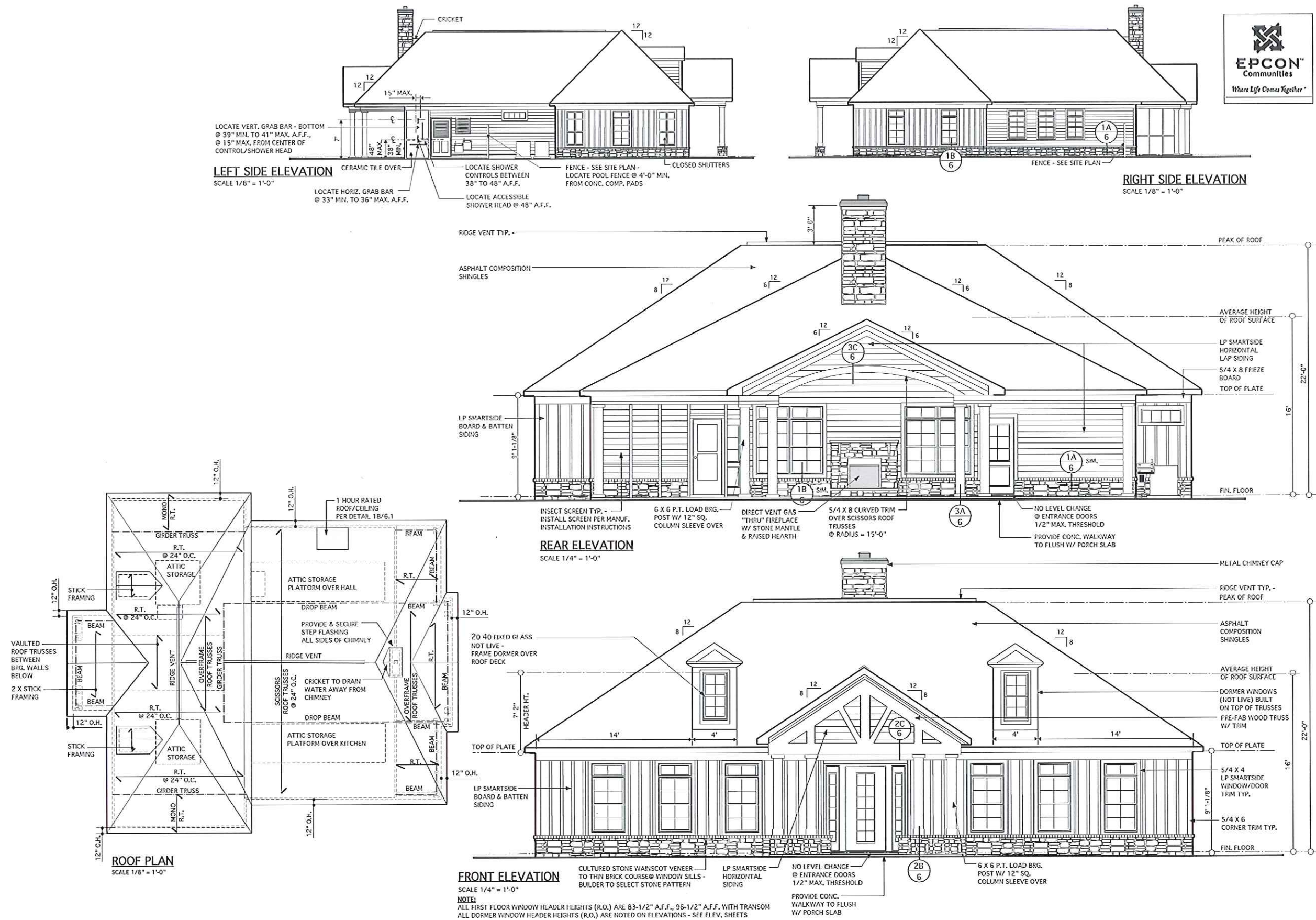
PROJECT TITLE
**CLUBHOUSE BUILDING
FOR THE COURTYARD
ON LAKE NORMAN**
Cornelius, Mecklenburg
County, NC

CLIENT
EPCON CAROLINAS, LL
8600 Sam Furr Road, #180
Huntersville, NC 28078
(704) 977-8044

DRAWING TITLE

ELEVATIONS

SHEET 4





REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: January 27, 2017

To: Architectural Review Board
From: Jason T. Pauling, AICP - Senior Planner




Action Requested:

A request by Pike's Nursery to develop two parcels on Statesville Road (approximately 3.6 acres) as a full retail nursery and garden center that will include a 10,000 square foot building and 20,000 square foot indoor greenhouse.

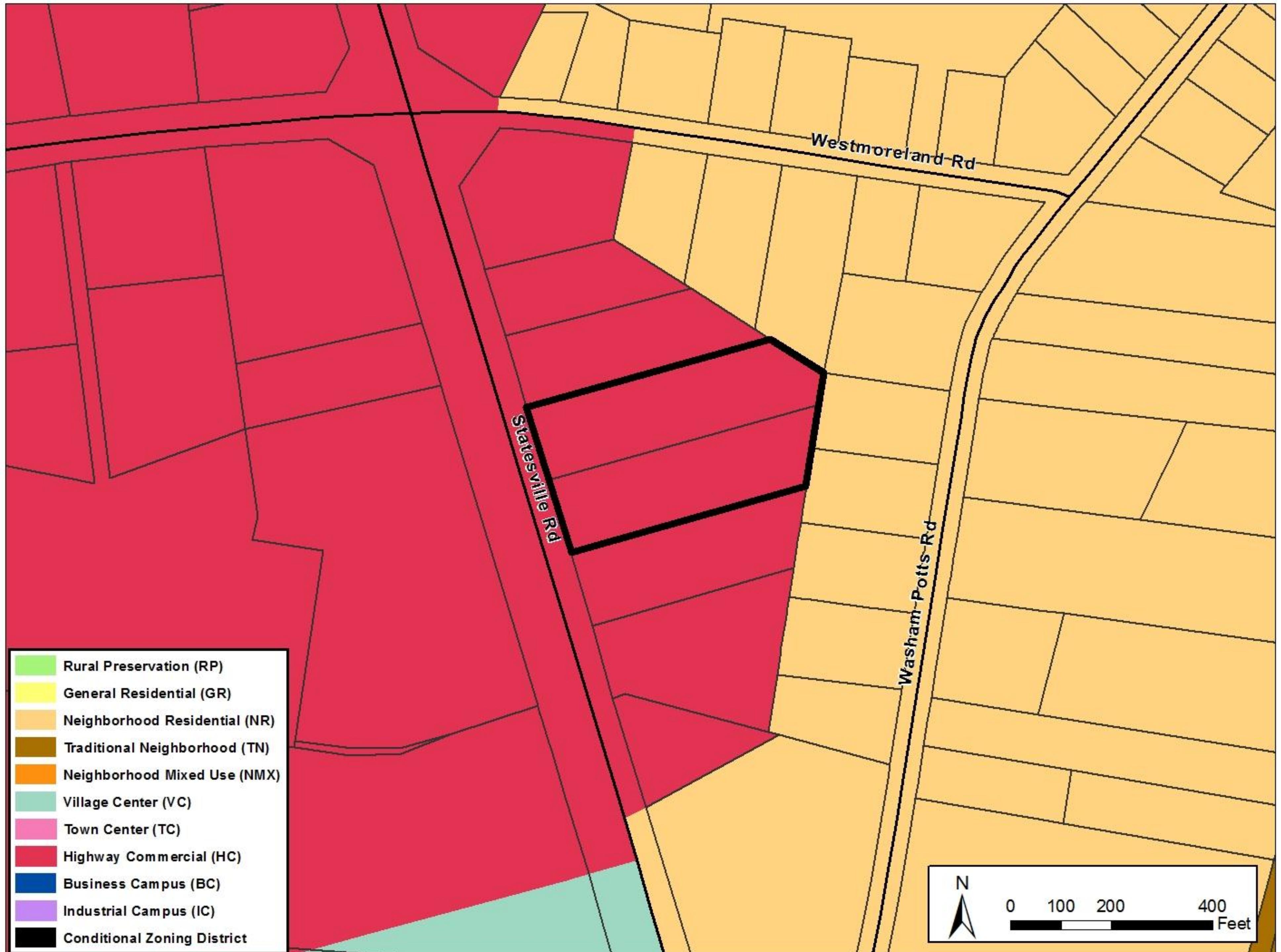
Manager's Recommendation:

Review and provide direction

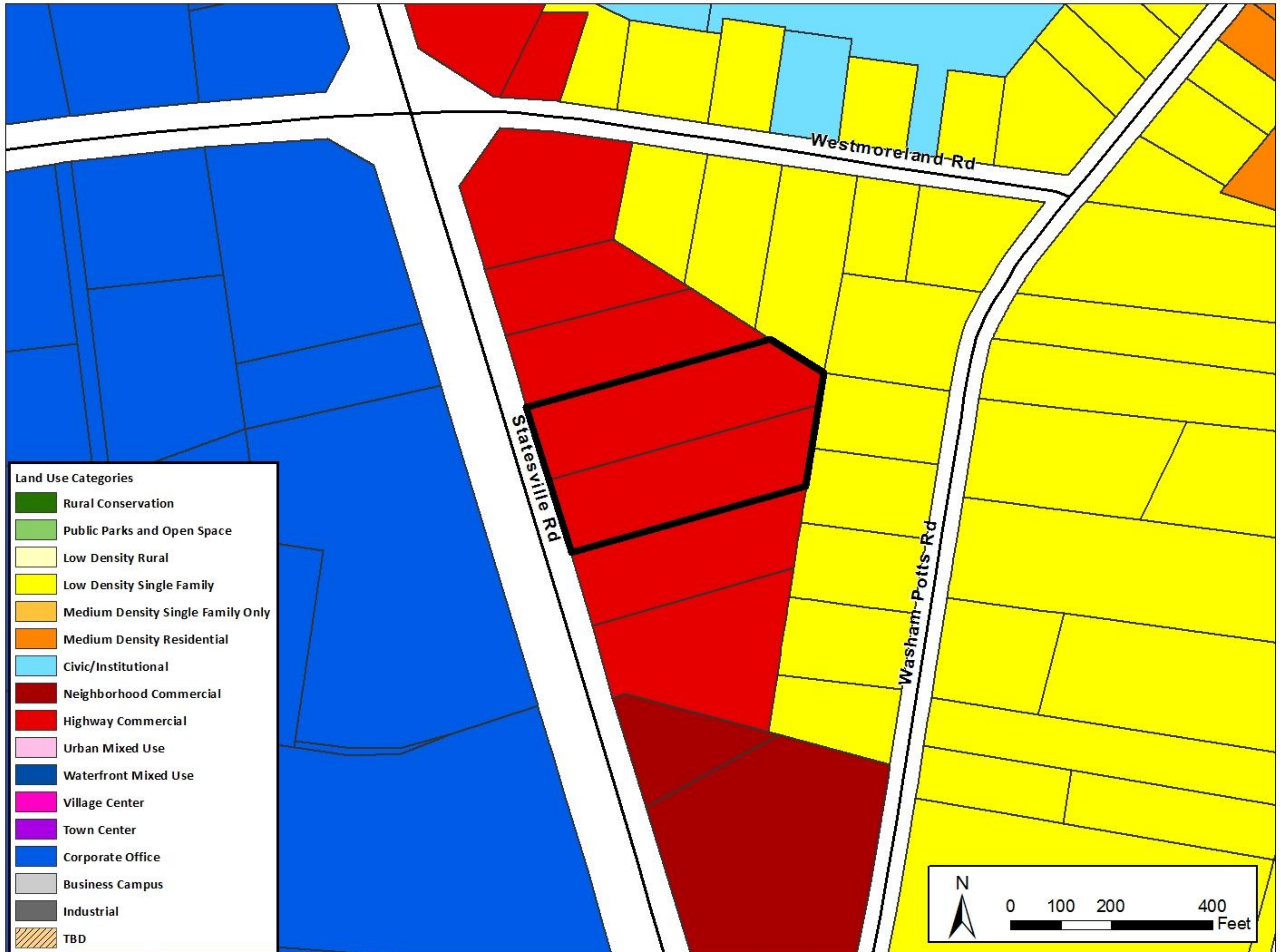
ATTACHMENTS:

Name:	Description:	Type:
 Pike_s_Zoning.jpg	Zoning Map	Backup Material
 Pike_s_LU.jpg	Land Use Map	Backup Material
 Pike_s_Vicinity.jpg	Vicinity Map	Backup Material
 Pike_s_Property.jpg	Property Map	Backup Material
 Pike_Matthews-Aerial_1_reduced.jpg	Matthews-Aerial	Backup Material
 Pike_Matthews-Corner_Elevation_reduced.jpg	Matthews-Corner	Backup Material
 Pike_Matthews-Side_Elevation.jpg	Matthews-Side	Backup Material
 Pike_Matthews-Greenhouse_exterior_reduced.jpg	Matthews-Greenhouse 1	Backup Material
 12-13-16_PIKE_Cornelius_SP-2.pdf	Site Plan	Backup Material
 2017-05_A1.0.pdf	Floor Plan	Backup Material
 2017-05_A1.1.pdf	Floor Plan_Bldg	Backup Material
 2017-05_A2.1.pdf	Elevations 1	Backup Material
 2017-05_A2.2.pdf	Elevations 2	Backup Material

