



**Town of Cornelius
Architectural Review Board**

**Agenda
September 25, 2020
12:00 PM
Electronic Meeting via Zoom**

- 1. Call To Order**
 - A. Zoom Meeting**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
 - A. Approval of June Minutes**
- 4. Review And Recommendation On Agenda Items**
 - A. REZ 03-20 Cain Arts Building**
- 5. Old Business**
- 6. New Business**
- 7. Next Meeting**
- 8. Adjournment**

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: September 25, 2020

To: Chair and ARB Members
From: Summer Smigelski, Planning Admin.

Action Requested:

The scheduled meeting can be accessed at this link [Zoom Meeting](#)

Manager's Recommendation:

ATTACHMENTS:

Name:	Description:	Type:
No Attachments Available		

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: September 25, 2020

To: Chair and ARB Members
From: Summer Smigelski, Planning Admin.

Action Requested:

Review and Approve

Manager's Recommendation:

Approval

ATTACHMENTS:

Name:	Description:	Type:
 ARB_Minutes_06262020-Draft.docx	June 26th, 2020 Minutes	Backup Material

Minutes
TOWN OF CORNELIUS
ARCHITECTURAL REVIEW BOARD ELECTRONIC MEETING

June 26th, 2020

12:00 pm

Members Present

David Eve, Chairman
Joe Harris, Vice Chair
Megan Hoover
Recah Harward
Teresa Hawkins
Rick Kamakaris

Members Absent

Staff Present

Aaron Tucker, Assistant Planning Director
Summer Smigelski, Administrative Assistant
Monterai Adams, Planner

Panelists

Jamie Rolewicz
Charles Wilber
Jay Henson
Peter Wasmer
David Burn
Sharon Huot
Chris Boukedes

DETERMINATION OF QUORUM

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:02 p.m. He stated that a quorum was present.

APPROVAL OF MINUTES

Mr. Harris made a motion to approve the minutes from February 28th, 2020 Minutes. Mr. Kamakaris second. All in favor and motion approved.

In Favor: Mr. Harris, Mr. Eve, Ms. Hawkins
Ms. Hoover, Ms. Harward, Mr. Kamakaris

Opposed: None

SITE 06-20 Watermark Office Building

Mr. Tucker presented SITE 06-20 Watermark Office Building to the board. The property is located at 19354 Watermark Dr. The tract is zoned village center on the zoning map. The Proposal is to develop the property with one building totaling 13,937 sq. ft. to be used as office space.

See presentation

Mr. Tucker opened for discussion.

The board made the following comments:

- Verify the exit doors
- Show dumpster enclosure

The board made comments on the parking.

After discussion the board agreed to approve the design with edits and asked that the applicants submit the updated elevations electronically.

Mr. Harris made a motion to approve with edits. Ms. Hoover second. All in favor and motion approved.

In Favor: Mr. Harris, Mr. Eve, Ms. Hawkins
Ms. Hoover, Ms. Harward, Mr. Kamakaris

Opposed: None

North Mecklenburg Reginal Recreation Center Mural

Mr. Tucker presented the North Mecklenburg Reginal Recreation Center Mural to the board. The property is currently under construction of the building. The applicants are making progress. One thing that needs to be looked at, at this time is the mural.

See presentation

Mr. Tucker opened for discussion.

The board made the following comments:

- Ms. Hoover likes the building design and the Mural, but the concern is that the two joined take a negative spin on each other.
- Ms. Harward likes the design but asked to look at adding a border to bring both the building and Mural together.
- Material and Lighting concerns
- Look at bringing the Mural down further

After discussion the board agreed to approve the design with comments being considered.

Mr. Harris made a motion to approve with comments being considered. Mr. Kamakaris second. All in favor and motion approved.

In Favor: Mr. Harris, Mr. Eve, Ms. Hawkins
Ms. Hoover, Ms. Harward, Mr. Kamakaris

Opposed: None

Boatyard Eats Mural

Mr. Tucker presented two Mural options provided by the applicants of Boatyard Eats.

See presentation

Mr. Tucker opened for discussion.

The board made the following comments:

- Great location
- Like the idea
- Do not like words over the lake
- Letters do not have to go across the entire wall.

- Concern with the type of paint
- The board would like to see the size with the measurements.
- Do not like adding “Cornelius” and “Lake Norman” both
- Pull sidewalk back from wall
- Need to provide better landscape view

After discussion the board agreed to have the applicant bring back to the board.

Next Meeting

Friday, July 24th, 2020

ADJOURNMENT

The meeting ended at 1:07 p.m.

DRAFT

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: September 25, 2020

To: Architectural Review Board Members

From: Aaron Tucker, Planning Director

Action Requested:

The Town of Cornelius has initiated the process to rezone 1.7 acres of Town-owned property from Town Center Zoning to Conditional Zoning to construct a 30,000 square foot, performing and visual arts center with a 400-seat theatre. The proposed building is also known as the Cain Center for the Arts. The existing buildings on the site will be demolished.

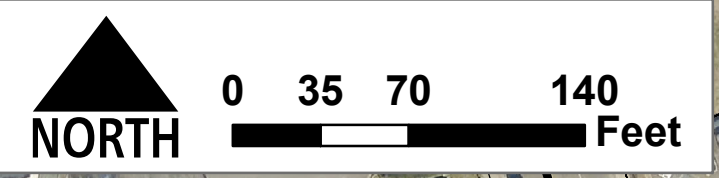
A full set of detailed building plans will be available at the meeting.

Manager's Recommendation:

Review and provide feedback on the proposed elevations.

ATTACHMENTS:

Name:	Description:	Type:
 Cain_Center_Property.pdf	Property Map	Cover Memo
 Cain_Arts_Site_Plans_042020.pdf	Site Plan	Cover Memo
 Cain_Arts_Illustrative_Site_Plan.pdf	Color Site Plan	Cover Memo
 Elevations.pdf	Color Renderings	Cover Memo
 Pages_from_Cain_Center_100%_CDs_Building_Plans.pdf	Building Plans	Cover Memo

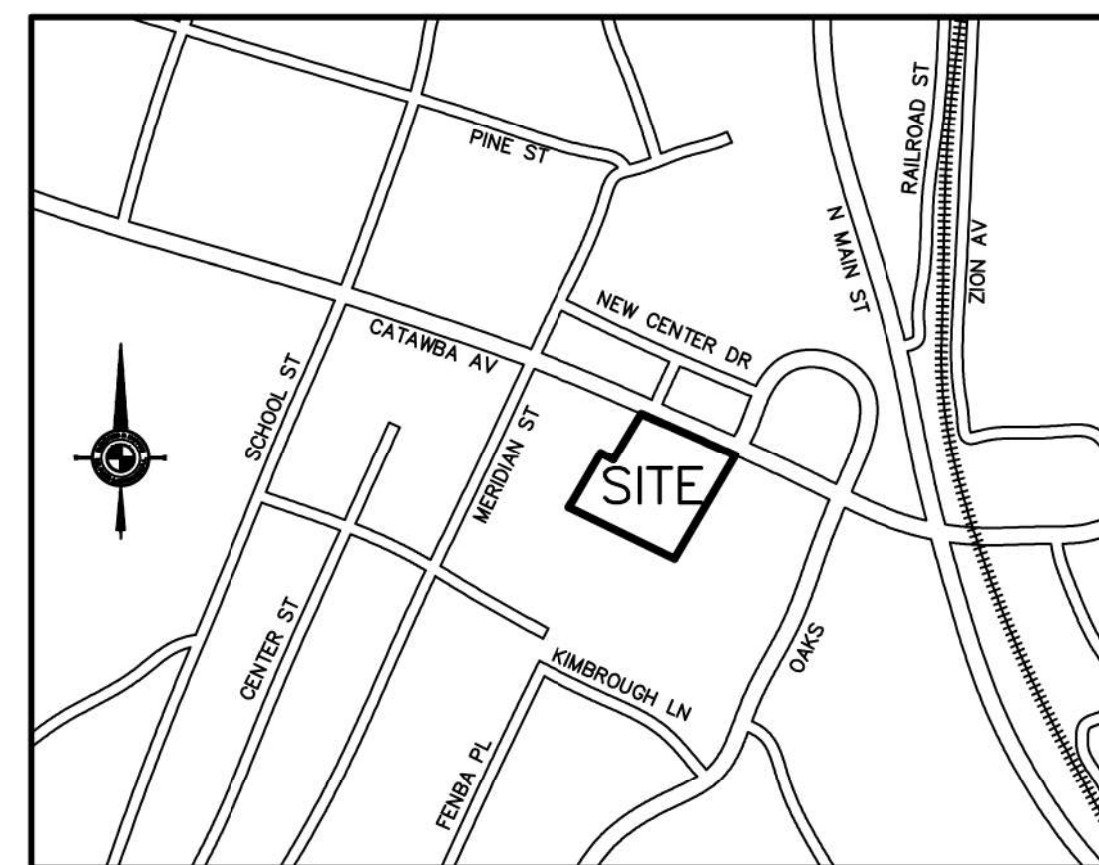


CAIN
CENTER
FOR THE ARTSTOWN OF CORNELIUS
CAIN CENTER FOR
THE ARTS

21348 Catawba Ave, Cornelius, NC 28031

Andrew Grant
704.892.6031 x 172NOT FOR
CONSTRUCTION

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VICINITY MAP
NOT TO SCALE

NOTES:

1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
5. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
6. ELEVATIONS BASED ON N.G.S. MONUMENT "CORNELIUS", ELEVATION = 836.20 FEET, NAVD 88.
7. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING-CORNELIUS:

ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
SUBJECT PROPERTY ZONED: TCMINIMUM SETBACK: NONE
MINIMUM SIDE YARD: NONE
MINIMUM REAR YARD: NONE
MAXIMUM BUILDING HEIGHT: NONE

FOR FURTHER INFORMATION CONTACT THE TOWN OF CORNELIUS PLANNING DEPARTMENT AT 704-896-2461.