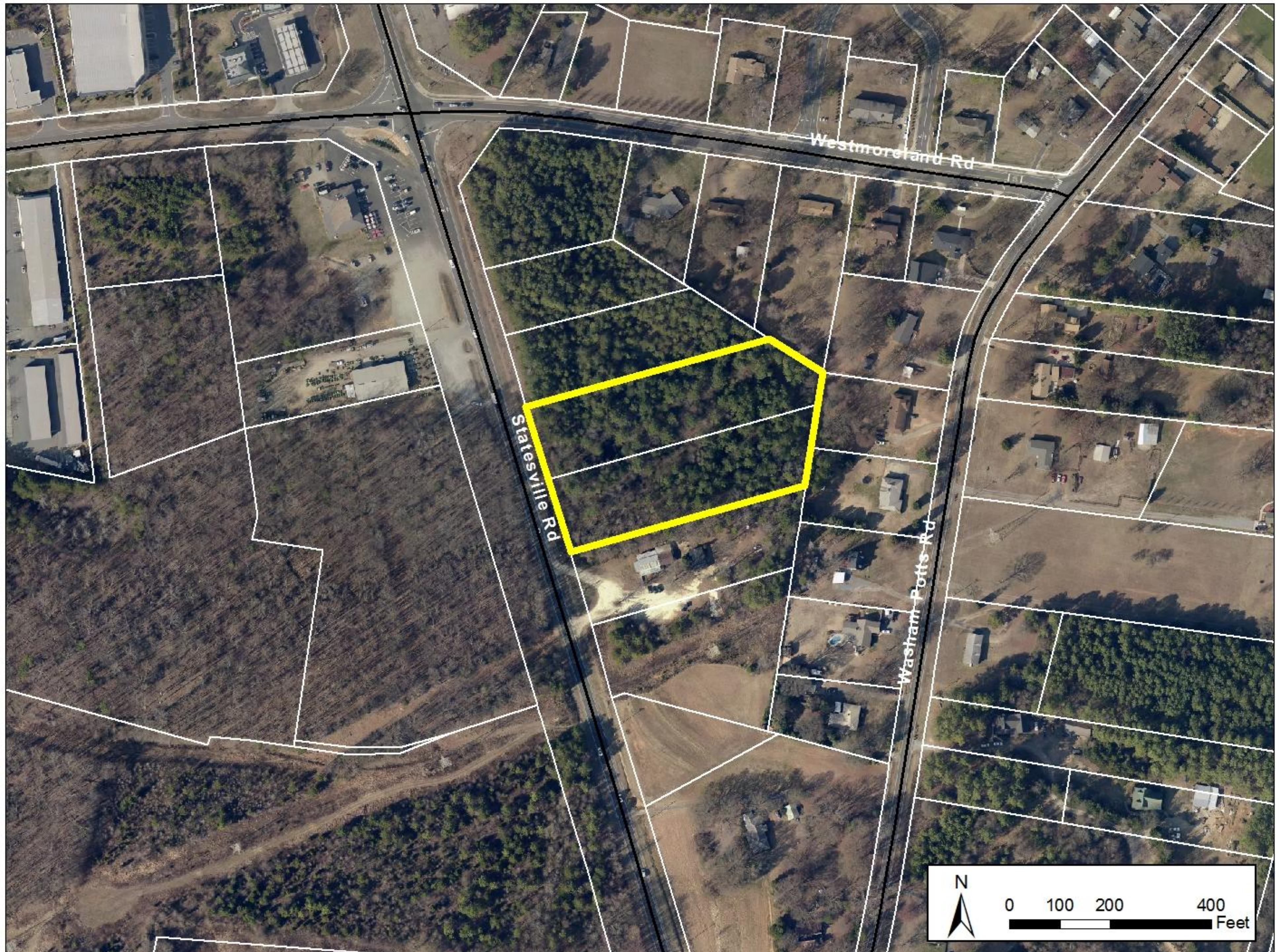
PIKE'S NURSERY SITE



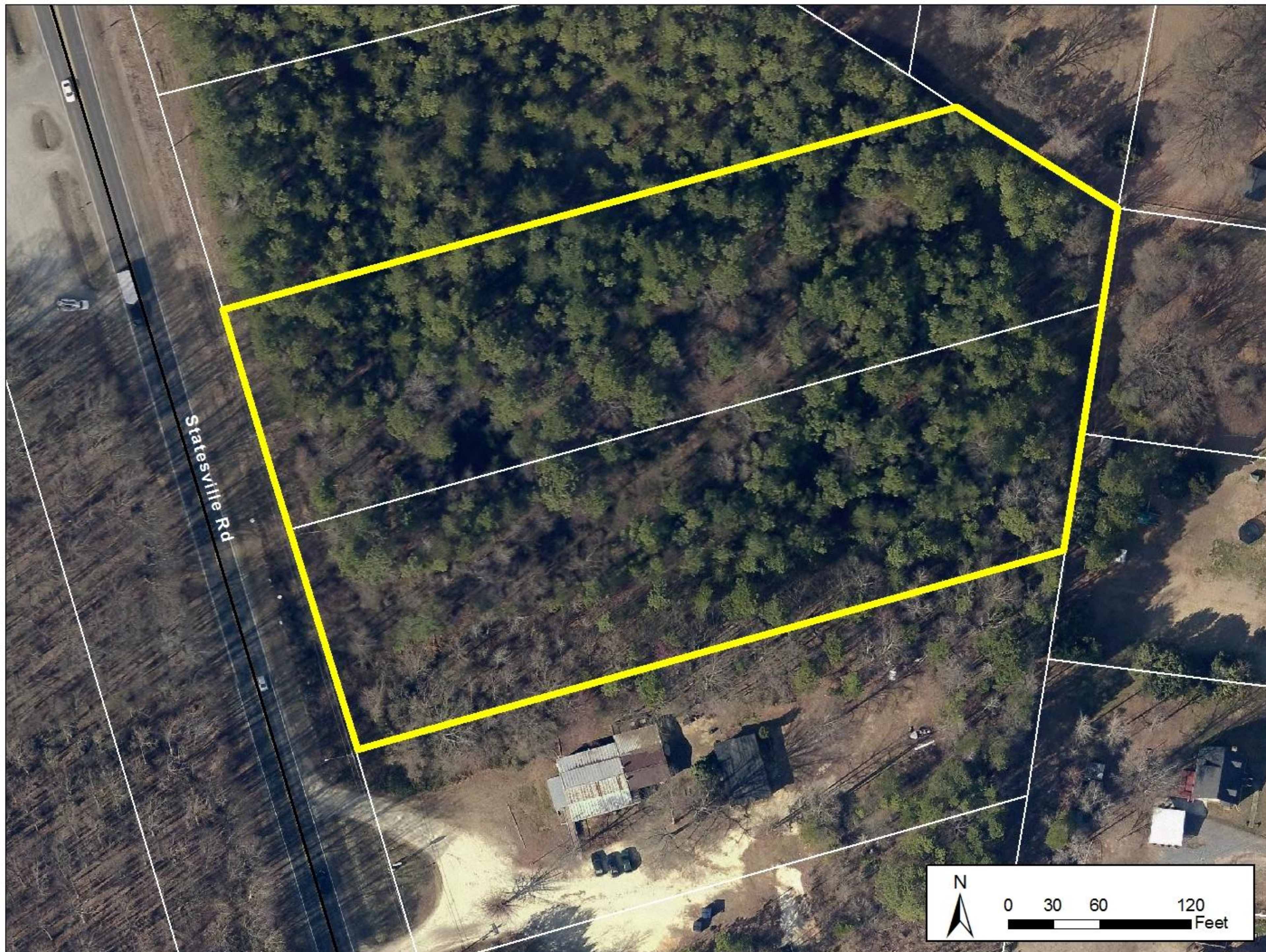
PIKE'S NURSERY SITE



PIKE'S NURSERY SITE



PIKE'S NURSERY SITE

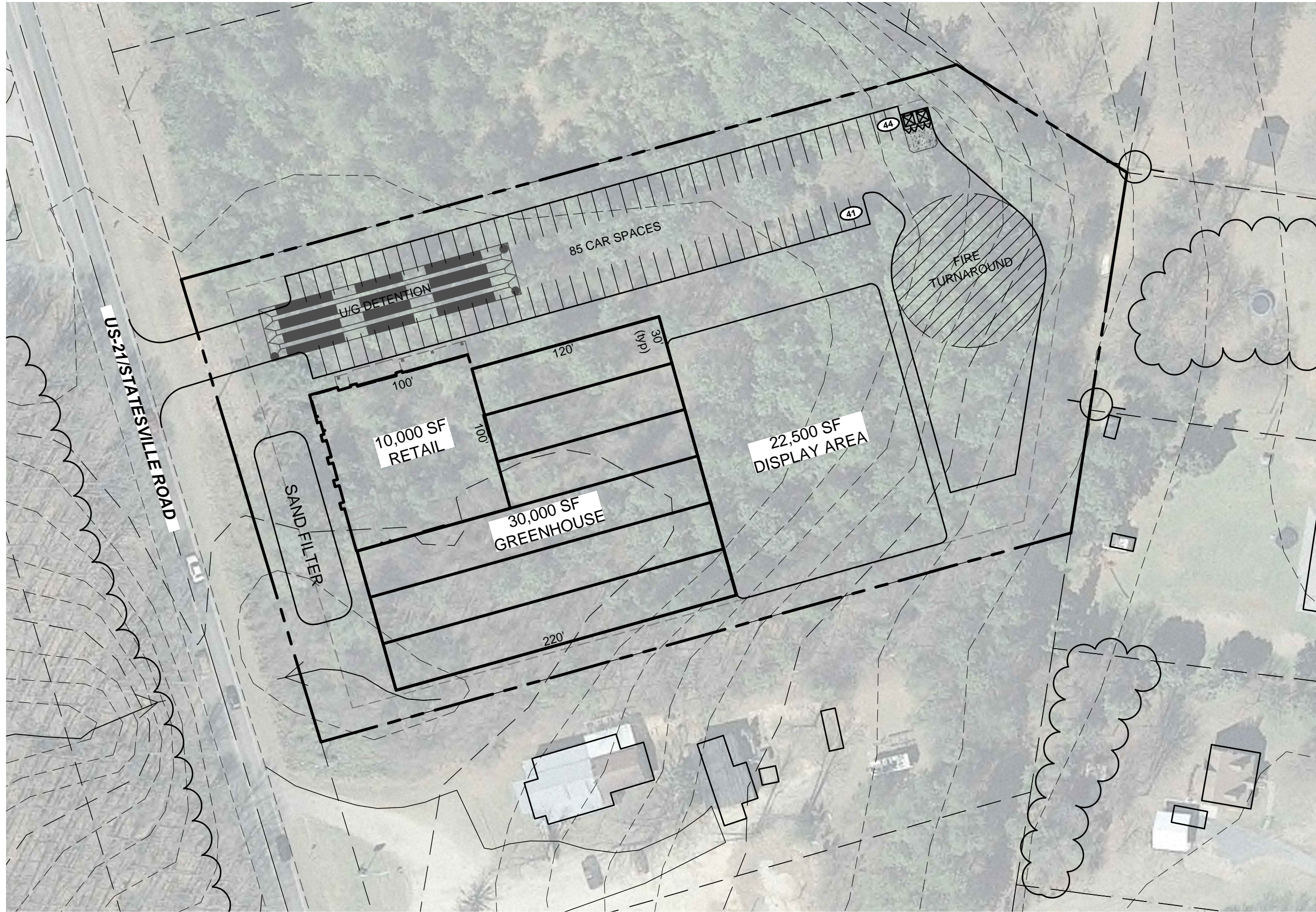












SCALE: 1"=60'

SKETCH PLAN # 2

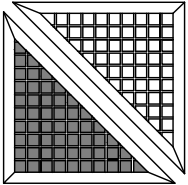
PIKE NURSERIES

JOB No.: PRELIMINARY

DRAWN BY: ChB

DATE: 12/01/16

CORNELIUS



BURTON
ENGINEERING
ASSOCIATES

CIVIL ENGINEERS
LAND PLANNERS

5950 Fairview Rd. • Suite 100 • Charlotte, NC 28210
(704) 553-8881 • Fax (704) 553-8860

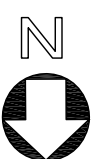
FIRM # C-1157

1. PROVIDE FIRE EXTINGUISHERS PER 2012 NBCS SECTION 906 & NFPA 10 (MOUNT @ 48" TO CONTROL), G.C. TO COORDINATE LOCATION WITH FIRE MARSHAL UPON FINAL INSPECTION.
2. PROVIDE TACTILE EXIT SIGNAGE & RESTROOM SIGNAGE PER 2012 NBCS SECTIONS 1011.3, 1110, E107 & ICC/ANSI A117.1-2009 SECTION 703.
SEE A0.1, GENERAL NOTE 10 & 03/A6.1 FOR DETAIL.
3. ALL LIFE SAFETY SYSTEMS (IF APPLICABLE: SPRINKLER, FIRE ALARM, EGRESS LIGHTING, & EXIT SIGNS) SHALL BE MAINTAINED DURING CONSTRUCTION.



704 841.1899 tel 1242 Mann Drive Suite 200
841.8440 fax Matthews, North Carolina 28105
www.UrbanAIA.com

Seals:



01 Overall Floor Plan: Life Safety Plan

(1/32" = 1'-0" when 11x17)

**PIKE NURSERIES
CORNELIUS**
New Construction

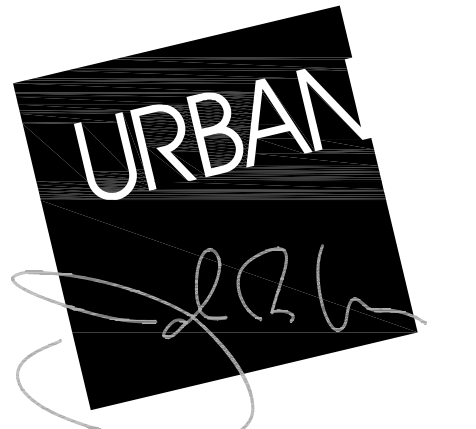
Statesville Road
Cornelius, NC 28031

Date:	January 13, 2016
Project Number:	2017-05
Issued For:	
Construction Only:	xx.xx.17

LIFE SAFETY PLAN

A1.0

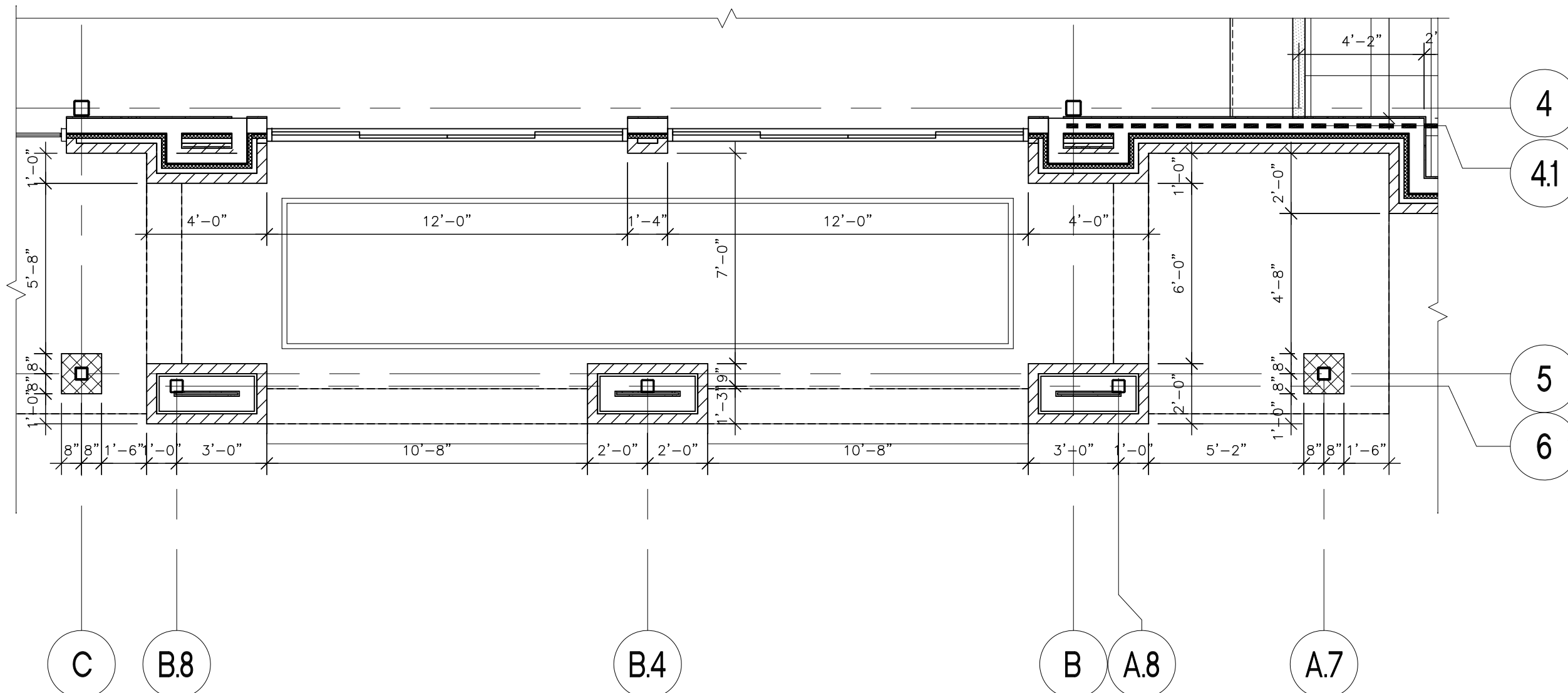
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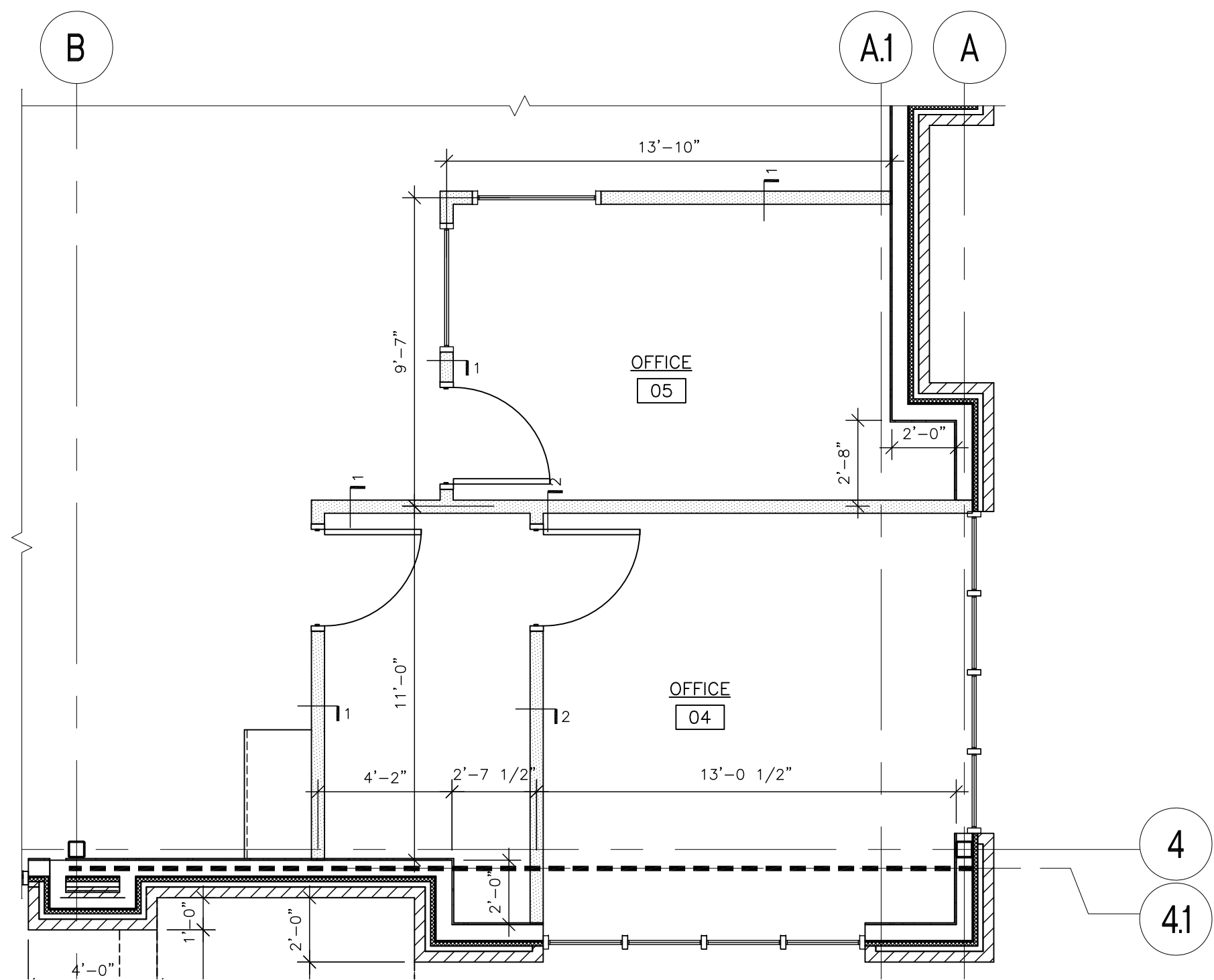
ARCHITECTURAL GROUP

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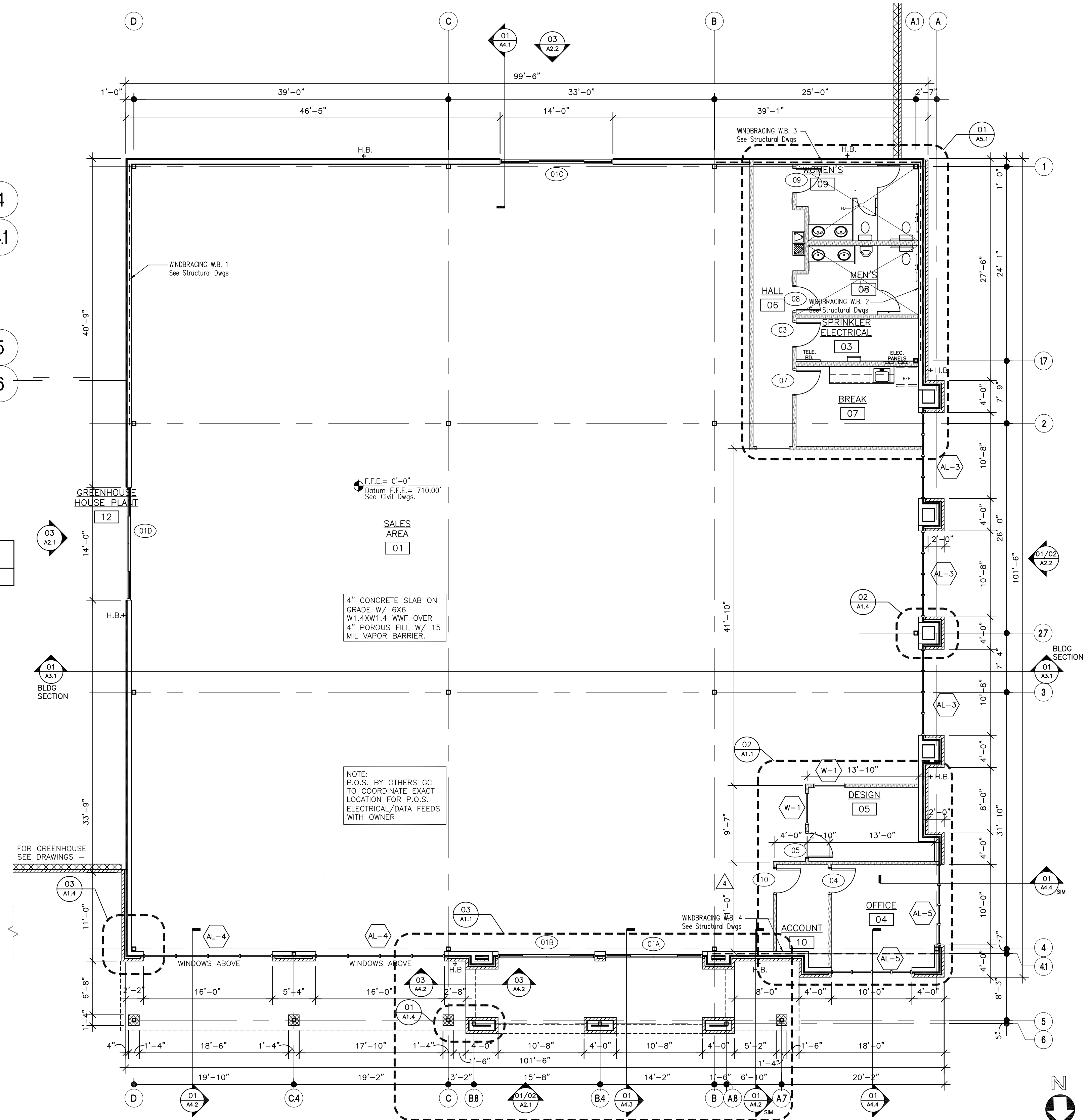
Seals:



03 ENLARGED FLOOR PLAN: Main Entrance
1/4" = 1'-0"



02 ENLARGED FLOOR PLAN: Room 04 & 05
1/4" = 1'-0"



01 FLOOR PLAN: Overall Building Plan
1/8" = 1'-0" (1/16" = 1'-0" when 11x17)

PIKE NURSERIES CORNELIUS

New Construction

Statesville Road
Cornelius, NC 28031

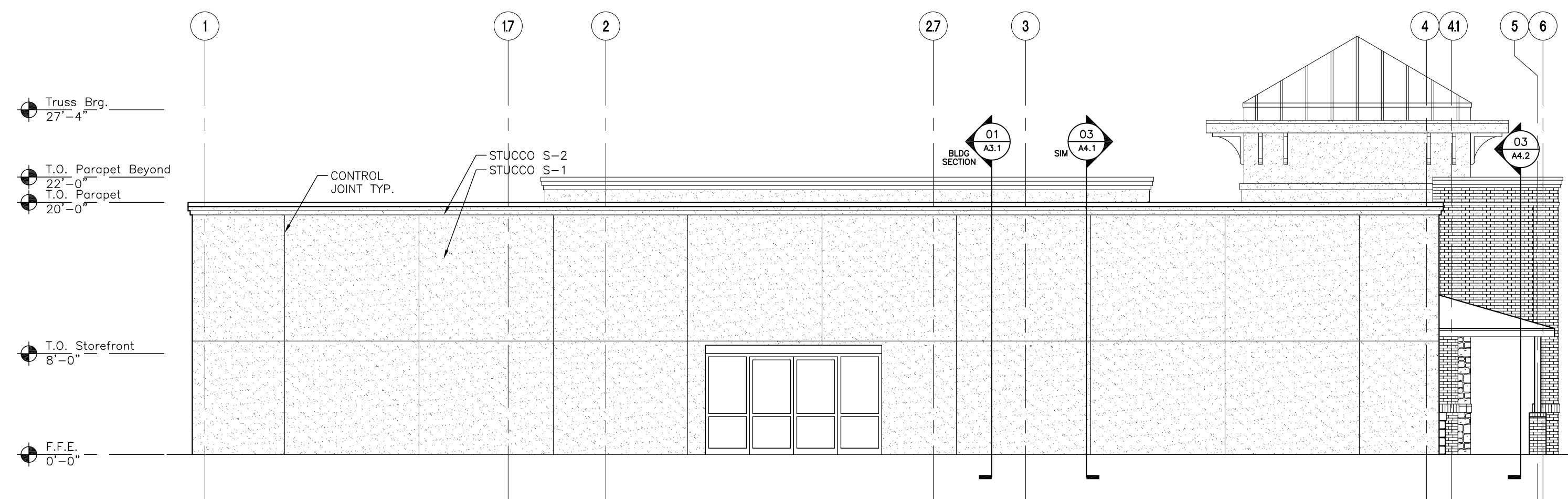
Date: January 13, 2016
Project Number: 2017-05
Issued For:
Construction Only: xx.xx.17

FLOOR PLAN

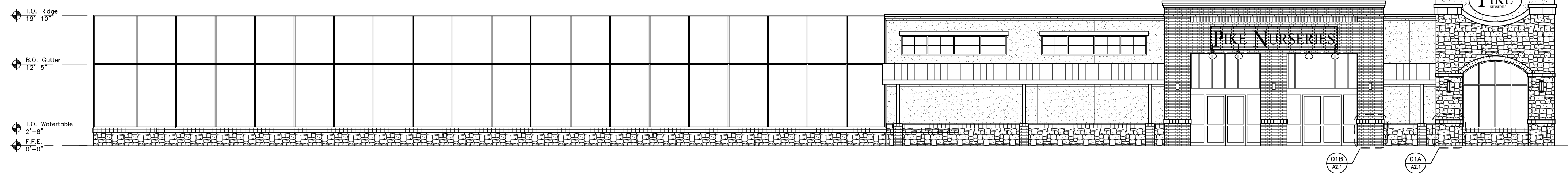
A1.1

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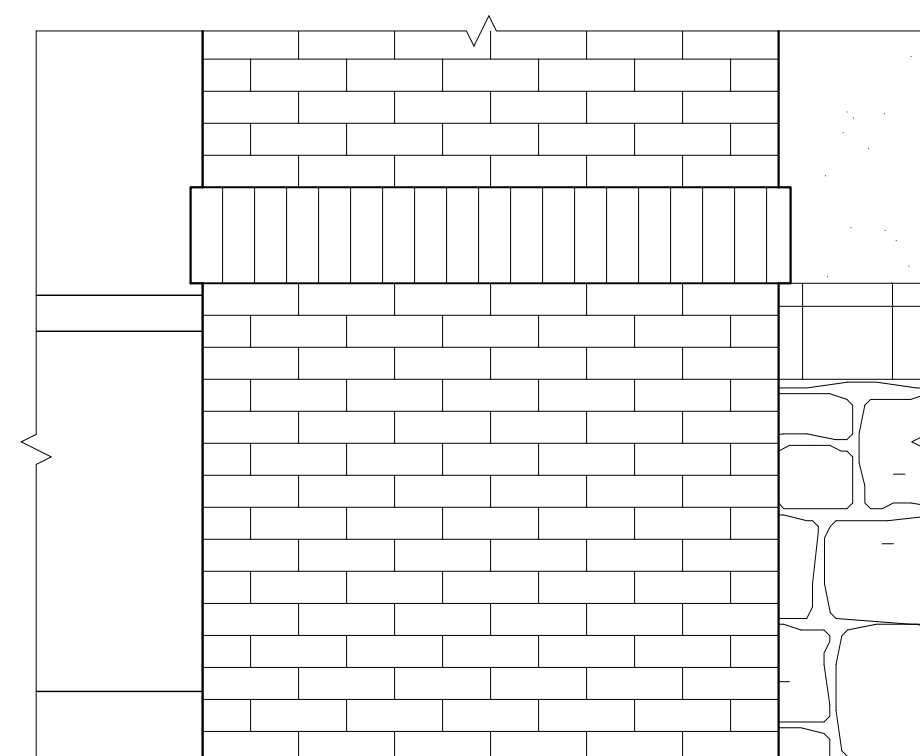
MASONRY SCHEDULE			
MASONRY TYPE	PRODUCT	NO./COLOR	MANUFACTURER
TYPE 1	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED
TYPE 2 (Upper Field)	CULTURED STONE	LIMESTONE CHARDONNAY	BORAL
TYPE 3 (Field)	BRICK	WALNUT GROVE	BORAL
TYPE 4 (Accent)	BRICK	SAVANNAH GRAY	BORAL
TYPE 5	WATERTABLE	COLOR TO BE SELECTED BY ARCHITECT	TO BE SELECTED
TYPE 6	TRIMSTONE 6"x8"x1-1/2"	COLOR TO BE SELECTED BY ARCHITECT	HORIZON STONE GRACO DISTRIBUTORS
TYPE 7	PORCH TRIM 24"x6"x3-1/2"	COLOR TO BE SELECTED BY ARCHITECT	HORIZON STONE GRACO DISTRIBUTORS
TYPE 8	FLAT WALL, CAP 12"x24"x2"	COLOR TO BE SELECTED BY ARCHITECT	HORIZON STONE GRACO DISTRIBUTORS
NOTE: Brick masonry pattern is a common running bond U.N.O. *Provide block w/ water-repellant integral admixture.			
E.I.F.S. ITEMS			
ITEM	PRODUCT	NO./COLOR	MANUFACTURER
S-1 STUCCO/E.I.F.S. (Field)	Exterior Insulation Finish System	#FS-10B Manor White FINISH: Limestone	BA5F Wall Systems Inc. Finestone
S-2 STUCCO/E.I.F.S. (Accent)	Exterior Insulation Finish System	#FS-10622 FINISH: Limestone	BA5F Wall Systems Inc. Finestone
S-3 STUCCO/E.I.F.S. (Brackets)	Exterior Insulation Finish System	#FS-6 TAN FINISH: Limestone	BA5F Wall Systems Inc. Finestone
PAINT & DECORATIVE ITEMS			
ITEM	PRODUCT	NO./COLOR	MANUFACTURER
Coping Cap	Pre-Finished	Hartford Green	UNA-CLAD or approved Equal
Standing Seam	Pre-Finished	Hartford Green	UNA-CLAD or approved Equal
PNT-1	Paint	Hartford Green	SHERWIN WILLIAMS
NOTES:			
NOTES: 1. X Substitutions can be made with Owner/Architect's approval.			
MASONRY SUBMITTALS:			
1. Brick and/or Decorative Block Samples: Submit 5 samples of each type of exposed brick required, include in each set the full range of color and texture to be expected in the completed work. Architect review will be for color and texture only. Compliance with all other requirements is the exclusive responsibility of the Contractor. 2. Mock-Up Example Panel: Erect two sample wall panel of brick at project site. Build panels 4'-0" long and 4'-0" high. Panels shall show proposed material, method of laying, workmanship, installation of reinforcing and color of mortar. Contractor shall be responsible for maintaining sample panels throughout the construction period and the removal of panels after the job is completed. Panels shall be the standard of construction of all brick masonry. See elevations-- indicating mock-up view. 3. Product Handling: Store materials under cover, in dry place, and in manner to prevent damage or intrusion of foreign matter.			