GPS CERTIFICATION:

- I, CHARLES E. BELL, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
- (1) CLASS OF SURVEY: (CLASS, A1=10,000)
 - (2) POSITIONAL ACCURACY: N=0.00425; E=0.0149; VERT.=0.00825
 - (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC.
 - (4) DATES OF SURVEY: 09-16-2017
 - (5) DATUM/EPOCH/STATION/ID/NAV/D88
 - (6) PUBLISHED/FIXED-CONTROL USE: MONUMENT "CORNELIUS"
 - (7) GEOID MODEL: GEOID12B(CONUS)
 - (8) COMBINED GRID FACTOR(S): 0.99984518
 - (9) UNITS: US SURVEY FEET

POSSIBLE ENCROACHMENTS

- 4 BUILDING AND CONCRETE

TOTAL AREA
80,613 SQ. FT. OR 1.8506 ACREBOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR:
TOWN OF CORNELIUS
OF:
21328 CATAWBA AVENUE
CITY OF CORNELIUS, MECKLENBURG COUNTY, NC
DEED REFERENCE: 31494-205
TAX PARCEL NO: 005-212-12

R.B. PHARR & ASSOCIATES, P.A.

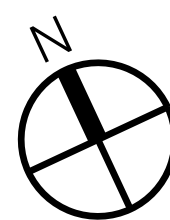
SURVEYING & MAPPING

420 HAWTHORNE LANE, CHARLOTTE, N.C. 28204 TEL. (704) 376-2186
LICENSE NO. C-1471

REVISIONS	DATE	FILE NO.
CREW: GW/PH	DRAWN: DJ	REVISED:
SCALE: 1" = 30'	DATE: SEP 25, 2017	FILE NO. XX-4538
		JOB NO. 87454

PLOTTED: 10/3/2017
G:\87\4\87454\DWG\87454.DWG

GRAPHIC SCALE (1" = 20'-0")

PROJECT NUMBER 0604-0422
DATE 04.17.2020

EXISTING SURVEY

C1.00

UTILITIES-CORNELIUS:

POWER
DUKE POWER ENERGY
1-800-777-9898
ELECTRICITIES
(704) 948-0550
ENERGY UNITED
(704) 892-0278

TELEPHONE
BELL SOUTH TELECOMMUNICATIONS
1-888-757-6500

WATER & SEWER
CHAR-MECK. UTILITY DEPT. (CMUD)
(704) 336-2564 WATER
(704) 337-6064 SEWER

GAS
PIEDMONT NATURAL GAS CO.
1-800-752-7504

CABLE TELEVISION
TIME WARNER CABLE
1-800-892-2253

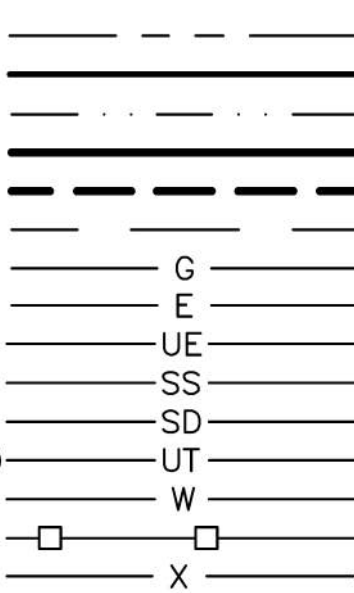
GERALD M. POTTS
D.B. 8845, PG. 556
PIN: 005-212-14Know what's below.
Call before you dig.MIRIAM SMITH WHISNANT &
LILYAN S. HUNTER
D.B. 3620, PG. 192
PIN: 005-212-15

LEGEND:

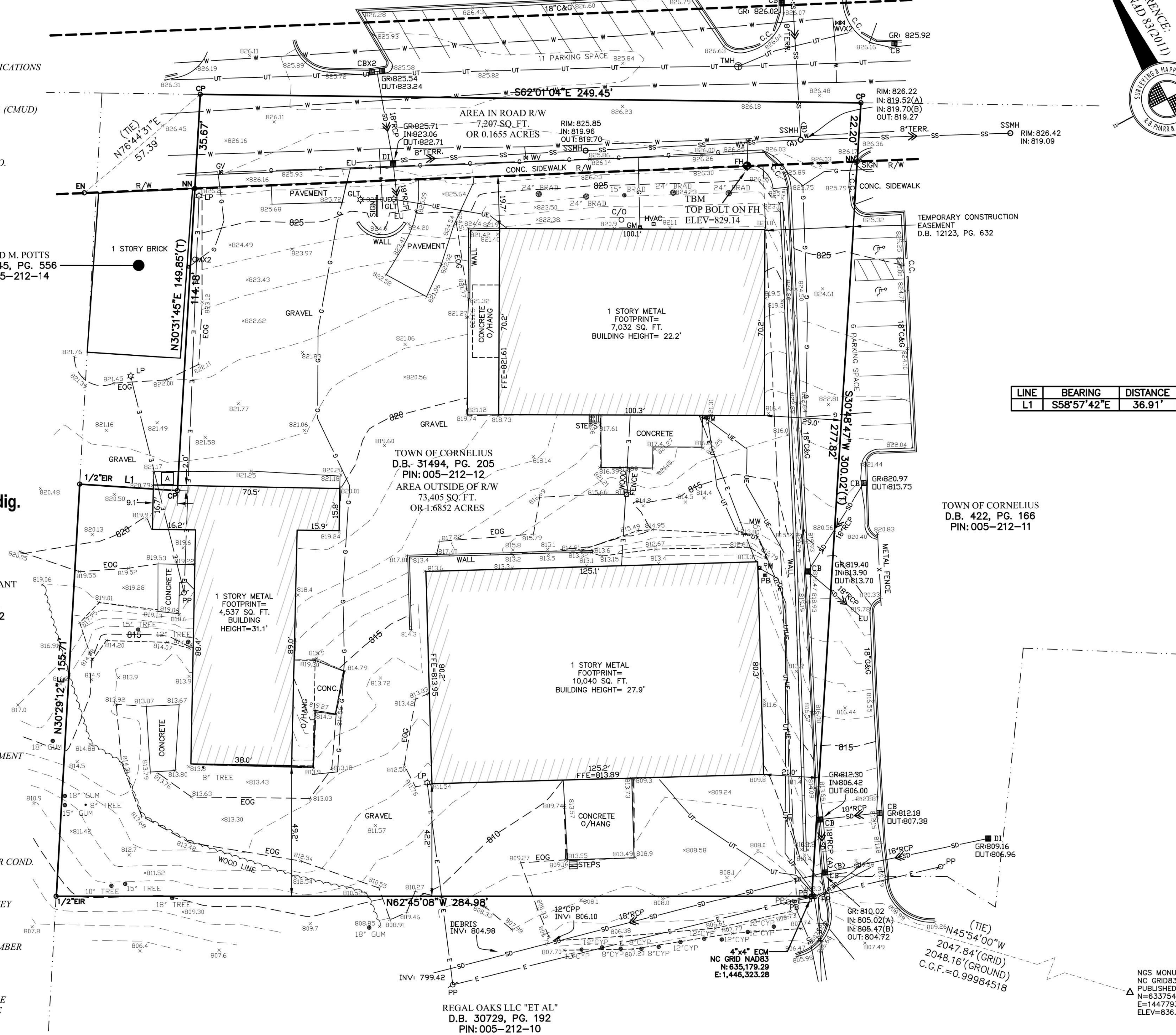
C&G - CURB & GUTTER
CB - CATCH BASIN
C.C. - CURB CUT
CP - CALCULATED POINT
C.G.F. - COMBINED GRID FACTOR
C/O - CLEAN OUT
CYP - CYPRESSUS TREE
DB - DEED BOOK
DI - DROP INLET
ECM - EXISTING CONCRETE MONUMENT
EIR - EXISTING IRON ROD
EOG - EDGE OF GRAVEL
EU - END UNKNOWN
FH - FIRE HYDRANT
FFE - FINISH FLOOR ELEVATION
GDP - GUARD POST
GLT - GROUND LIGHT
GM - GAS METER
GV - GAS VALVE
HVAC - HEATING, VENTILATION, AIR COND.
LP - LIGHT POLE
MB - MAP BOOK
MW - MONITORING WELL
N.G.S. - NATIONAL GEODETIC SURVEY
NN - NEW NAIL
O/HANG - OVERHANG
PB - POWER BOX
PIN - PARCEL IDENTIFICATION NUMBER
PM - POWER METER
PP - POWER POLE
PG - PAGE
R/W - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
SSMH - SANITARY SEWER MANHOLE
TBM - TEMPORARY BENCHMARK
TERR - TERRACOTTA PIPE
TMH - TELEPHONE MANHOLE
WV - WATER VALVE

LINE LEGEND:

EASEMENT
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
GAS LINE
POWER LINE
POWER LINE (UNDERGROUND)
SANITARY SEWER PIPE
STORM DRAIN PIPE
TELEPHONE LINE (UNDERGROUND)
WATER LINE
WOOD FENCE
CHAIN LINK FENCE



EAST CATAWBA AVENUE

60' PUBLIC R/W
M.B. 33, PG. 155TOWN OF CORNELIUS
D.B. 422, PG. 166
PIN: 005-212-11REGAL OAKS LLC "ET AL"
D.B. 30729, PG. 192
PIN: 005-212-10

FLOOD CERTIFICATION

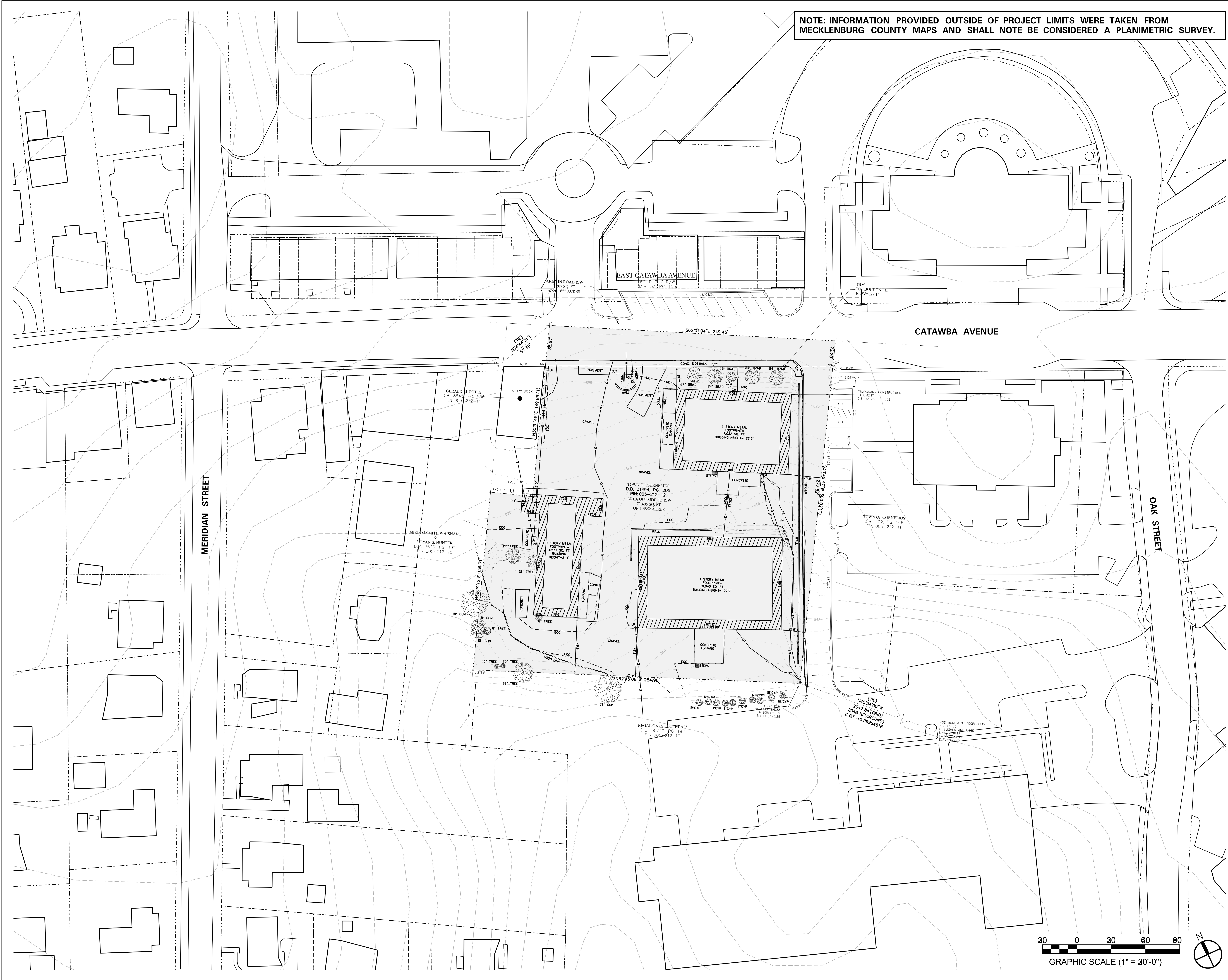
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED SEPTEMBER 2, 2015

MAP NUMBER: 9710464300K; ZONE "X"

THIS IS TO CERTIFY THAT ON THE 25TH DAY OF SEPTEMBER 20 17 AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE .1600 (21 NCAC 56) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED





NOTE: INFORMATION PROVIDED OUTSIDE OF PROJECT LIMITS WERE TAKEN FROM MECKLENBURG COUNTY MAPS AND SHALL NOT BE CONSIDERED A PLANIMETRIC SURVEY.

CDESIGN

C DESIGN INC.
704.333.0093
www.cdesigninc.com

steinberg
hart | holzman moss bottino
architecture

90 Broad Street
Suite 1803
New York, NY 10004
t 212.465.0808
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FOR
THE ARTS

TOWN OF CORNELIUS
CAIN CENTER FOR
THE ARTS
21348 Catawba Ave, Cornelius, NC 28031

Andrew Grant
704.892.6031 x 172

1966
SDI
STRUCTURAL
ENGINEERS

STANLEY D. LINDSEY
AND ASSOCIATES, LTD
1347 HARDING PLACE
SUITE 201
CHARLOTTE, NC 28204
WWW.SDLAL.COM
PROJECT No. 17305.00
COA No. C-3332
T. 704.333.3122

NOT FOR
CONSTRUCTION

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PROJECT NUMBER
DATE

0604-0422
04.17.2020

ADDITIONAL EXISTING
CONDITIONS PLAN

C1.01

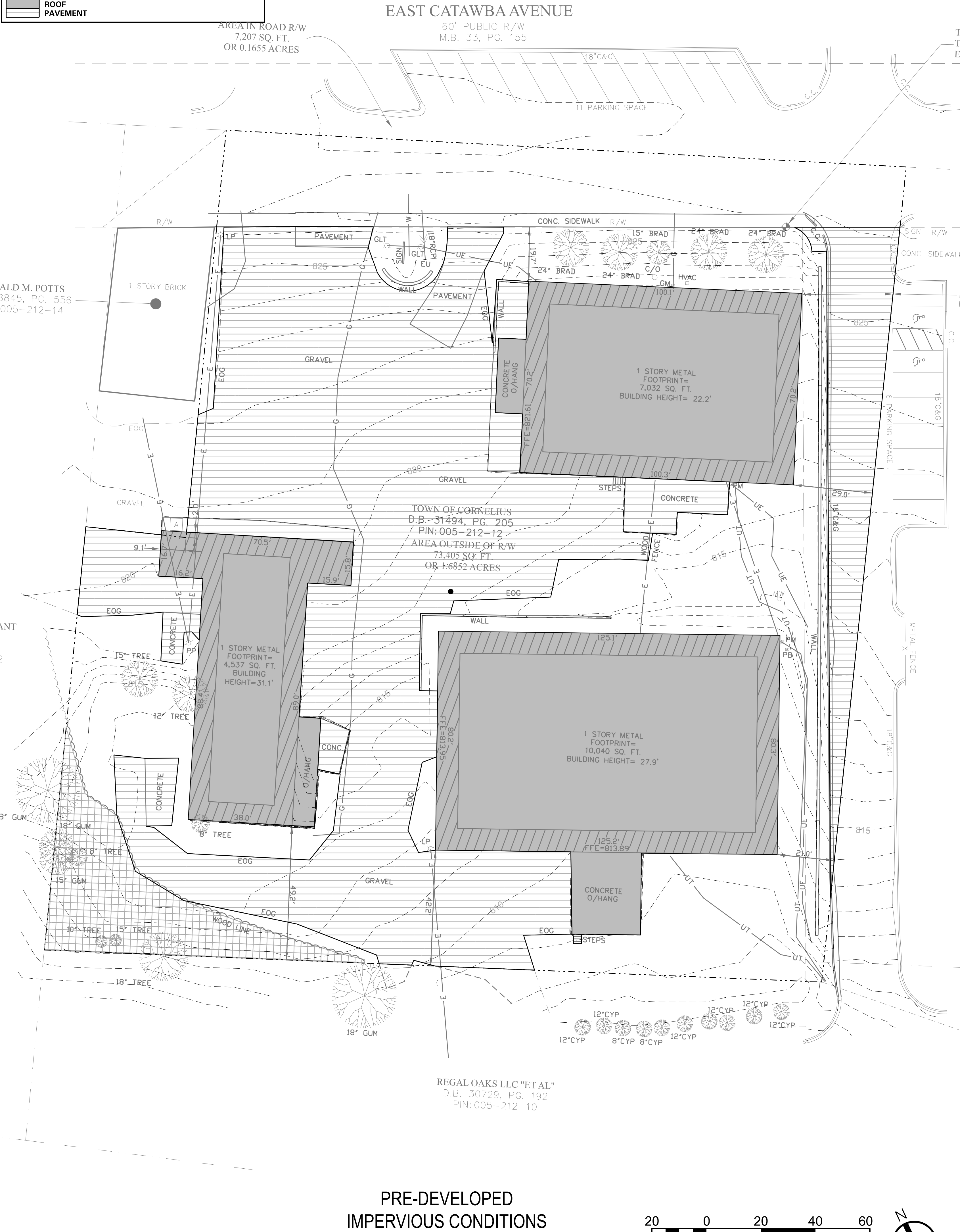
DRAWING FILE: P:\2017\2017\21 Cornelius Arts Center\CADD Files\cainC101.dgn
PLOTTED ON: 20APR2020 10:21