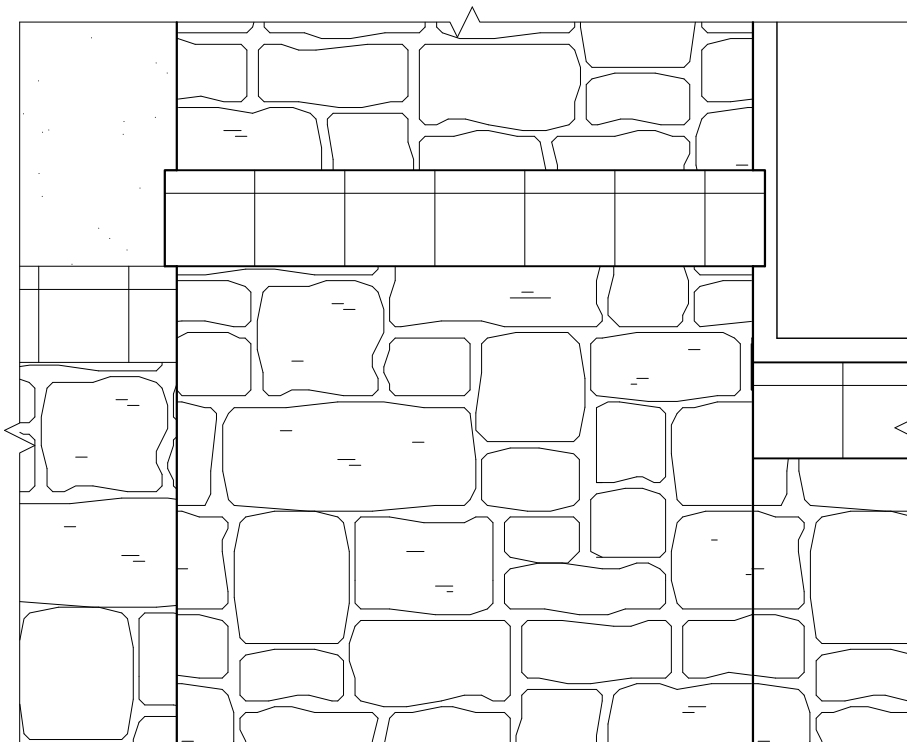
03	ELEVATION: Left Side
	1/8" = 1'-0"



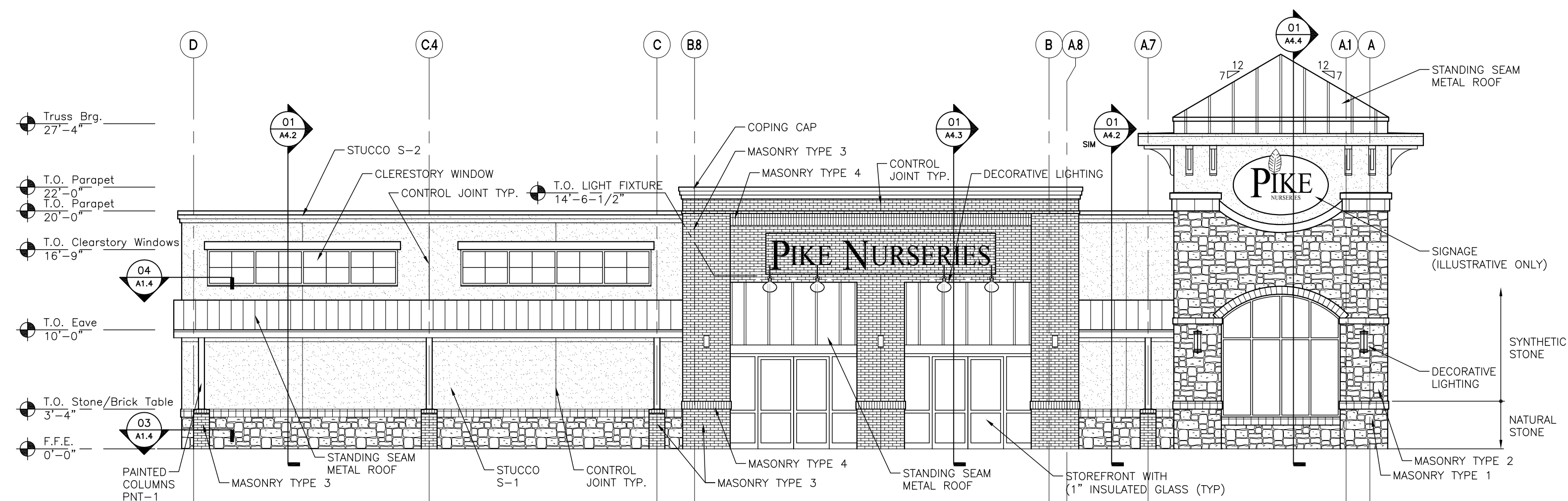
02	ELEVATION: Facing Parking Lot
	3/32" = 1'-0"



01B	ELEVATION: Brick Mock Up
	3/4" = 1'-0"



01A	ELEVATION: Stone Mock Up
	$\frac{3}{4}" = 1'-0"$



01	ELEVATION: Facing Parking Lot
	1/8" = 1'-0"

(1/16" = 1'-0" when 11x17)



ARCHITECTURAL GROUP

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841.8440 fax Matthews, North Carolina 28105
www.UrbanAIA.com

Seals:

PIKE NURSERIES
New Construction

Statesville Road
Cornelius, NC 28031

Date: January 13, 2015

Project Number: 2017-05

Issued For:

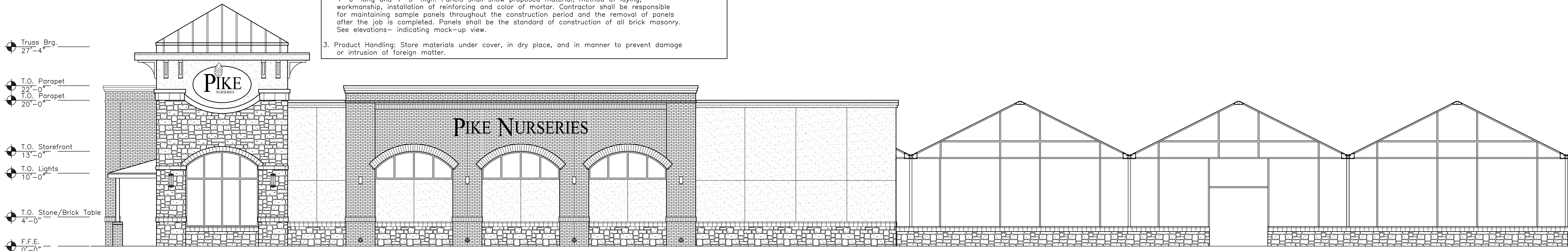
Construction Only: xx.xx.17

EXTERIOR ELEVATIONS

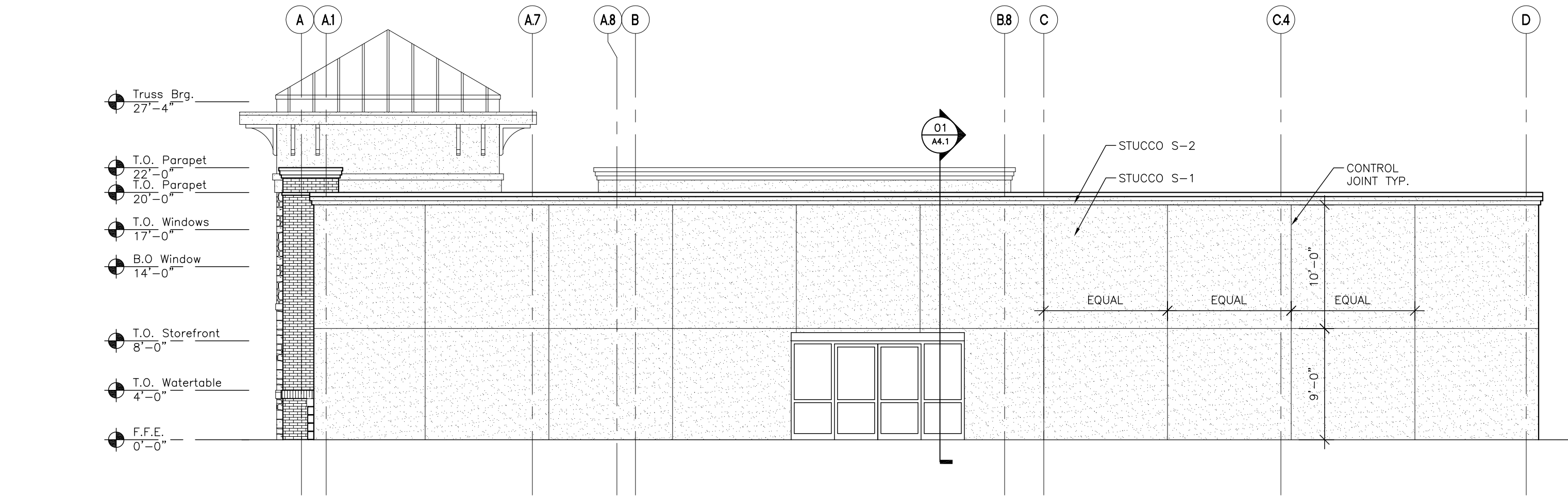
A2.1

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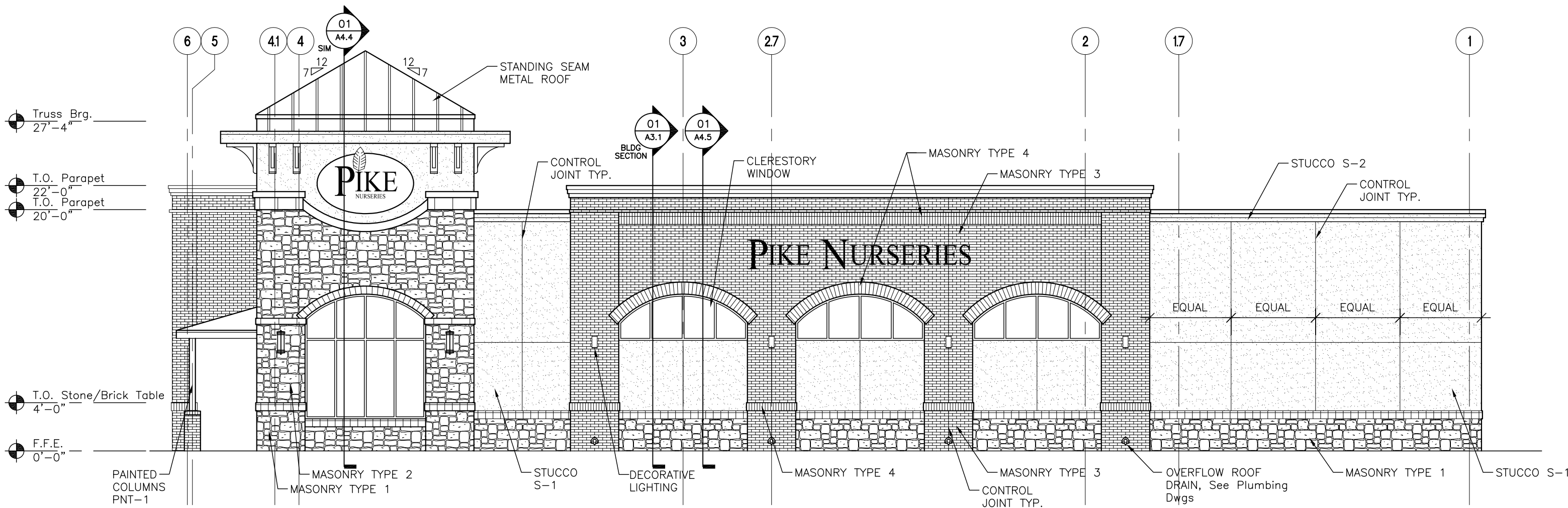
EXTERIOR FINISH SCHEDULE			
MASONRY SCHEDULE			
MASONRY TYPE	PRODUCT	NO./COLOR	MANUFACTURER
TYPE 1	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED
TYPE 2 (Upper Field)	CULTURED STONE	LIMESTONE CHARDONNAY	BORAL
TYPE 3 (Field)	BRICK	WALNUT GROVE	BORAL
TYPE 4 (Accent)	BRICK	SAVANNAH GRAY	BORAL
TYPE 5	WATERTABLE	COLOR TO BE SELECTED BY ARCHITECT	TO BE SELECTED
TYPE 6	TRIMSTONE	COLOR TO BE SELECTED BY ARCHITECT	HORIZON STONE GRACO DISTRIBUTORS
TYPE 7	PORCH TRIM	COLOR TO BE SELECTED BY ARCHITECT	HORIZON STONE GRACO DISTRIBUTORS
TYPE 8	FLAT WALL CAP	COLOR TO BE SELECTED BY ARCHITECT	HORIZON STONE GRACO DISTRIBUTORS
NOTE: Brick masonry pattern is a common running bond U.N.O. *Provide block w/ water-repellant integral admixture.			
E.I.F.S. ITEMS			
ITEM	PRODUCT	NO./COLOR	MANUFACTURER
S-1	Exterior Insulation Finish System	#FS-108 Manor White FINISH: Limestone	BASF Wall Systems Inc. Finestone
S-2	Exterior Insulation Finish System	#FS-10622 FINISH: Limestone	BASF Wall Systems Inc. Finestone
S-3	Exterior Insulation Finish System	#FS-6 TAN FINISH: Limestone	BASF Wall Systems Inc. Finestone
STUCCO/E.I.F.S. (Brackets)			
PAINT & DECORATIVE ITEMS			
ITEM	PRODUCT	NO./COLOR	MANUFACTURER
Coping Cap	Pre-Finished	Hartford Green	UNA-CLAD or approved Equal
Standing Seam	Pre-Finished	Hartford Green	UNA-CLAD or approved Equal
PNT-1	Paint	Hartford Green	SHERWIN WILLIAMS
NOTES:			
1. X Substitutions can be made with Owner/Architect's approval.			
MASONRY SUBMITTALS:			
1. Brick and/or Decorative Block Samples: Submit 5 samples of each type of exposed brick required. Include in each set the full range of color and texture to be expected in the completed work. Architect review will be for color and texture only. Compliance with all other requirements is the exclusive responsibility of the Contractor.			
2. Mock-Up Example Panel: Erect two sample wall panel of brick at project site. Build panels 4'-0" long and 4'-0" high. Panels shall show proposed material, method of laying, workmanship, installation of reinforcing and color of mortar. Contractor shall be responsible for maintaining sample panels throughout the construction period and the removal of panels after the job is completed. Panels shall be the standard of construction of all brick masonry. See elevations indicating mock-up view.			
3. Product Handling: Store materials under cover, in dry place, and in manner to prevent damage or intrusion of foreign matter.			



02 ELEVATION: Statesville Road
1/8" = 1'-0"



03 ELEVATION: Rear Side Facing Greenhouse
1/8" = 1'-0"



01 ELEVATION: Statesville Road
1/8" = 1'-0"

(1/16" = 1'-0" when 11x17)



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Seals:

PIKE NURSERIES
New Construction

Statesville Road
Cornelius, NC 28031

Date: January 13, 2015
Project Number: 2017-05
Issued For:
Construction Only: xx.xx.17

EXTERIOR ELEVATIONS

A2.2

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REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: January 27, 2017

To: Architectural Review Board Members
From: Jason T. Pauling, AICP - Senior Planner















Action Requested:

A request to construct a 10,974 square foot retail hardware store on Jetton Road Extension across from Aquesta Bank. The applicants are requesting a major architectural variation from the following sections: 4.6.3(B)(3), and 4.6.3(B)(4).

Manager's Recommendation:

Review and provide direction

ATTACHMENTS:

Name:	Description:	Type:
 variation_(2).pdf	VAR Request Letter	Backup Material
 LKN_Hardware_Zoning.jpg	Zoning Map	Backup Material
 LKN_Hardware_LU.jpg	Land Use Map	Backup Material
 LKN_Hardware_Vicinity.jpg	Vicinity Map	Backup Material
 LKN_Hardware_Property.jpg	Property Map	Backup Material
 Survey_for_ARB.pdf	Property Survey	Backup Material
 Site_Plan_for_ARB.pdf	Site Plan	Backup Material
 Truvalue_jan19_(2).jpg	Jetton Elevation (Color)	Backup Material
 revised_elevations.pdf	Elevations	Backup Material
 Floor_plan_for_ARB.pdf	Floor Plan	Backup Material
 fxZgG8_rei.jpg	Photo Ex 1	Backup Material
 HwFg1N_rei.jpg	Photo Ex 2	Backup Material
 index_jcrew.jpg	Photo Ex 3	Backup Material
 yc17Yi_erehwon.jpg	Photo Ex 4	Backup Material

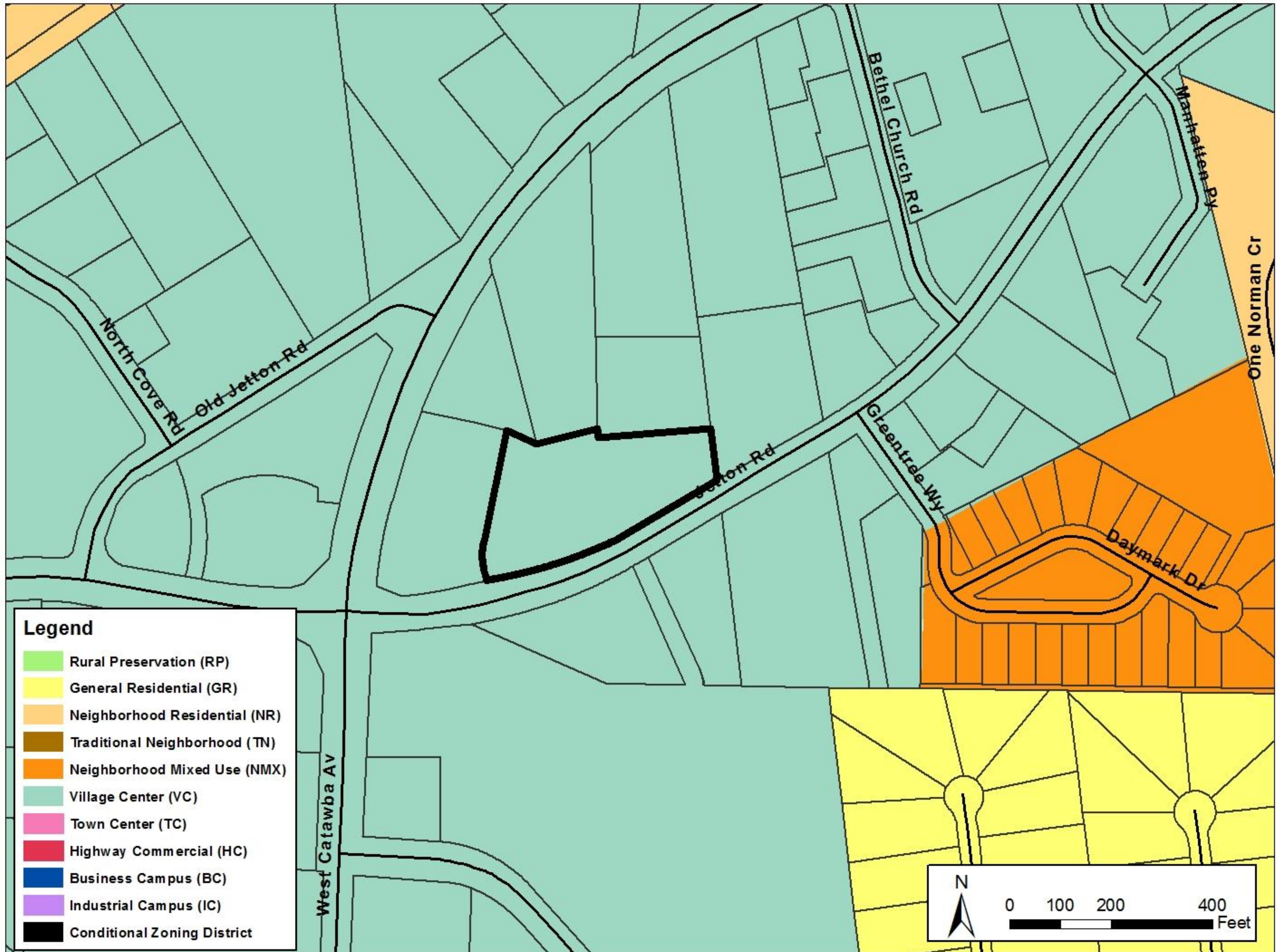
**Wilber
Associates**
ARCHITECTS/PLANNERS

We are requesting variation for Section 4.6.3(B)(3) due to the fact that we will not be having 70% windows on the street frontage. Our storefront/window area will be 34.5%.