DRAINAGE AREAS

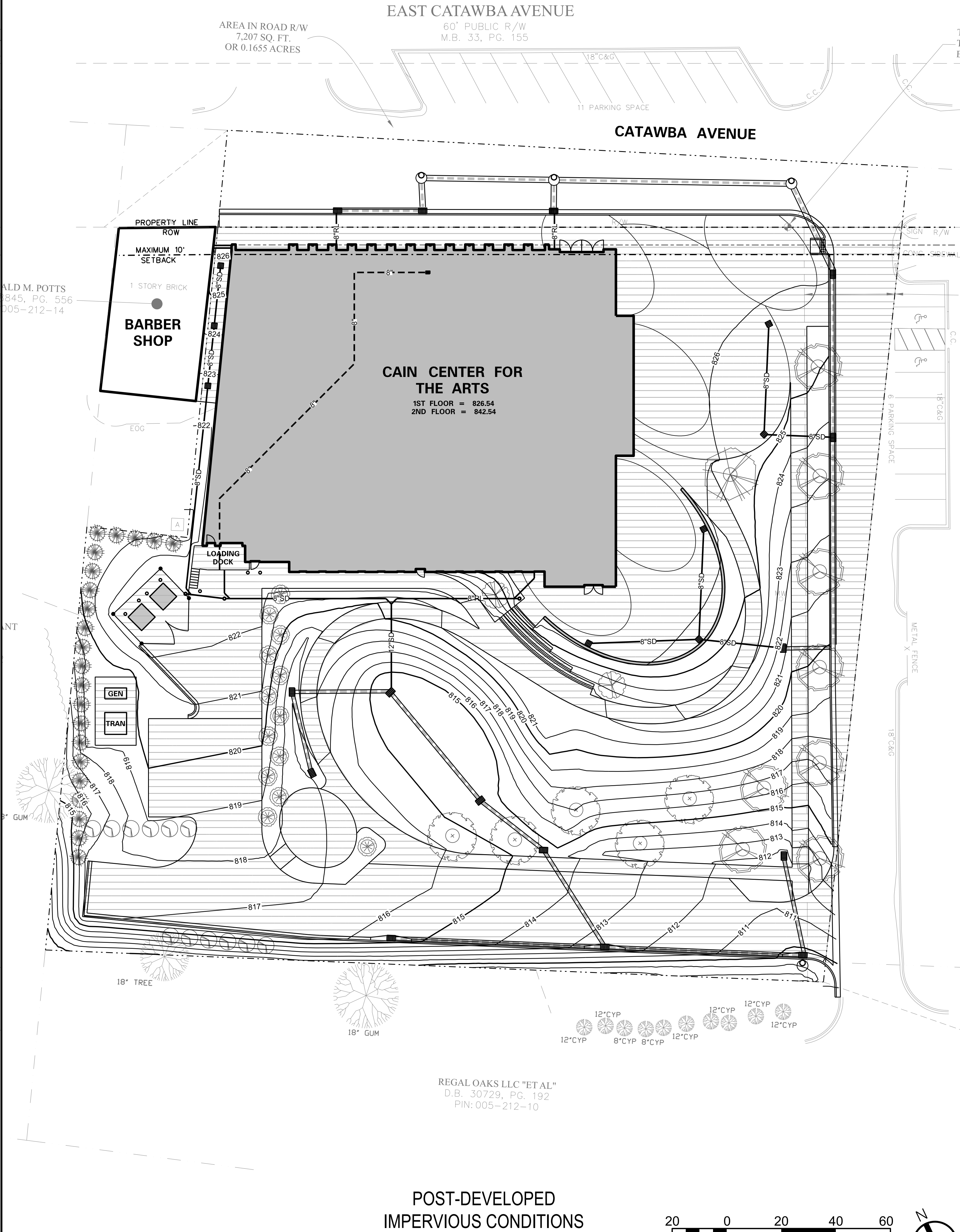
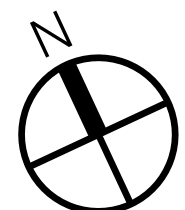
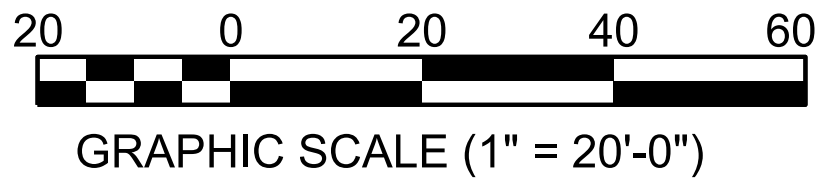
AREA TYPE	SOIL HYD. GROUP	AREA (ACRES)	
		PRE-DEV	POST-DEV
		DA 1	DA 1
WOODS	"B"	0.065	0.000
GRASS	"B"	0.417	0.571
TOTAL PERVIOUS		0.482	0.571
ROOF		0.527	0.404
PAVEMENT		0.676	0.710
TOTAL IMPERVIOUS		1.203	1.114
TOTAL AREA		1.685	1.685
IMPERVIOUS %		71.395%	66.113%

* RUNOFF CURVE NUMBERS TAKEN FROM TABLE 2-12 OF THE CHARLOTTE MECKLENBURG STORMWATER DESIGN MANUAL FOR SPECIFIC HYDROLOGIC SOILS GROUP.

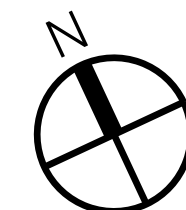
DRAINAGE AREA LEGEND



PRE-DEVELOPED IMPERVIOUS CONDITIONS

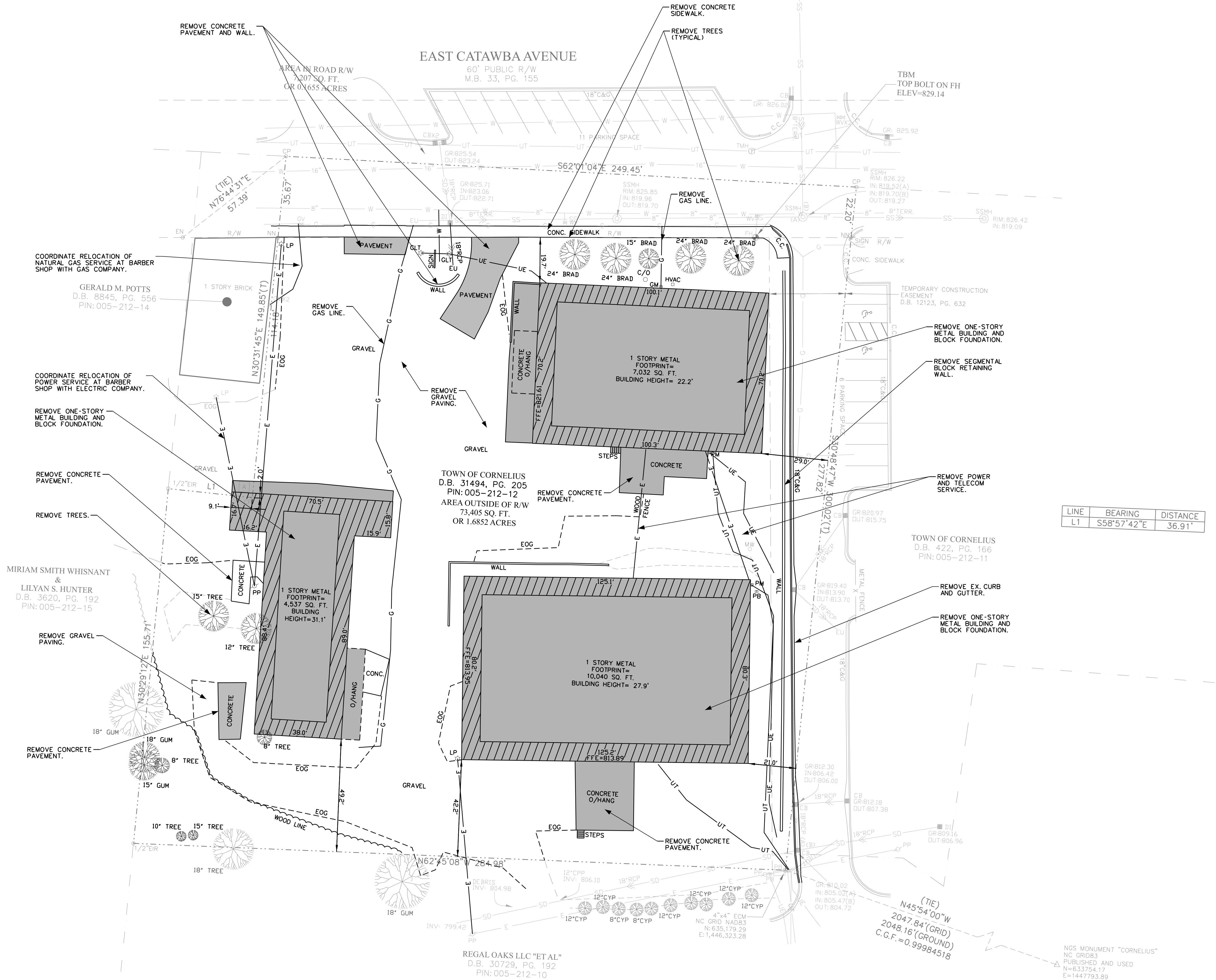


POST-DEVELOPED IMPERVIOUS CONDITIONS

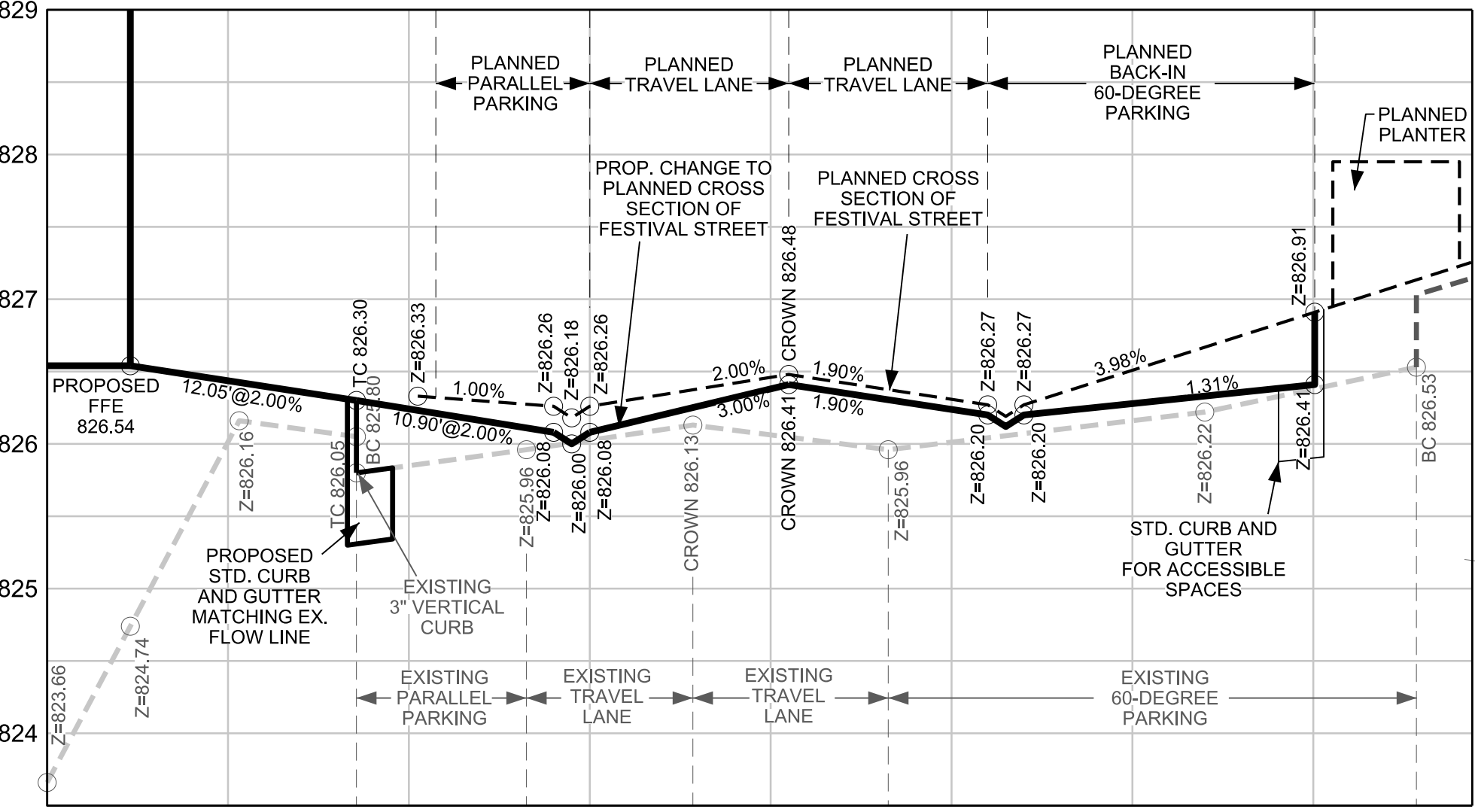
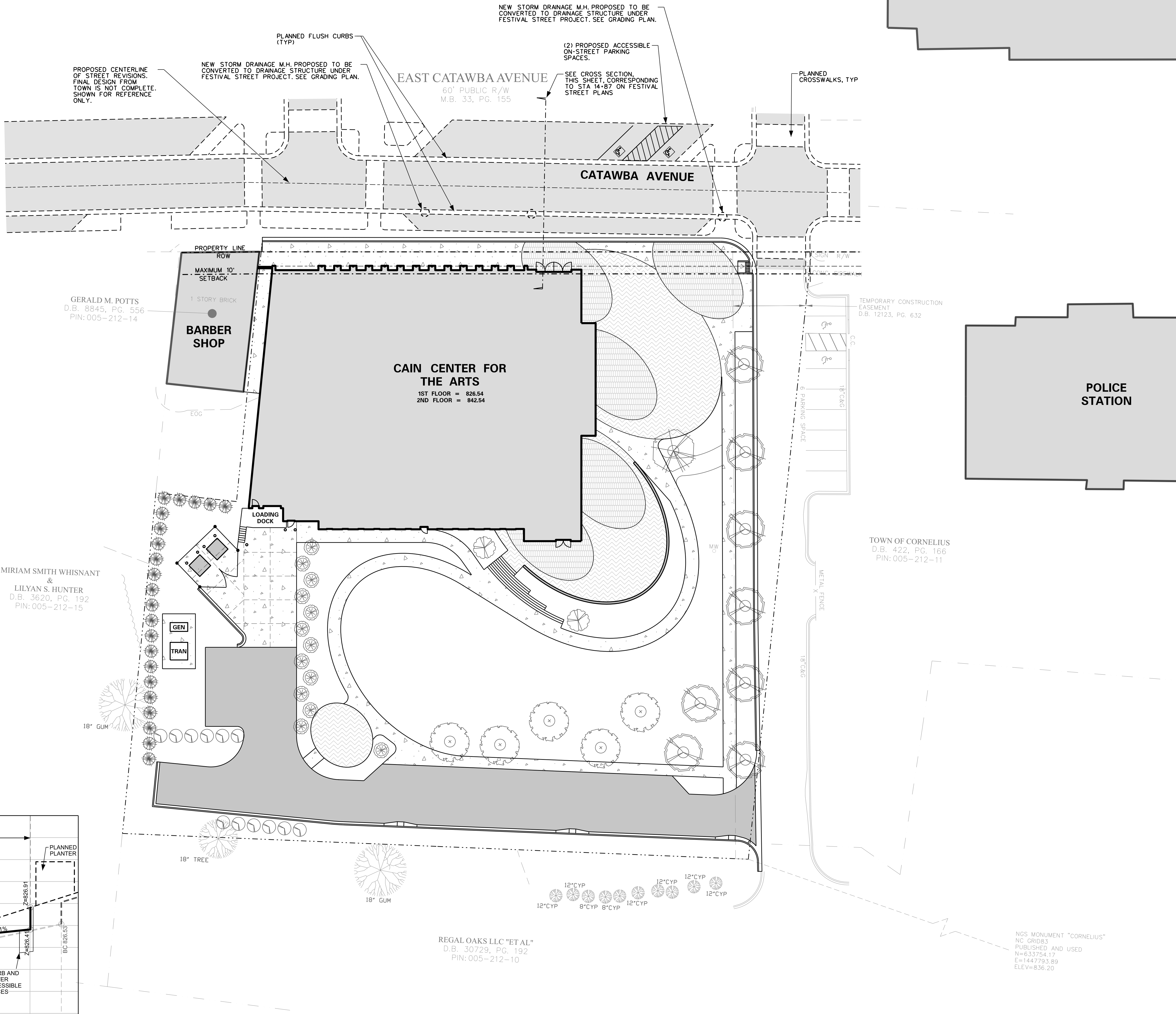


GENERAL NOTES (APPLY TO ALL CIVIL WORK):