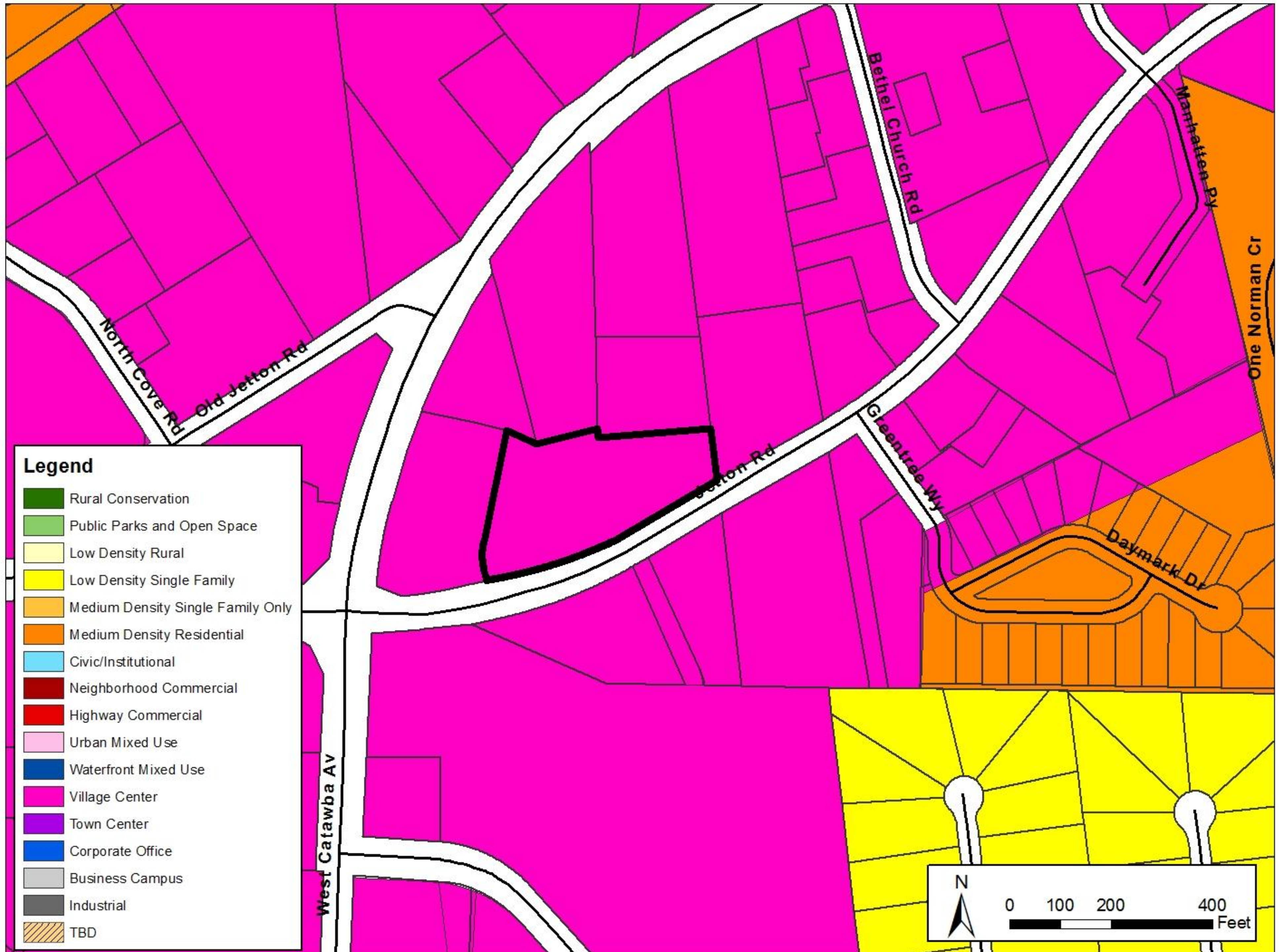
We would also like to request variation for Section 4.6.3(B)(4), requiring penetrations no greater than sixteen (16) on the street facade. The glass on the street facade is grouped in the center, allowing more wall space for retail display.

Under the General Principles 4.6.1, we will be in compliance with the 10 items listed. Our scale and massing are relative to the adjacent properties, and other existing properties in that vicinity. We are in compliance with the street orientation, lot width and setbacks. As for the architectural style, our proposed building is compatible with, (but not matching) the style of others in that area

MAV 01-17: Lake Norman Hardware



MAV 01-17: Lake Norman Hardware

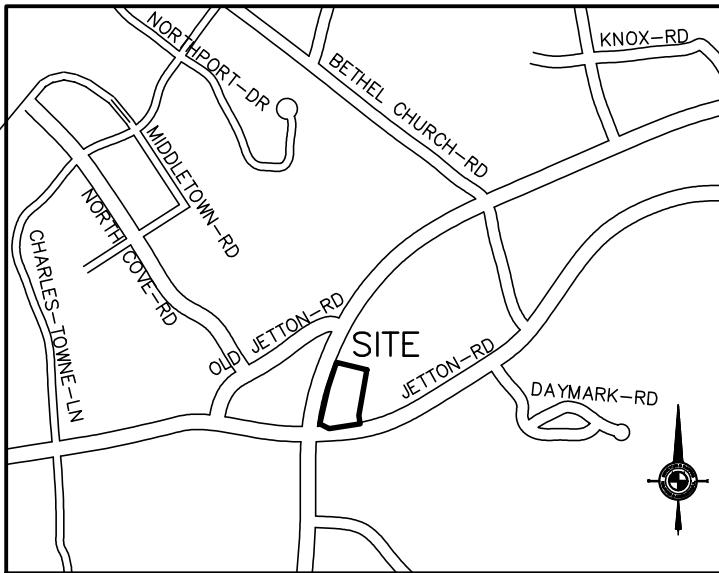
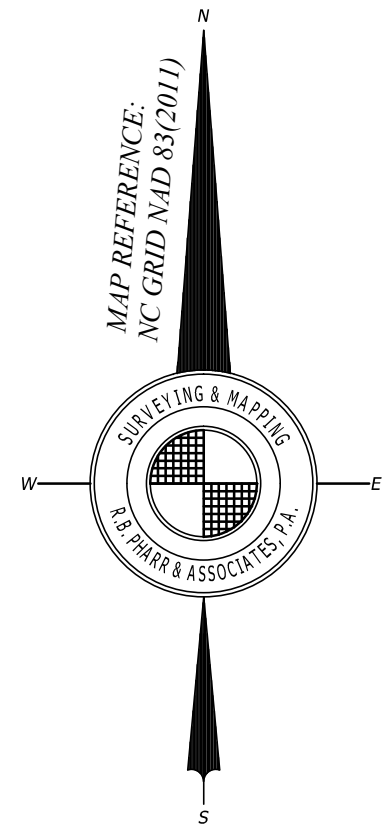


MAV 01-17: Lake Norman Hardware



MAV 01-17: Lake Norman Hardware





NOTES:

1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
5. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
6. ELEVATIONS BASED ON N.G.S. MONUMENT "DEAN", ELEVATION = 777.52 FEET, NAVD 88.
7. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT-OF-WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:

ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
SUBJECT PROPERTY ZONED: VC

MINIMUM SETBACK: 25'
MINIMUM SIDE YARD: 10'
MINIMUM REAR YARD: 25'

* SETBACK - STATE ROAD

FOR FURTHER INFORMATION CONTACT THE TOWN
OF CORNELIUS ZONING DEPARTMENT AT
704-892-6032.

LEGEND:

C&G - CURB & GUTTER
CB - CATCH BASIN
CMP - CORRUGATED METAL PIPE
CPP - CORRUGATED PLASTIC PIPE
D.B. - DEED BOOK
EIP - EXISTING IRON PIPE
EIR - EXISTING IRON ROD
EN - EXISTING NAIL
LP - LIGHT POLE
(M) - MEASURED
M.B. - MAP BOOK
N.G.S. - NATIONAL GEODETIC SURVEY
NN - NEW NAIL
PIN - PARCEL IDENTIFICATION NUMBER
PG. - PAGE
(R) - RECORDED
R/W - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
SDMH - STORM DRAIN MANHOLE
SSMH - SANITARY SEWER MANHOLE
TBM - TEMPORARY BENCHMARK
WV - WATER VALVE

LINE LEGEND:

EASEMENT
FENCE
GUARD RAIL
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
SANITARY SEWER PIPE
STORM DRAIN PIPE
STORM DRAIN PIPE >12"



Know what's below.
Call before you dig.

UNIT U/F 720-1
WILLIAM A LAW "ET AL"
D.B. 23326, PG. 690
PIN: 005-123-31

M.B. 33, PG. 903
WILLIAM A LAW "ET AL"
D.B. 28520, PG. 659
PIN: 005-123-29

M.B. 33, PG. 903
PORTION OF
PLUER FAMILY LLC
D.B. 10626, PG. 284
PIN: 005-123-11

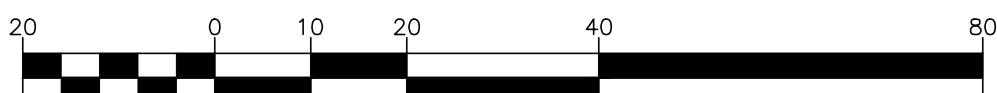
M.B. 33, PG. 903
PORTION OF
PLUER FAMILY LLC
D.B. 10626, PG. 284
PIN: 005-123-11

LOT 1,
M.B. 30, PG. 433
PLEUR-RICK-STEPH-LLC "ET AL"
D.B. 9809, PG. 872
PIN: 005-123-12

JETTON ROAD
VARIABLE PUBLIC R/W
MAP BOOK 33, PAGE 913

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	837.35'	183.07'	S71°48'01"W	182.71'
C2	129.76'	56.74'	N00°18'58"W	56.29'

GRAPHIC SCALE



PRELIMINARY

FLOOD CERTIFICATION

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED MARCH 2, 2009.

MAP NUMBER: 371463300J. ZONED X

THIS IS TO CERTIFY THAT ON THE 16TH DAY OF NOVEMBER, 2016, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (2) NCAC 36 AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED

GPS CERTIFICATION:

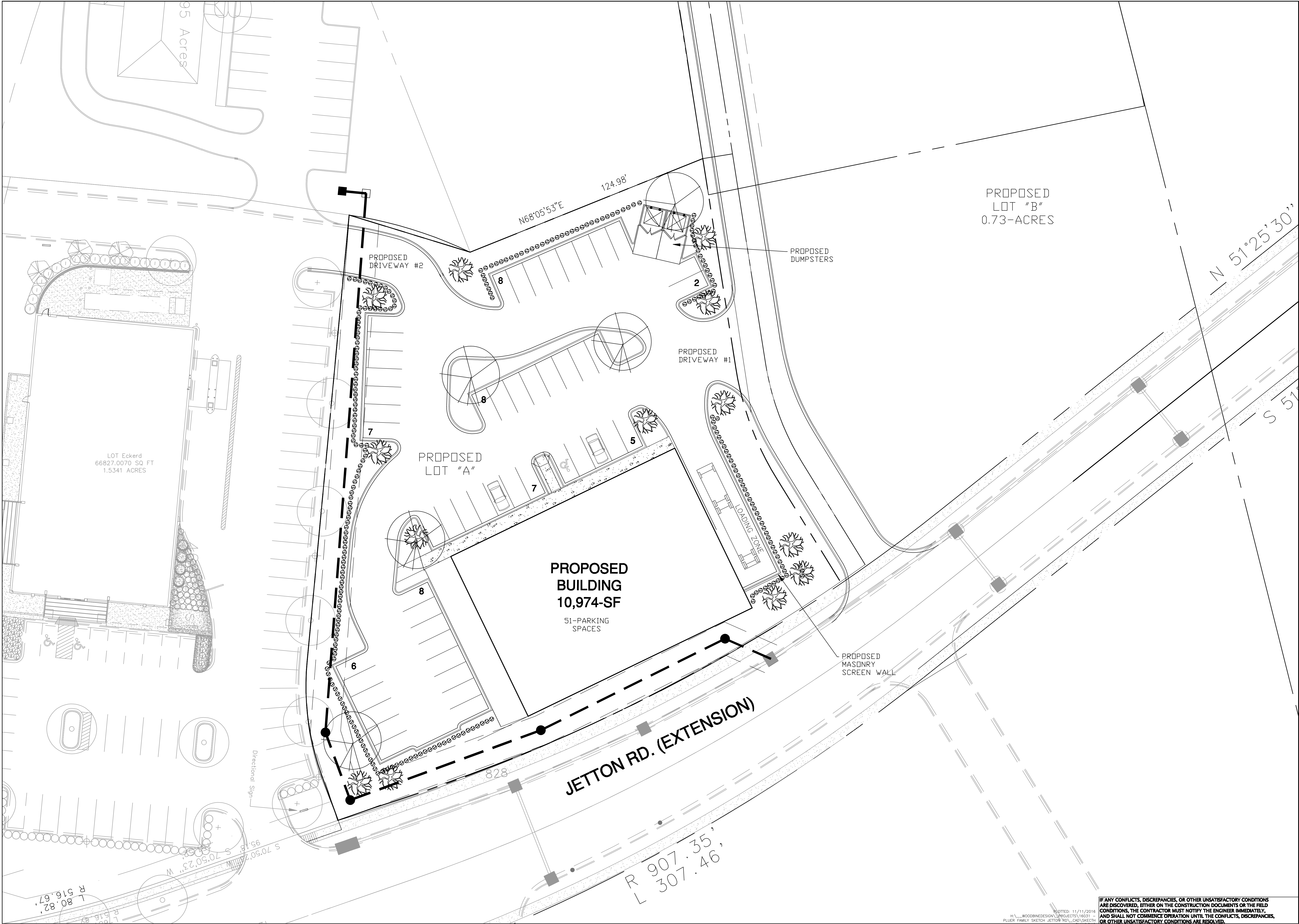
I, CHARLES E. BELL, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

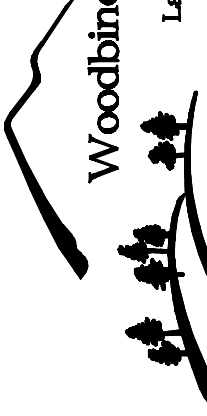
- (1) CLASS OF SURVEY: 4(1) 10.0000
- (2) POSITIONAL ACCURACY: HORIZ: N:0.0013; E:0.0120; VERT:0.0128
- (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
- (4) DATES OF SURVEY: NOV. 14, 2016
- (5) DATUM/EPOCH: NAVD83/AD83
- (6) PUBLISHED/FIXED-CONTROL USE: NGS MONUMENT "DEAN"
- (7) GEOID MODEL: GEOID12B (CONUS)
- (8) COMBINED GRID FACTOR(S): 0.99984698
- (9) UNITS: US SURVEY FEET

TOTAL AREA
55,221 SQ. FT. OR 1.2677 ACRES


REVISIONS			TOPOGRAPHIC SURVEY PREPARED FOR:		
			JLL		
			OF:		
			A PORTION OF THE PLUER FAMILY LLC PROPERTY		
			TOWN OF CORNELIUS, MECKLENBURG COUNTY, NC		
			MAP REFERENCE: 33-903		
			DEED REFERENCE: 10626-284		
			TAX PARCEL NO: 005-123-11		
			R.B. PHARR & ASSOCIATES, P.A.		
			SURVEYING & MAPPING		
			420 HAWTHORNE LANE CHARLOTTE, N.C. 28204 TEL. (704) 376-2186		
			SCALE: DATE: FILE NO. W-5222		
			1" = 20' NOV 16, 2016 JOB NO. 85975		
CREW: GW/BS	DRAWN: CB/DJ	REVISED:			

PLOTTED: 12/2/2016
G:\8519\85975\DWG\85975.DWG

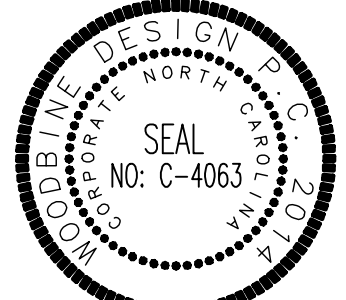




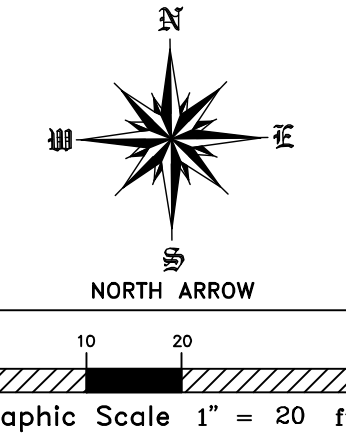
Woodbine Design, P.C.
Land planning & civil engineering
www.woodbinedesign.com 980.722.2669 20816 N. Main Street, Suite 204
pwoddy@woodbinedesign.com 704.315.8367 Cornelius, NC 28031



FREEMAN
NOT FOR
CONSTRUCTION
SEAL



WOODBINE DESIGN, P.C.
SEAL
NO: C-4063



NORTH ARROW
Graphic Scale 1" = 20 ft.

TRUE VALUE HARDWARE
JETTON RD., CORNELIUS, NC
Mecklenburg, Co.

SKETCH PLAN

DEVELOPER/OWNER

Designed By
Woodbine Design

Drawn By
PW

Date
8/19/16

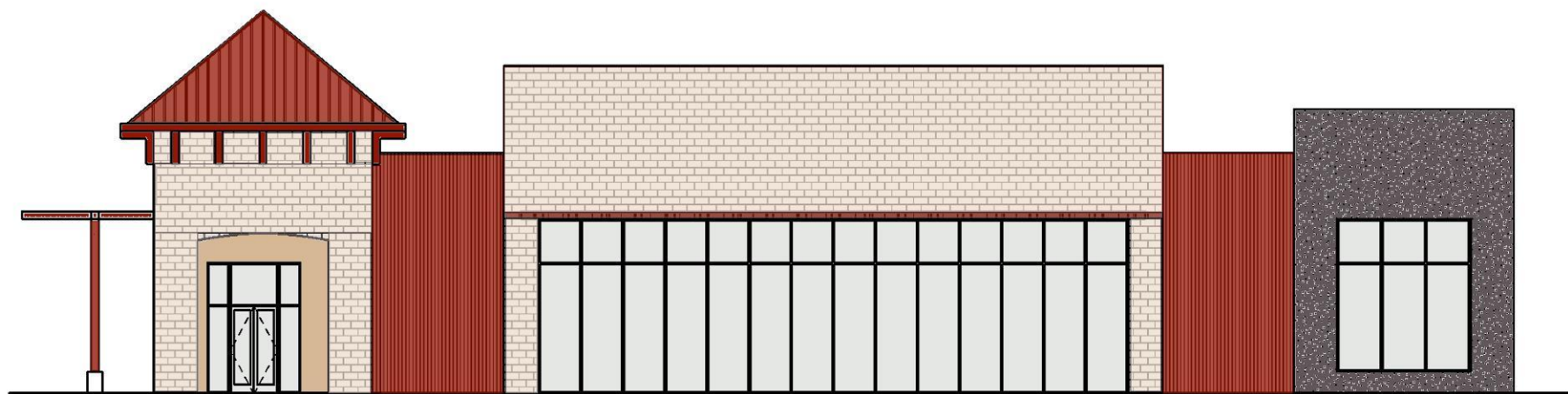
Revisions
10/12/16 per reviews

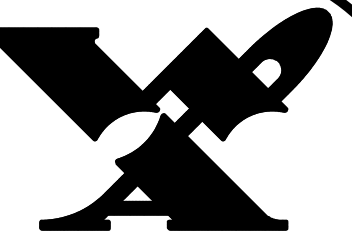
Sheet **Z5** of **1**

Project Number **16031**

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

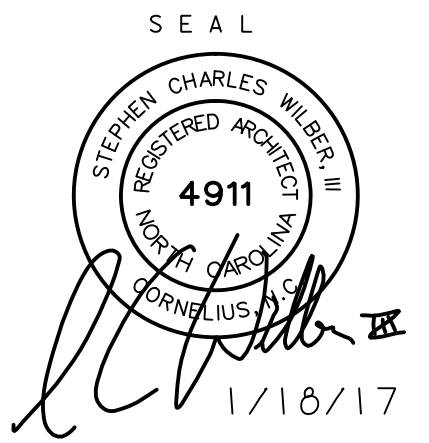
PLOTTED: 11/11/2016
H:\WOODBINE\DESIGN\PROJECTS\16031 - PULVER FAMILY SKETCH - JETTON RD., CAD\SKETCH





Wilber Associates
Architecture / Planning
P.O. Box 428 - 20044 N. Zion St.
Cornelius, N.C. 28031
704-892-3633

NOTE
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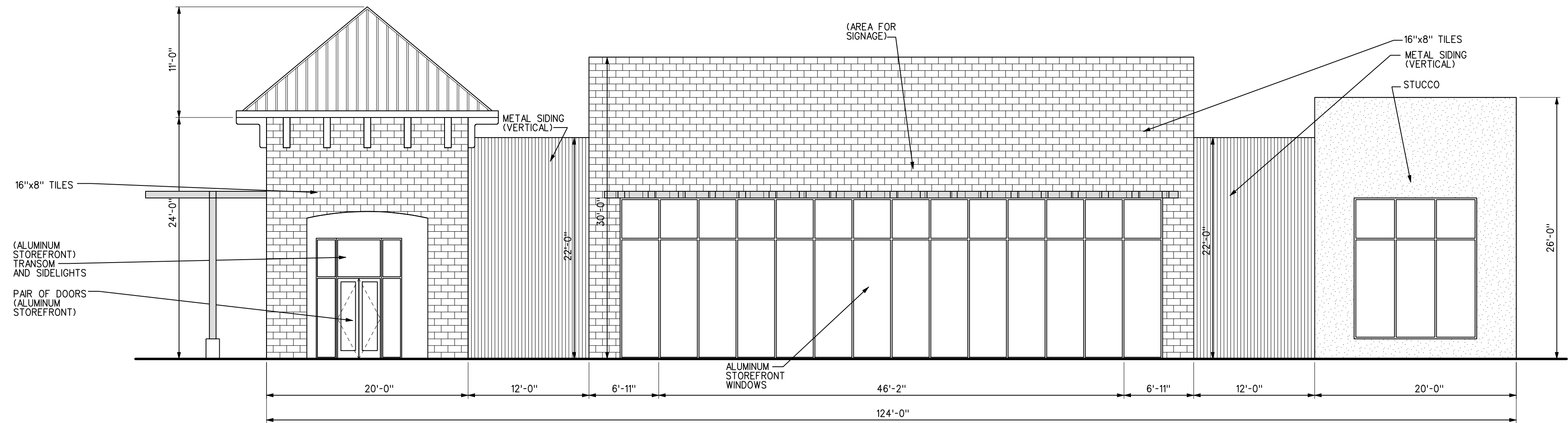


TITLE

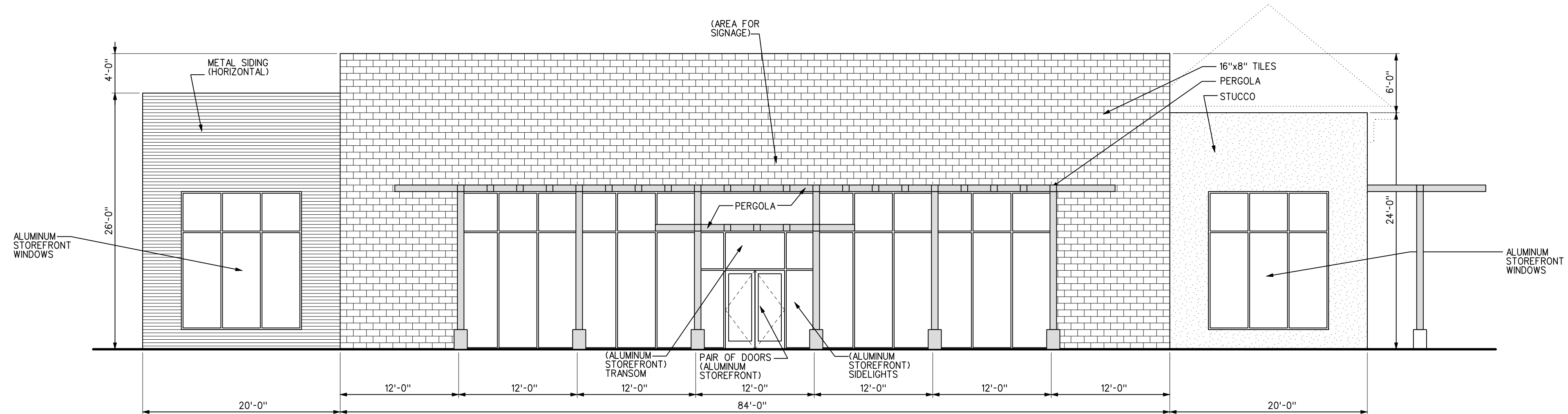
NEW BUILDING FOR
LAKE GARDEN & HARDWARE
JETTON ROAD
CORNELIUS, NC

COMM. NO. 1688
DATE 1/18/17
REVISIONS

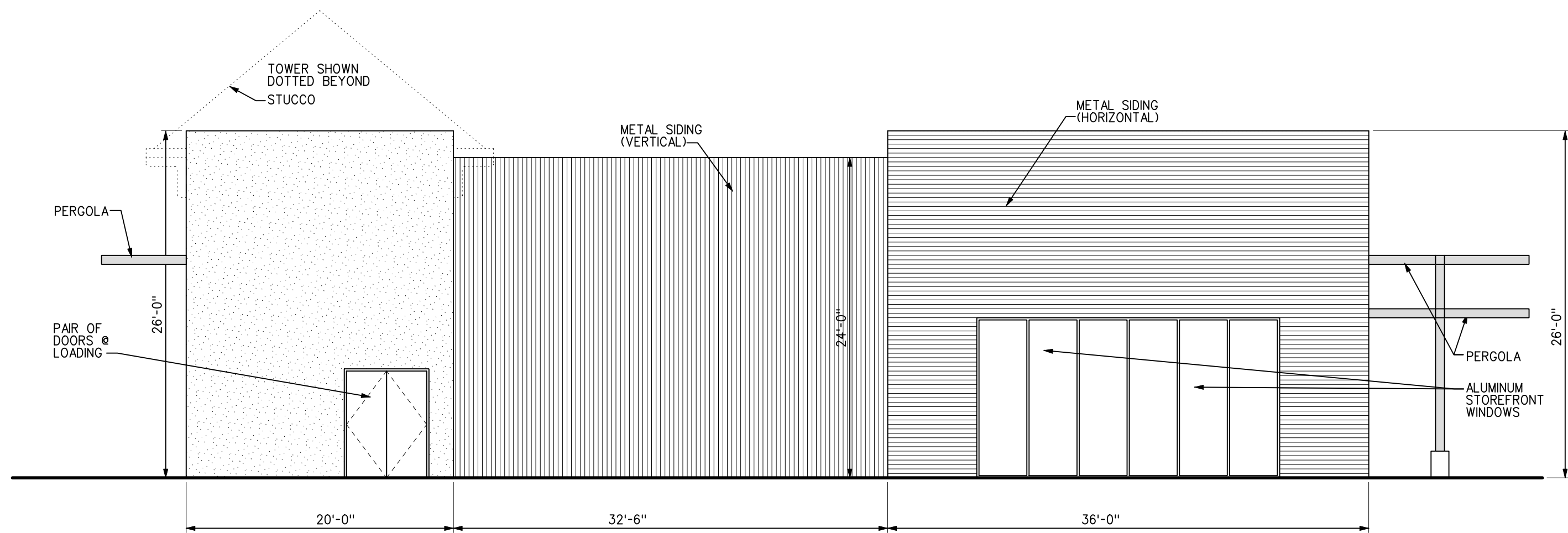
SHEET
A-2
OF
-



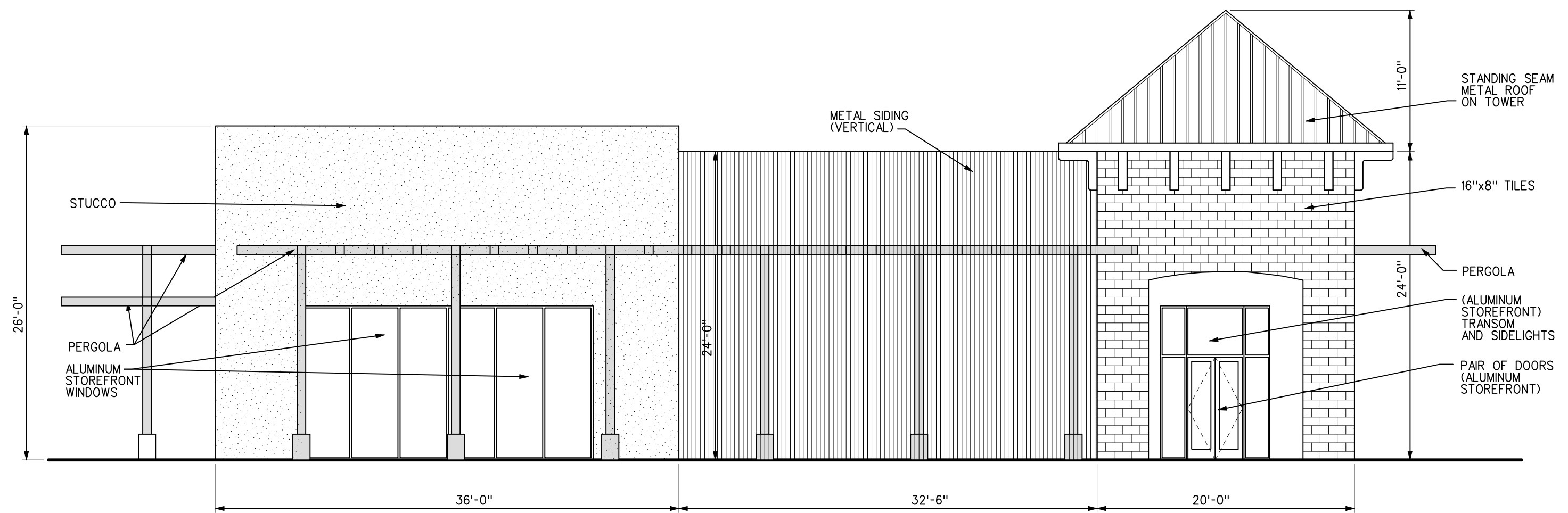
JETTON ROAD ELEVATION (SOUTH)
1/8" = 1'-0"



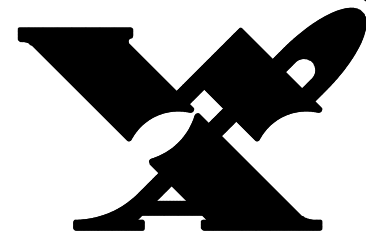
PARKING LOT ELEVATION (NORTH)
1/8" = 1'-0"



SIDE ELEVATION (EAST)
1/8" = 1'-0"