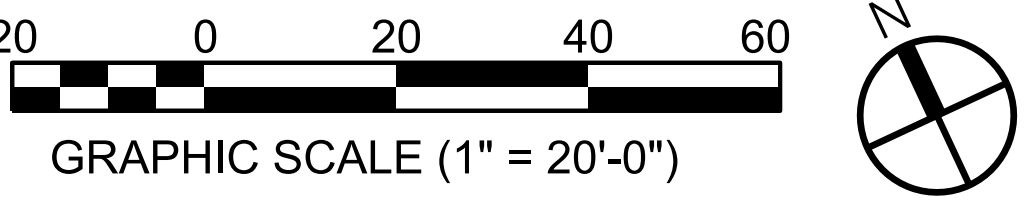
1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.
2. CONTRACTOR SHALL PHYSICALLY VERIFY PLAN LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION VIA THE USE OF TEST PITS OR SOFT DIGS.
3. PROTECT ALL EXISTING UTILITIES AND CONSTRUCTION TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES.
4. ALL EXISTING SURFACES TO REMAIN OR NEW WORK, THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO MATCH EXISTING ADJACENT SURFACES.
5. BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 811 AND COORDINATE LOCATION OF PUBLIC UTILITIES.
6. NO SOIL DISTURBANCE OR COMPACTION, STOCK PILING OF SOIL OR OTHER CONSTRUCTION MATERIALS, VEHICULAR TRAFFIC, OR PARKING OR STORAGE OF HEAVY EQUIPMENT ARE ALLOWED WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES. NO WORK SHALL BEGIN UNTIL TREE PROTECTION BARRICADES HAVE BEEN INSTALLED, BARRICADES TO REMAIN UNTIL AFTER ALL DEVELOPMENT ACTIVITIES ARE COMPLETED.
7. STORM DRAINAGE STRUCTURES AND SANITARY SEWER MANHOLE COORDINATES ARE LOCATED AT CENTER OF GRATE OR MANHOLE. ALL LINEAR FOOTAGE OF ALL UTILITY PIPES SHOWN ARE APPROXIMATE. ACTUAL INSTALLED QUANTITIES MAY VARY. PIPE LENGTHS PROVIDED ARE HORIZONTAL MEASUREMENTS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS THAT TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.
8. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE WORK SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES, DRAINAGE GRATES, VALVE BOXES, VAULT IDS, ETC. AS REQUIRED TO MATCH FINISHED GRADES. AGENTS INSTALLING ALL OTHER UTILITIES SHALL BE RESPONSIBLE FOR MATCHING FINISH GRADE WITH ANY NEW SURFACE STRUCTURE OR SURFACE ACCESS SERVING THEIR INSTALLED FACILITIES. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED UNDER THESE CIVIL PLANS (ELECTRIC, TELEPHONE, GAS, STEAM, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED. ALL PLANNED AND EXISTING UTILITIES ROUTINGS AND DEPTHS SHALL BE COORDINATED PRIOR TO ANY INSTALLATIONS.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT, NCDEQ, AND LOCAL STANDARDS. WHEN SPECIFICATIONS ARE IN CONFLICT, THE STRICTER SPECIFICATION SHALL BE HELD.
10. RIM ELEVATIONS GIVEN ON THESE PLANS ARE APPROXIMATE AND ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL RIM ELEVATIONS SHALL BE ADJUSTED BY CONTRACTOR TO MATCH FIELD CONDITIONS. THE TOP 12" OF ALL NEW CONCRETE STRUCTURES SHALL BE BRICK CONSTRUCTION OR OBTAINED WITH PRECAST GRADE RINGS TO ALLOW FOR ADJUSTMENT AS NECESSARY. STRUCTURES SHALL BE ADJUSTABLE +/- 12" FROM THE RIM ELEVATION PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
11. ALL SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, PART 1926 SUBPART P, AS AMENDED.
12. ALL LANE OR ROAD CLOSURES THAT ARE REQUIRED SHALL FOLLOW THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS FOR TRAFFIC CONTROL MEASURES (MUTCD).



NOTE: THIS PLAN IS INTENDED TO SHOW THE ANTICIPATED INTERFACE WITH THE PROPOSED FESTIVAL STREET PROJECT IN THE FUTURE CONDITION. ALL INFORMATION SHOWN ON THIS PLAN IS TAKEN FROM PRELIMINARY DOCUMENTS PROVIDED BY THE TOWN OF CORNELIUS AND SHALL BE CONSIDERED FOR REFERENCE ONLY.



STA 14+87 ON "CATAWBA FESTIVAL STREET" PLANS, DATED 9/18/17 | SCALE: H: 1/8"=1'-0" V: 1"=1'-0"



DRAWING FILE: P:\2017\2017-21 Cornelius Arts Center\CADD Files\c3.01.dgn
PLOTTED ON: 20APR2020 10:28

UTILITY NOTES:

1. ALL WATER AND SEWER WORK TO BE PERFORMED IN ACCORDANCE WITH NC DEQ AND CHARLOTTE WATER'S STANDARDS AND SPECIFICATIONS.
2. REQUIRED WATER/SEWER SEPARATION: 10' LATERAL, UNLESS BOTTOM OF WATER MAIN >18" ABOVE TOP OF SEWER IN A SEPARATE TRENCH. WHEN THESE SEPARATIONS CANNOT BE MAINTAINED OR WHEN THE SEWER IS ABOVE THE WATER MAIN, BOTH THE WATER AND SEWER LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MINIMUM LATERAL DISTANCE OF 10 FT ON EACH SIDE OF THE CROSSING.
3. REQUIRED SEWER SEPARATION WITH OTHER UTILITIES: SEWER BELOW UTILITY: 24" CLEAR WITH STONE BEDDING FROM 6" BELOW SEWER TO 12" ABOVE SEWER. SEWER ABOVE UTILITY: 12" CLEAR. CLEARANCES MEASURED AS NOTED FOR WATER CONFLICTS. WHEN THESE SEPARATIONS CANNOT BE MAINTAINED, THE SEWER LINE SHALL BE CONSTRUCTED OF FERROUS MATERIAL WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A MINIMUM LATERAL DISTANCE OF 10 FT ON EACH SIDE OF THE CROSSING.
4. THERE SHALL BE NO TAPS, PIPING, BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS, OR OTHER WATER-USE APPURTENANCES CONNECTED ON THE SUPPLY SIDE OF ANY BACKFLOW PREVENTERS.
5. EACH NEW BPA IS REQUIRED TO BE TESTED BY A CERTIFIED TESTER IN ACCORDANCE WITH THE LOCAL AUTHORITY PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.
6. REFER TO LANDSCAPE PLANS FOR ALL PROPOSED SCREENING OF ABOVE GROUND BACKFLOW PREVENTERS.
7. ALL SANITARY SEWER LATERALS SHALL MAINTAIN A MIN. COVER OF 36" WITH CLEANOUTS AT 75' MAX. SPACING. MAINTAIN A MINIMUM SLOPE = 1.0%. CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING CLEANOUTS. CLEANOUTS WITHIN UNIT PAVEMENT AREAS SHALL HAVE BRASS CAPS. SEE DETAIL A1/CS.00.
8. ALL SANITARY SEWER PIPE SHALL BE BEDDED IN ACCORDANCE WITH DETAIL A2/CS.00.
9. ALL SEWER SERVICE LINES EXTENDED TO BUILDINGS SHALL TERMINATE WITH A CLEANOUT 5' FROM THE FACE OF THE BUILDING. THE PLUMBING CONTRACTOR SHALL MAKE THE CONNECTIONS.
10. DASHED WATER AND SEWER LINES REPRESENT LINES AND CONNECTIONS TO BE INSTALLED BY THE PLUMBING CONTRACTOR.
11. ALL BENDS AND INTERSECTIONS IN WATER LINES SHALL HAVE CONCRETE BLOCKING.
12. ALL NEW UNDERGROUND UTILITY LINES INCLUDING LAWN IRRIGATION LINES, THAT ARE LOCATED OUTSIDE OF THE BUILDING FOOTPRINT ARE REQUIRED TO HAVE A CONTINUOUS WARNING TAPE INSTALLED IN THE BACKFILL DIRECTLY OVER THE UTILITY LINE 6" TO 24" BELOW FINISHED GRADE AND 6" BELOW SUBGRADE UNDER PAVEMENT SECTIONS. REFER TO SPECIFICATIONS DIVISION 31 FOR WARNING TAPE REQUIREMENTS.