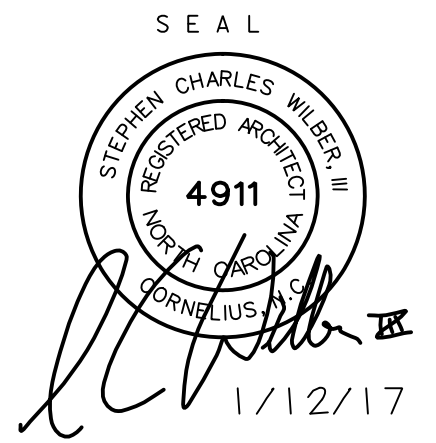


SIDE ELEVATION (WEST)
1/8" = 1'-0"



Wilber Associates
Architecture / Planning
P.O. Box 428 - 20044 N. Zion St.
Cornelius, N.C. 28031
704-892-3633

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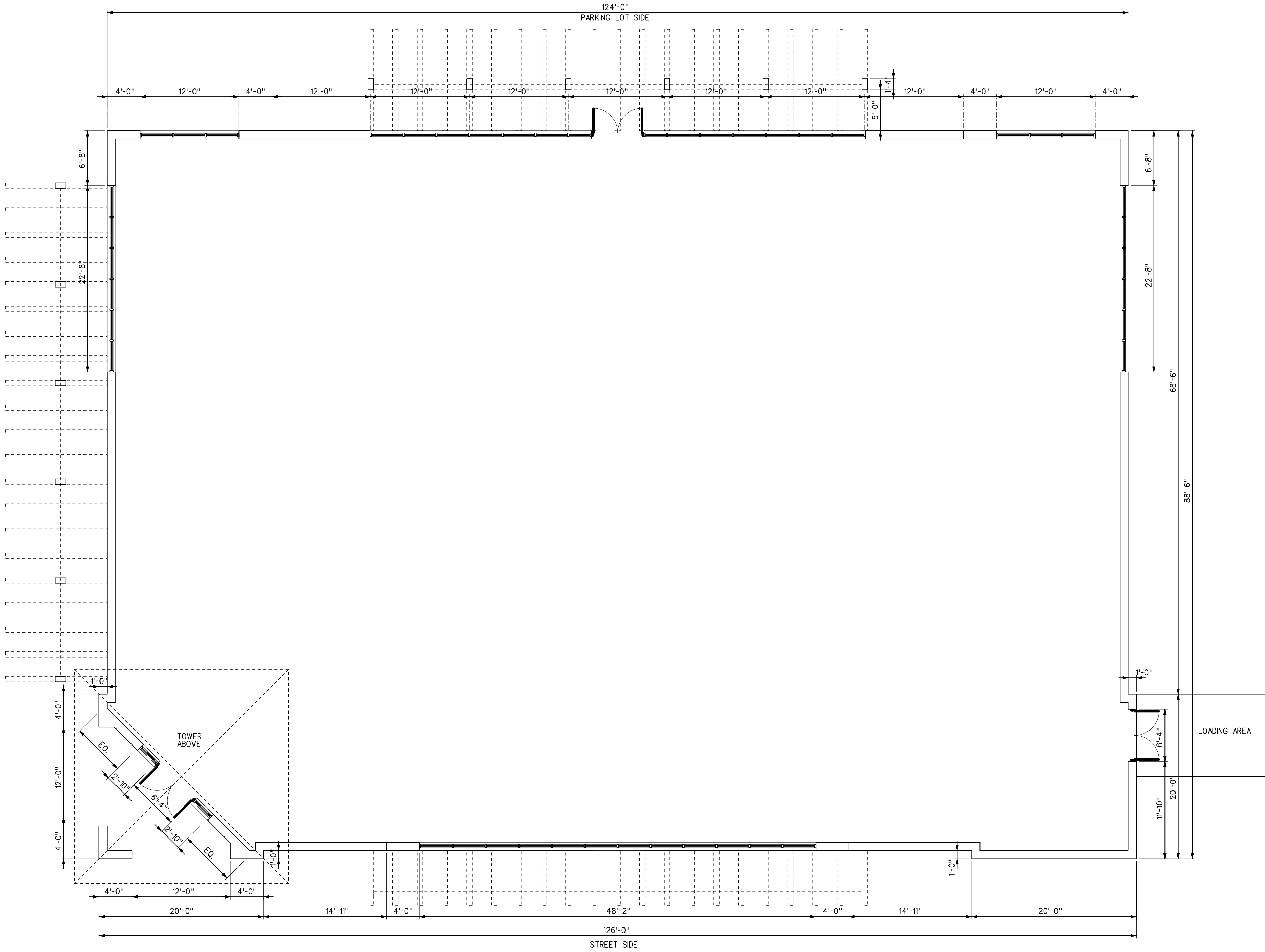


TITLE

NEW BUILDING FOR
LAKE NORMAN HARDWARE
JETTON ROAD
CORNELIUS, NC

COMM. NO.	1688
DATE	1/12/17
REVISIONS	

SHEET
A-1
OF
-



FLOOR PLAN
1/8" = 1'-0"
10,501 SQUARE FEET FLOOR AREA
10,928 SQUARE FEET BUILDING AREA (ACTUAL)



REI
CO-OP

CAMP
CLIMB
HIKE
PADDLE
TRAVEL

JOIN US FOR OUR
GRAND OPENING
CELEBRATION | MAY 15-17



COMING SOON

RECREATIONAL
EQUIPMENT, INC.





REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: January 27, 2017

To: Architectural Review Board Members

From: Wayne Herron, Planning Director


Action Requested:

Discussion of upcoming joint meeting regarding the Arts Center and the Arts District

Manager's Recommendation:

Hear update

ATTACHMENTS:

Name:	Description:	Type:
 Arts_District_Input_Form_final.docx	Art Center Input Form	Backup Material

Arts District Input Form

Thank you for providing input for the planning and development of Cornelius’ Arts District Overlay. Please feel free to include comments that cannot fit into the provided feedback boxes by using a separate sheet of paper. For further comments please contact Will Washam, Senior Planner wrwasham@cornelius.org (704)-896-2461 ext. 116

Arts District Overlay Extents

***A conceptual Arts District extents has been developed around the Arts Center site on Catawba Avenue and the Town Center. See the attached concept map.

How far should the Arts District extend westward on Catawba Ave. How far should the district extend north and south along highway 115? Use landmarks in your description if possible.	
---	--

Arts District Overlay Uses and Zoning Regulations

What uses should be encouraged in the Arts District? (Performance Space, Art Studio, Micro Brewery, Events Space indoor and outdoor, Music Venue, Business incubators, etc.)	
--	--

Built Environment, Structures, and Architecture

The existing buildings contribute to the unique character of this area. Should use of the existing buildings be encouraged? What priority should historic preservation be?	
Some areas within the proposed district extents have opportunities for new development. Should zoning regulate building materials/forms to conform to the existing prominent buildings with the proposed art district extents? Should we be more flexible in considering artistic form in architecture?	

Public Art in the District

Currently murals are subject to ARB review and are not allowed on street fronting wall surfaces. Should Murals be considered differently inside the arts district? What about other art forms (sculpture, statues, etc.)?	
Some arts districts have unique branding incorporated into public art (In Hendersonville they have bear statues in their arts district). Ideas for unique public art branding specific to Cornelius?	
Should we incorporate unique wayfinding signs into the arts district? There is an opportunity to incorporate the existing Historic Walking tour in this area into wayfinding signage	
Should we have a committee whose purpose is to review public/private art and give direction in the district?	

What other issues are important to you?

--

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: January 27, 2017

To: Architectural Review Board Members

From: Wayne Herron, Planning Director



Action Requested:

Introduction to proposed lighting ordinance and guide.

Manager's Recommendation:

Hear presentation.

ATTACHMENTS:

Name:	Description:	Type:
 Section 7.6 Exterior Lighting.docx	Proposed Lighting Ordinance	Backup Material
 CorneliusLightingOrdinanceGuide.docx	Lighting Ordinance Guide	Backup Material

- **Sec. 7.6 – EXTERIOR LIGHTING.**

(a)

Intent and Purpose.

Outdoor lighting *shall* be designed to provide the minimum lighting necessary to ensure adequate safety, night vision, and comfort, and not create or cause excessive *glare* onto adjacent *properties* and public *street rights-of-way*.

(b)

Definitions.

Cutoff fixture - An outdoor light fixture shielded or constructed in such a manner that no more than two and one-half (2½) per cent of the total light emitted by the fixture is projected above the horizontal plane of the fixture.

Flood lamp - A form of lighting designed to direct its output in a specific direction with a reflector formed from the glass envelope of the lamp itself. Such lamps are so designated by the manufacturers and are typically used in residential outdoor area lighting.

Flood light - A form of lighting designed to direct its output in a diffuse, more or less specific direction, with reflecting or refracting elements located external to the lamp.

Footcandle (FC) - A quantitative unit measuring the amount of light cast onto a given point, measured as one (1) *lumen* per square foot.

Full cutoff fixture - An outdoor light fixture shielded or constructed in such a manner that it emits no light above the horizontal plane of the fixture.

Glare - The effect produced by a *light source* within the visual field that is sufficiently brighter than the level to which the eyes are adapted, to cause annoyance, discomfort, or loss of visual performance and ability.

IESNA - The Illuminating Engineering Society of North America, a non-profit professional organization of lighting specialists that has established recommended design standards for various lighting applications.

Internal refractive lens - A glass or plastic lens installed between the lamp and the sections of the outer fixture globe or enclosure. Refractive refers to the redirection (bending) of the light as it goes through the lens, softening and spreading the light being distributed from the *light source* thereby reducing direct *glare*.

Light source - The element of a lighting fixture that is the point of origin of the *lumens* emitted by the fixture.

Lumen - A quantitative unit measuring the amount of light emitted by a *light source*.

Maintained footcandles - Illuminance of lighting fixtures adjusted for a maintenance factor accounting for dirt build-up and lamp output depreciation. The maintenance factor used in the

design process to account for this depreciation cannot be lower than 0.72 for high-pressure sodium and 0.64 for metal halide and mercury vapor.

Medium base - The size of lamp socket designed to accept a medium or Edison base lamp.

Semi-cutoff fixture - An outdoor light fixture shielded or constructed in such a manner that it emits no more than five (5) per cent of its light above the horizontal plane of the fixture, and no more than twenty (20) per cent of its light ten (10) degrees below the horizontal plane of the fixture.

Wall pack - A type of light fixture typically flush-mounted on a vertical wall surface.

Wide-body refractive globe - A translucent lamp enclosure used with some outdoor fixtures to provide a decorative look (including but not limited to acorn- and carriage light-style fixtures). "Wide-body" refers to a wider than average size globe (greater than fifteen and seventy-five one hundredths (15.75) inches in diameter). "Refractive" refers to the redirection (bending) of the light as it goes through the lens, rendering the light fixture more effective. *Wide-body refractive globes* are intended to soften and spread the light being distributed from the *light source* thereby reducing direct *glare*.

(c)

Light Measurement Technique.

Light level measurements *shall* be made at the *property* line of the *property* upon which the light to be measured is being generated. If measurement on private *property* is not possible or practical, light level measurements *may* be made at the boundary of the public *street right-of-way* that adjoins the *property* of the complainant or at any other location on the *property* of the complainant. Measurements *shall* be made at finished grade (ground level), with the light-registering portion of the meter held parallel to the ground pointing up. The meter *shall* have cosine and color correction and have an accuracy tolerance of no greater than plus or minus five (5) per cent. Measurements *shall* be taken with a light meter that has been calibrated within the *year*. Light levels are specified, calculated and measured in *footcandles (FC)*. All FC values below are *maintained footcandles*.

(d)

General Standards for Outdoor Lighting.

(1)

Unless otherwise specified in subsections (e) through (j) below, the maximum light level *shall* be three tenths (0.3) *maintained foot candle* at any *property* line in a residential district, or on a *lot* occupied by a *dwelling, congregate care or congregate living structure*, and two (2.0) *maintained foot candles* at any public *street right-of-way*, unless otherwise approved by the Planning Board.

(2)

All flood lights *shall* be installed such that the fixture *shall* be aimed down at least forty-five (45) degrees from vertical, or the front of the fixture is shielded such that no portion of the light bulb extends below the bottom edge of an external shield. Flood lights and display

lights *shall* be positioned such that any such fixture located within fifty (50) feet of a public *street right-of-way* is mounted and aimed perpendicular to the *right-of-way*, with a side-to-side horizontal aiming tolerance not to exceed fifteen (15) degrees from perpendicular to the *right-of-way*.

(3)

All flood lamps emitting one thousand (1,000) or more *lumens shall* be aimed at least sixty (60) degrees down from horizontal, or shielded such that the main beam from the *light source* is not visible from adjacent *properties* or the public *street right-of-way*.

(4)

All *wall pack* fixtures *shall* be *cutoff fixtures*.

(5)

Service connections for all freestanding fixtures installed after application of this ordinance *shall* be installed underground.

(6)

Within non-residential districts and developments, all outdoor lighting fixtures *shall* be at minimum *semi-cutoff fixtures*.

(7)

All light fixtures installed by public *agencies*, their agents, or contractors for the purpose of illuminating public *streets* are otherwise exempt from this regulation.

(e)

Lighting in Parking Lots and Outdoor Areas.

(1)

Other than flood lights and flood lamps, all outdoor area and *parking lot* lighting fixtures of more than two thousand (2,000) *lumens shall* be *cutoff fixtures*, or comply with subsection (3) below.

(2)

The mounting height of all outdoor lighting, except *outdoor sports field* lighting and *outdoor performance area* lighting, *shall* not exceed thirty five (35) feet above finished grade.

(3)

Exceptions:

a.

Non-cutoff fixtures *may* be used when the maximum initial *lumens* generated by each fixture *shall* not exceed nine thousand five hundred (9,500) initial lamp *lumens* per fixture.

b.

All metal halide, mercury vapor, fluorescent, induction, white high pressure sodium and color improved high pressure sodium lamps used in non-cutoff fixtures *shall* be coated with an internal white frosting inside the outer lamp envelope.

c.

All metal halide fixtures equipped with a medium base socket must utilize either an internal refractive lens or a *wide-body refractive globe*.

d.

All non-cutoff fixture open-bottom lights *shall* be equipped with full *cutoff fixture* shields that reduce *glare* and limit uplight.

(f)

Lighting for Vehicular Canopies.

Areas under a *vehicular canopy* *shall* have a maximum point of horizontal illuminance of twenty-four (24) *maintained foot candles (FC)*. Areas outside the *vehicular canopy* *shall* be regulated by the standards of subsection (d) above. Lighting under *vehicular canopies* *shall* be designed so as not to create *glare* off-site. Acceptable methods include one (1) or more of the *following*:

(1)

Recessed fixture incorporating a lens cover that is either recessed or flush with the bottom surface (ceiling) of the *vehicular canopy*.

(2)

Light fixture incorporating shields, or shielded by the edge of the *vehicular canopy* itself, so that light is restrained to five (5) degrees or more below the horizontal plane.

(3)

Surface mounted fixture incorporating a flat glass that provides a *cutoff fixture* or shielded light distribution.

(4)

Surface mounted fixture, typically measuring two (2) feet by two (2) feet, with a lens cover that contains at least two (2) per cent white fill diffusion material.

(5)

Indirect lighting where light is beamed upward and then reflected down from the underside of the *vehicular canopy*. Such fixtures *shall* be shielded such that direct illumination is focused exclusively on the underside of the *vehicular canopy*.

(6)

Other method approved by the Planning Board.

(g)

Outdoor Sports Field/Outdoor Performance Area Lighting.

(1)

The mounting height of *outdoor sports field* and *outdoor performance area* lighting fixtures *shall* not exceed eighty (80) feet from finished grade unless approved by the Planning Board as having no adverse effect or approved by the *Town Board* as part of a conditional zoning.

(2)

All *outdoor sports field* and *outdoor performance area* lighting fixtures *shall* be equipped with a *glare* control package (louvers, shields, or similar devices). The fixtures must be aimed so that their beams are directed and fall within the primary playing or performance area.

(3)

The hours of operation for the lighting system for any game or event *shall* not exceed one (1) hour after the end of an event or administrative activity.

(h)

Lighting of Outdoor Display Areas.

(1)

Parking lot outdoor areas *shall* be illuminated in accordance with the requirements for subsection (e), above. Outdoor *display areas* *shall* have a maximum point of illuminance of twenty-four (24) *maintained foot candles (FC)*.

(2)

All light fixtures *shall* meet the IESNA definition of *cutoff fixtures*. Forward throw fixtures (type IV light distribution, as defined by the *IESNA*) are required within twenty-five (25) feet of any public *street right-of-way*. Alternatively, directional fixtures (such as flood lights) *may* be used provided they *shall* be aimed and shielded in accordance with subsections (d)(1) and (d)(2) of this ordinance.

(3)

The mounting height of outdoor *display area* fixtures *shall* not exceed thirty five (35) feet above finished grade, unless approved by the Planning Board as having no adverse effect.

(i)

Sign Lighting.

Lighting fixtures illuminating signs *shall* be aimed and shielded so that direct illumination is focused exclusively on the sign.

(j)

Lighting of Buildings and Landscaping.

Lighting fixtures *shall* be selected, located, aimed, and shielded so that direct illumination is focused exclusively on the *building* facade, plantings, and other intended site feature and away from adjoining *properties* and the public *street right-of-way*.

(k)

(1)

A point-by-point *foot candle* array in a printout format indicating the location and aiming of illuminating devices shall be provided. The printout *shall* indicate compliance with the maximum *maintained foot candles* required by this Code.

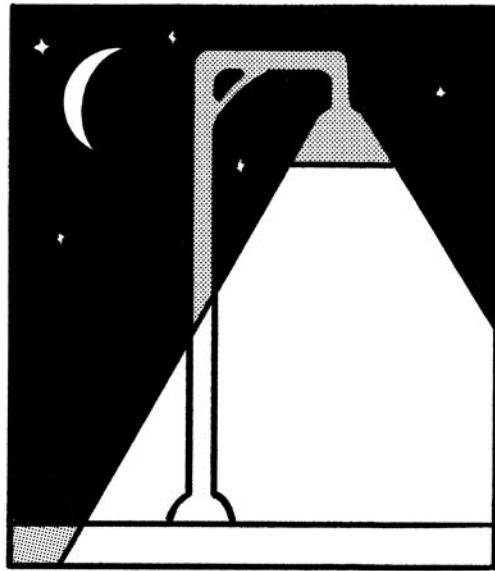
(2)

Description of the illuminating devices, fixtures, lamps, supports, reflectors, poles, raised foundations and other devices (including but not limited to manufacturers or electric utility catalog specification sheets and/or drawings, and photometric report indicating fixture classification [*cutoff fixture, wall pack*, flood light, etc.]).

The Inspections Director or his/her designee(s) *may* waive any or all of the above permit requirements, provided the applicant can otherwise demonstrate compliance with this Code.

A Guide to the

CORNELIUS LIGHTING ORDINANCE



*Town of Cornelius
North Carolina*

Introduction

Intent and purpose

"Outdoor lighting shall be designed to provide the minimum lighting necessary to ensure adequate safety, night vision, and comfort, and not create or cause excessive glare onto adjacent properties and public street rights of way."

Summary of Provisions

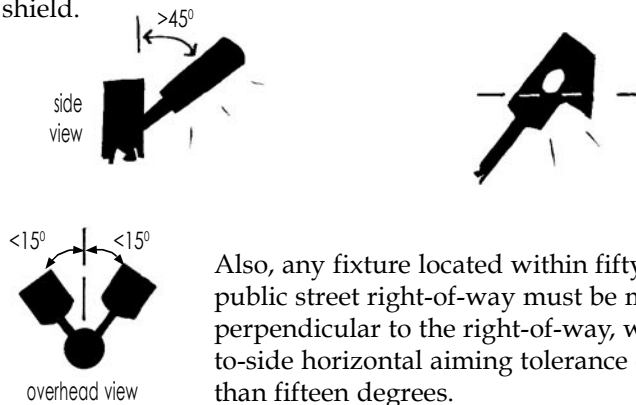
- Limits light spillover into right-of-way (to 2.0 footcandles) and spillover at residential property lines (0.3 footcandle)
- Requires flood lights and flood lamps to be aimed and/or shielded to minimize glare
- Requires wall packs and most parking lot lighting to be of cut-off (shielded) design
- Requires service connections for new outdoor lighting to be placed underground
- Discourages excessive fixture mounting heights
- Limits light levels under vehicular canopies and in outdoor sales areas (to 24 footcandles); provides six different methods of compliance for the former
- Requires sports lighting and outdoor performance area lighting to have a glare control package, and to be turned off an hour after an event ends
- Permits decorative and historically styled lighting fixtures (provided they meet certain glare reduction standards)
- Permits flexibility (e.g., Planning Commission and/or Town Board approval of various alternatives)
- Grandfathers existing fixtures
- Does not affect street lights

The following provisions apply to all outdoor lighting installations, both within the Cornelius Town Limits and the Town's Extra-Territorial Jurisdiction (ETJ):

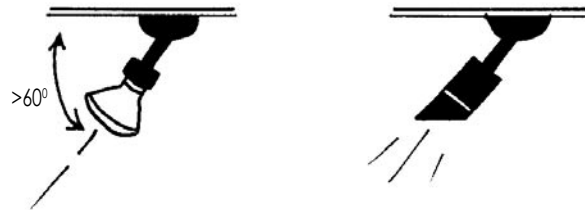
General Standards

MAXIMUM LEVELS: Unless specified otherwise, the maximum light level cannot exceed 0.3 maintained footcandle at any residential property line, and 2.0 maintained footcandles at any public street right-of-way.

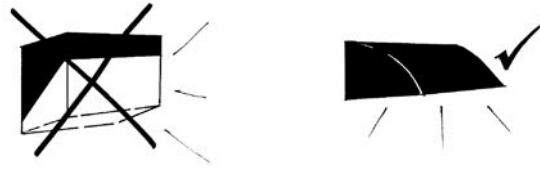
FLOOD LIGHT POSITIONS: Floodlights should be directed away from streets. The fixture must either be aimed down at least forty-five (45) degrees from vertical, or with the front of the fixture shielded so that no portion of the light bulb extends below the bottom edge of the shield.



FLOOD LAMP POSITIONING: All flood lamps emitting 1,000 or more lumens must be aimed at least sixty (60) degrees down from horizontal, or shielded so that the main beam is not visible from adjacent properties or the public street right-of-way.



NO UNSHIELDED WALL PACKS: All wall pack fixtures must be cutoff (shielded) fixtures.



SERVICE CONNECTIONS: Service connections for all freestanding fixtures installed must be installed underground (no overhead wires).



STREET LIGHTING EXEMPT: All light fixtures installed under authorization of public agencies for illuminating streets are exempt from the ordinance.

In addition, the following ordinance provisions apply to specific types of lighting installations:

Parking & Outdoor Areas

These areas include parking lots, pedestrian ways, yards, and driveways.

CUTOFF DESIGN GENERALLY REQUIRED: Other than flood lights and flood lamps, all outdoor area and parking lot lighting fixtures of more than 2,000 lumens must be cutoff fixtures (fully shielded), unless they are among the “Exceptions/Special Considerations” listed below.

MAXIMUM HEIGHT: Outdoor lighting, except sports field lighting and performance area lighting, should not be more than thirty-five (35) feet tall.

EXCEPTIONS/SPECIAL CONSIDERATIONS:

- Non-cutoff (unshielded) fixtures can be used when the maximum initial lumens generated by each fixture is less than 9500 initial lamp lumens. These fixtures generally feature globes or vertical glass planes:



- If the unshielded fixtures have metal halide, mercury vapor, fluorescent, induction, white high pressure sodium and color improved high pressure sodium lamps, the outer lamp envelope must be coated with an internal white frosting to diffuse light.
 - Additionally, all metal halide fixtures equipped with a medium base socket must use either an internal refractive lens or a wide-body refractive globe.
- All non-cutoff fixture open-bottom lights (dusk-to-dawn or barn lights) must be equipped with full cutoff fixture shields:



Vehicular Canopies

These canopies are often installed at gas stations and convenience stores.

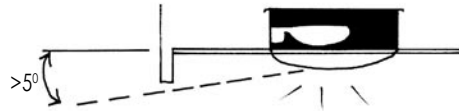
MAXIMUM LEVEL: Lighting under a vehicular canopy must be less than 24 maintained footcandles, and designed to prevent glare off-site.

ACCEPTABLE LIGHTING DESIGNS:

- (1) Recessed fixture incorporating a lens cover that is either recessed or flush with the bottom surface (ceiling) of the canopy.



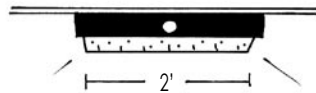
- (2) Light fixture incorporating shields, or shielded by the edge of the vehicular canopy itself, so that light is restrained to five degrees or more below horizontal.



- (3) Surface mounted fixture incorporating a flat glass that provides cutoff design or shielded light distribution.



- (4) Surface mounted fixture, typically measuring two feet by two feet, with a lens cover that contains at least two (2) percent white fill diffusion material.

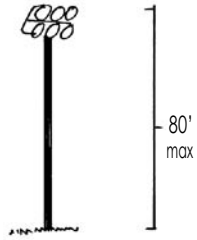


- (5) Indirect lighting where light is beamed upward and then reflected by the underside of the vehicular canopy. Such fixtures must be shielded, with direct illumination focused exclusively on the underside of the canopy.

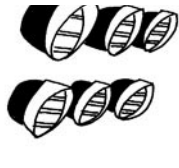


- (6) Other method approved by the Planning Board.

Sports Fields & Performance Areas



MAXIMUM HEIGHT: The mounting height of outdoor sports field and outdoor performance area lighting fixtures must not exceed eighty (80) feet from finished grade (unless approved by the Planning Board and/or Town Board).



GLARE CONTROL REQUIRED: All outdoor sports field and outdoor performance area lighting fixtures must be equipped with a glare control package (louvers, shields, or similar devices). The fixtures also must be aimed so that their beams are directed and fall within the primary playing or performance area.



HOURS LIMITED: The hours of operation for the lighting system for any game or event must not exceed one hour after the end of an event or administrative activity.

Signs

CAREFUL AIMING REQUIRED: Lighting fixtures illuminating signs must be aimed and shielded so that direct illumination is focused exclusively on the sign. Signs must also meet the other provisions of the Town sign ordinance.

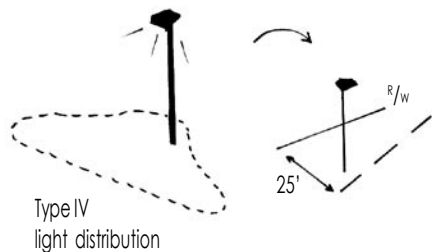
Buildings & Landscaping

CAREFUL AIMING REQUIRED: Lighting fixtures must be selected, located, aimed, and shielded so that direct illumination is focused solely on the building façade, plantings, and other intended site feature, and away from adjoining properties and the public street right- of-way.

Display Areas

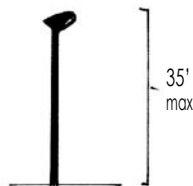
These outdoor areas are used for displaying such goods as automobiles, boats, and yard care equipment.

MAXIMUM LIGHTING LEVEL: Lighting in outdoor display areas must measure less than 24 maintained footcandles.



FIXTURE TYPE: All light fixtures must be of cutoff design. Forward throw fixtures (type IV light distribution, as defined by the IESNA) are required within 25 feet of street rights-of-way.

Alternatively, directional fixtures (such as flood lights) can be used provided they are aimed and shielded to prevent glare.



MAXIMUM HEIGHT: The mounting height of outdoor display area fixtures shall not exceed thirty-five (35) feet above finished grade, unless approved by the Planning Board as having no adverse effect.

The following provisions apply to all lighting installations:

Permits

Applicants must submit proof that their lighting plans meet the ordinance at the time of site plan approval. Information to be submitted includes:

- (1) A point-by-point footcandle array in a printout format indicating the location and aiming of light fixtures, and the maximum maintained footcandles of each.
- (2) Description of the illuminating devices, fixtures, lamps, supports, reflectors, poles, raised foundations and other devices (including but not limited to manufacturers' or electric utility catalog specification sheets and/or drawings, and photometric report indicating fixture classification [cutoff fixture, wall pack, flood light, etc.]).

NOTE: The Planning Director can waive any or all of the above permit requirements provided the applicant can otherwise demonstrate compliance with the ordinance.



Compliance

All new fixtures must comply with the ordinance.

These installations include:

- All new outdoor lighting fixtures,
- All replacement fixtures (in cases of total replacement),
- Changes to existing fixture wattage, fixture type, mounting, or fixture.

The following routine maintenance does not require compliance:

- Changing the lamp, ballast, starter, photo control, fixture housing, lens and other required components.

Measuring Light

Light level measurements are to be made:

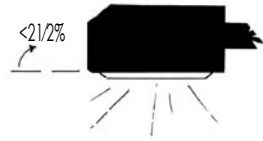
- At the property line of the property from which the light is generated.
- At ground level, with the light-registering portion of the meter held parallel to the ground, pointing up.



All light levels are specified, calculated and measured in footcandles.
All footcandle values in the ordinance are maintained footcandles.

Definitions

The following lighting terms appear in the ordinance:



Cutoff Fixture – An outdoor light fixture shielded or constructed in such a manner that no more than two and one half ($2\frac{1}{2}$) percent of the total light emitted by the fixture is projected above the horizontal plane of the fixture.

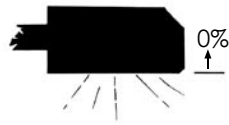


Flood Lamp – A form of lighting designed to direct its output in a specific direction with a reflector formed from the glass envelope of the lamp itself. Such lamps are so designated by the manufacturers and are typically used in residential outdoor area lighting.



Flood Light – A form of lighting designed to direct its output in a diffuse, more or less specific direction, with reflecting or refracting elements located external to the lamp.

Footcandle (FC) – A quantitative unit measuring the amount of light cast onto a given point, measured as one lumen per square foot.



Full Cutoff Fixture – An outdoor light fixture shielded or constructed in such a manner that it emits no light above the horizontal plane of the fixture.

Glare – The effect produced by a light source within the visual field that is sufficiently brighter than the level to which the eyes are adapted, to cause annoyance, discomfort, or loss of visual performance and ability.

IESNA – The Illuminating Engineering Society of North America, a non-profit professional organization of lighting specialists that has established recommended design standards for various lighting applications.



Internal Refractive Lens – A glass or plastic lens installed between the lamp and the sections of the outer fixture globe or enclosure. Refractive refers to the redirection (bending) of the light as it goes through the lens, softening and spreading the light being distributed from the light source thereby reducing direct glare.

Light Source – The element of a lighting fixture that is the point of origin of the lumens emitted by the fixture.

Lumen – A quantitative unit measuring the amount of light emitted by a light source.

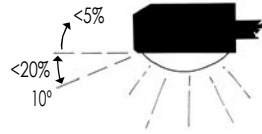
Maintained Footcandles – Illuminance of lighting fixtures adjusted for a maintenance factor accounting for dirt build-up and lamp output depreciation. The maintenance factor used in the design process to account for this depreciation cannot be lower than 0.72 for high-pressure sodium and 0.64 for metal halide and mercury vapor.

Medium Base – The size of lamp socket designed to accept a medium or Edison base lamp.

Outdoor Sports Field – An area designed for active recreation, whether publicly or privately owned, including but not limited to baseball/softball diamonds, soccer fields, football fields, golf courses and ranges, tennis courts, racetracks, and swimming pools.

Outdoor Performance Area – An area permanently dedicated to the public presentation of music, dance, theater, media arts, storytelling, oratory, or other performing arts, whether publicly or privately owned, including but not limited to amphitheaters and similar open or semi-enclosed structures.

Right-of-Way – An interest in land to the Town which provides for the perpetual right and privilege of the Town, its agents, franchise holders, successors, and assigns to construct, install, improve, reconstruct, remove, replace, inspect, repair, maintain, and use a public street, including related and customary uses of street rights-of-way such as sidewalks, bike paths, landscaping, mass transit facilities, traffic control, traffic control devices and signage, sanitary sewer, stormwater drainage, water supply, cable television, electric power, gas, and telephone transmission and related purposes in, upon, over, below, and across the rights-of-way.



Semi-Cutoff Fixture – An outdoor light fixture shielded or constructed in such a manner that it emits no more than five (5) percent of its light above the horizontal plane of the fixture, and no more than twenty (20) percent of its light ten (10) degrees below the horizontal plane of the fixture.

Vehicular Canopy – A roofed, open, drive-through structure designed to provide temporary shelter for vehicles and their occupants while making use of a business' services.

Wall Pack – A type of light fixture typically flush-mounted on a vertical wall surface.

Wide-body Refractive Globe – A translucent lamp enclosure used with some outdoor fixtures to provide a decorative look (including but not limited to acorn- and carriage light-style fixtures). "Wide-body" refers to a wider than average size globe (greater than 15.75 inches in diameter). "Refractive" refers to the redirection (bending) of the light as it goes through the lens, rendering the light fixture more effective. Wide-body refractive globes are intended to soften and spread the light being distributed from the light source thereby reducing direct glare.

The complete text of the
Cornelius Lighting
Ordinance (Town Code §
7.6)

Further questions?

**Contact the
City of Raleigh
Inspections
Department:
919-516-2555**