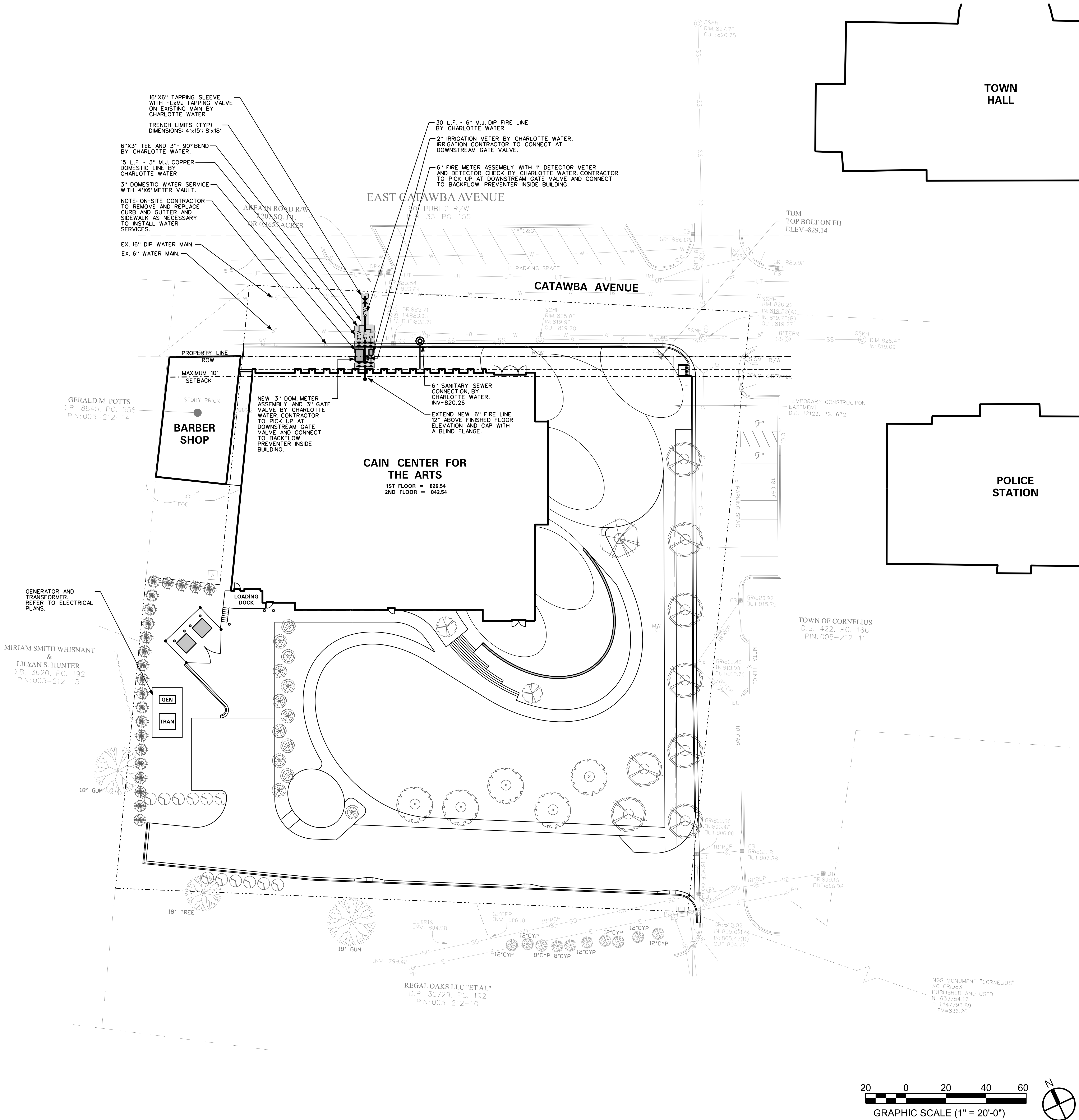
BOTH METALLIC AND NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE MAGNETIC TYPE WARNING TAPE, MIN. 2" WIDE, WITH LETTERING TO IDENTIFY BURIED LINE BELOW.

2018 NC GAS CODE, SECTION 404.17.3 TRACER: AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO UNDERGROUND NONMETALLIC PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE ABOVEGROUND AT THE END OF THE NONMETALLIC PIPING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 18AWG AND THE INSULATION TYPE SUITABLE FOR DIRECT BURY.

13. ALL VALVE BOXES WITHIN YARD AREAS SHALL BE FLUSH WITH FINISHED GRADE AND PROTECTED WITH A PRECAST CONCRETE DOWEL OR A FORMED CONCRETE PAD PER DETAIL A3/CS.00.
14. ALL UNDERGROUND UTILITIES, INCLUDING IRRIGATION AND METALLIC PIPE SHALL HAVE TRACER WIRE INSTALLED CONTINUOUSLY ALONG THE TOP OF THE PIPE TAPED AT 10' MAXIMUM INTERVALS. TRACER WIRE SHALL BE BROUGHT UP AT ALL VAULTS, MANHOLES, VALVE BOXES, FIRE HYDRANTS, FREE STANDING FDC'S, ETC. AS SHOWN IN DETAIL A4/CS.00.

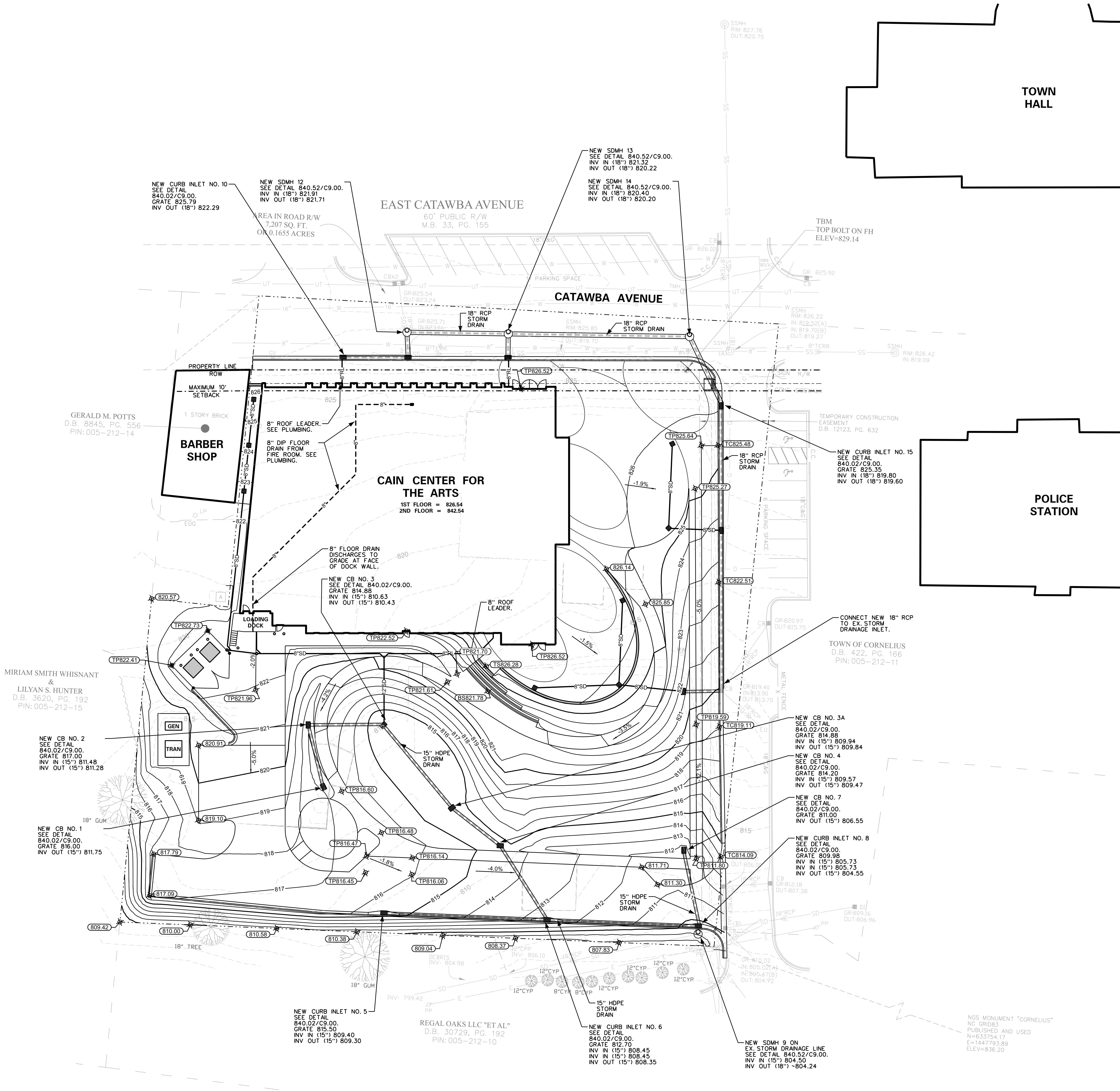
2012 NCP, SECTION 306.2.4 TRACER WIRE: FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND THE BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.

15. ALL NEW WATER VALVES SHALL BE CLOCKWISE TO CLOSE.
16. THE MINIMUM BURIAL DEPTH FOR ALL NEW WATER AND SEWER LINES SHOWN ON THIS SHEET SHALL BE THREE FEET. P.V. LINES BENEATH VEHICULAR DRIVES, ROADS, PARKING, ETC. SHALL HAVE A MINIMUM BURIAL DEPTH OF 4'.



GRADING AND DRAINAGE NOTES:

- CONTRACTOR SHALL TAKE CARE TO MAKE SMOOTH FLOWING TRANSITIONS AT NEW AND EXISTING ASPHALT TIES. SLOPE BETWEEN FIXED SPOT ELEVATIONS SHALL BE CONSTANT UNLESS OTHERWISE SPECIFIED.
- ALL MATERIAL TYPES OF ALL PROPOSED STORM DRAINAGE PIPE SHALL BE PROPERLY BEDDED PER DETAIL A2/C9.00.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES TO TOP OF PAVEMENT OR TOP OF SOIL IN PLANTING/GRASS AREAS. REFER TO PAVEMENT CROSS SECTION DETAILS TO ESTABLISH CORRECT SUBBASE ELEVATION.
- NEW EARTHWORK SHALL BE BLENDED SMOOTHLY TO THE TIE INTO EXISTING GRADE.
- ALL NEW PAVEMENT AREAS SHALL HAVE POSITIVE DRAINAGE SUCH THAT ALL RUNOFF WILL DRAIN ACROSS PAVEMENT TO NEW OR EXISTING DRAINAGE FEATURES OR SHEET FLOW OVERLAND.
- REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR BUILDING AND RETAINING WALL FOUNDATION DRAIN LOCATIONS, PIPE SIZES, AND MATERIALS. REFER TO CIVIL PLANS FOR EXTENSION OF FOUNDATION DRAIN LINES FROM WALL TO OUTFALL LOCATION. ALL FOUNDATION DRAIN LINES WHICH CONNECT TO THE PROPOSED STORMWATER SYSTEM RATHER THAN DISCHARGING TO GRADE SHALL HAVE A BACKWATER VALVE AT THE TIE-IN LOCATION. A TERMINAL TYPE BACKWATER VALVE SHALL BE INSTALLED AT CATCH BASINS AND MANHOLES. SEE DETAIL A4/C9.00.
- ANY PROPOSED GRASSED (SEED OR SODDED), MULCHED OR PLANTING AREA SHALL BE LEFT 4" BELOW FINISHED GRADES SHOWN. THE FINAL 4" IN ALL DISTURBED AREAS SHALL BE A 4" LAYER OF TOPSOIL BEFORE PLACING THE TOPSOIL. THE TOP 6" OF THE SUBGRADE SHALL BE UNCOMPACTED WITH ALL STONE AND CONSTRUCTION DEBRIS REMOVED. WORK THE FIRST 2" OF TOPSOIL INTO THE TOP 4" OF LOOSENEED SUBGRADE BEFORE SPREADING THE FINAL 2" OF TOPSOIL. IF TOPSOIL SECTION IS INDICATED AS OTHER THAN 4" ON LANDSCAPE PLANS, FOLLOW LANDSCAPE PLANS.
- ALL DRAINAGE STRUCTURES SHALL BE GROUTED TO THE INVERT OF THE OUTFLOW PIPE TO ELIMINATE ANY SUMP CONDITION. ALL PIPE PENETRATIONS SHALL BE FLUSH WITH THE STRUCTURE WALL AND GROUTED.
- DRAINAGE STRUCTURE ORIENTATION SHALL BE AS SHOWN ON THE DRAWINGS. GRATES ARE TYPICALLY SHOWN SET SQUARE TO THE ADJACENT WALK EDGE, BUILDING FACE, OR CURB LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING THE DRAINAGE STRUCTURE AT NO ADDITIONAL COST TO THE OWNER IF SHOWN ORIENTATIONS ARE NOT OBTAINED.
- PER SECTION 28-175(E) OF CITY CODE AND SECTION 10.0 OF THE POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL ROOF LEADERS TO BE EITHER SCH. 40 PVC, SMOOTH WALL HDPE, OR DUCTILE IRON PIPE. ALL ROOF LEADERS SHALL HAVE A 1% MINIMUM SLOPE AND MAINTAIN A 24" MINIMUM COVER. REFER TO DETAIL A1/C9.00 FOR CLEANOUTS. ALL ROOF LEADERS SHALL CONNECT TO MAIN LINES WITH WYE FITTINGS.
- STORM DRAINAGE PIPING: IF NOTED AS OPTIONAL, THE CONTRACTOR MAY PROVIDE EITHER CLASS III RCP OR SMOOTH WALL HDPE. INSTALL HDPE AS PER MANUFACTURER'S RECOMMENDATIONS. BEDDING SHALL BE PER DETAIL A2/C9.00 FOR ALL STORM DRAINAGE PIPE. ALL PIPE DEEPER THAN 42" SHALL BE CLASS III RCP. IF NOT NOTED AS OPTIONAL, CONTRACTOR MUST PROVIDE THE MATERIAL CALLED OUT ON THE PLANS.
- ALL SLOPES 6:1 AND GREATER AND ALL GRASSED CHANNELS AND SWALES SHALL BE STABILIZED WITH TEMPORARY EROSION CONTROL SYNTHETIC LINER. SEE DETAIL D3/C9.00 FOR INSTALLATION. ADDITIONALLY, A 6" DIAMETER STRAW WATTLE SHALL BE STOKED ALONG THE CONTOUR OF THE SLOPE BEGINNING AT THE TOP OF SLOPE AND VERTICALLY SPACED AS REQUIRED.
- DRAINAGE GRATES ARE TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL PREVENT CONCRETE SPLASH, PAINT, OR OTHER DAMAGE FROM OCCURRING OR RESTORE/REPLACE AT COMPLETION OF PROJECT.
- TW AND GW ELEVATIONS PROVIDED REFER ONLY TO THE GRADE ELEVATION AT THE WALL. REFER TO ARCH. AND STRUCT. PLANS OR SEGMENTAL WALL SHOP DRAWINGS FOR TOTAL WALL HEIGHT ABOVE GRADE FOR PARAPETS, CAPS, SEAT WALL AND SCREEN WALL SECTIONS. ALL SPOT ELEVATIONS SHOWN WITHIN PAVED AREAS (ON CIVIL PLANS) AND ALONG CURBS REPRESENT TOP OF PAVEMENT (TP) OR BOTTOM OF CURB (BC) UNLESS OTHERWISE INDICATED.



CATAWBA AVENUE



BARBER
SHOP

CAIN CENTER FOR
THE ARTS

PLAZA
4,700 SF

PLAZA
3,000 SF

EVENT LAWN
5,500 SF

LOADING
DOCK

GEN

TRAN

Paver Plaza

Large Maturing
Evergreen Tree

Small maturing/
ornamental
flowering trees

Large Maturing
Shade Trees

20' wide access
drive

Medium
Evergreen
Screening shrubs

Dumpster
Enclosure

Large Evergreen
Screening shrubs

Medium
Evergreen
Screening Shrubs

Equipment pads

Staff Parking

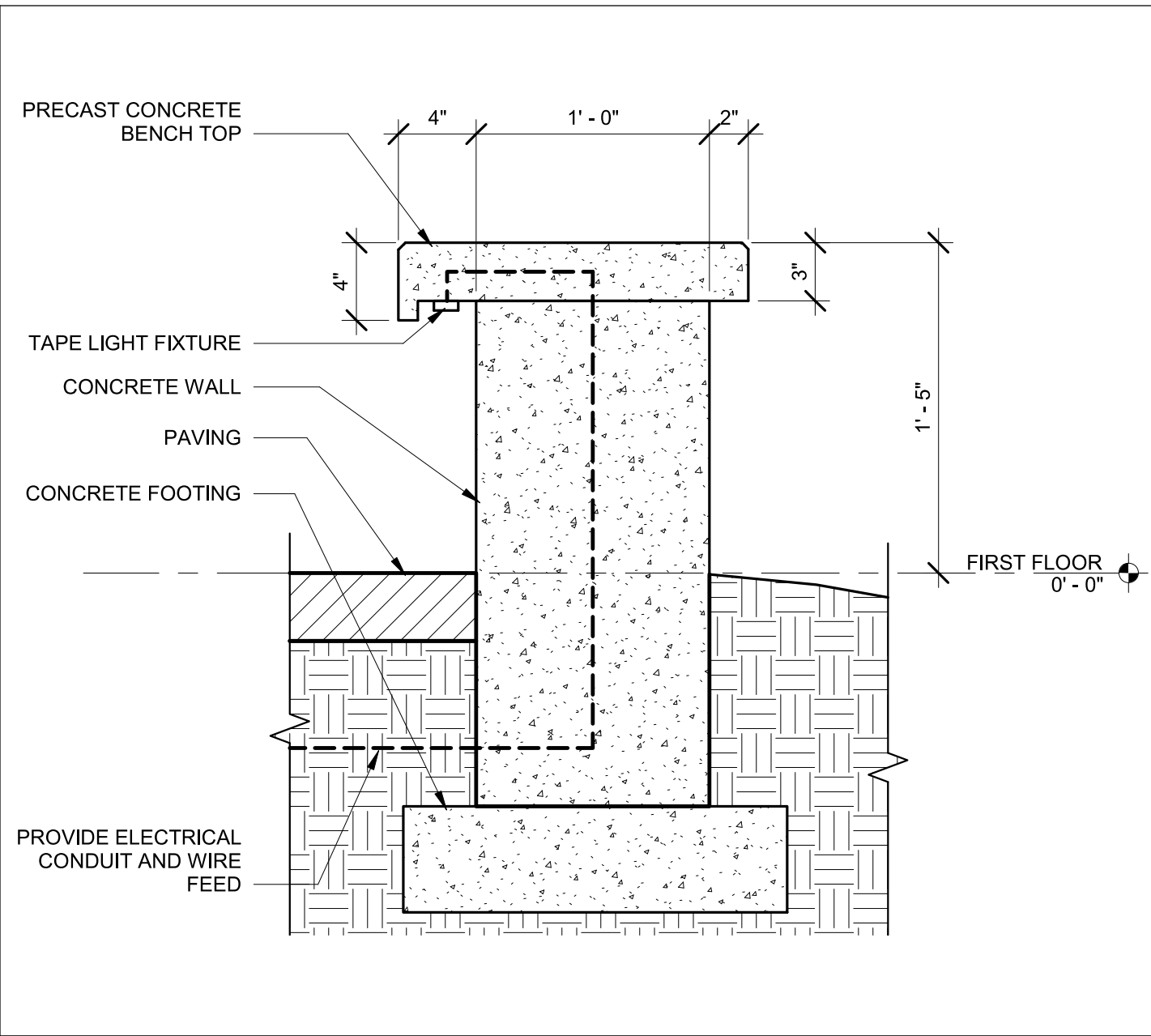
Medium
Evergreen
Screening shrubs



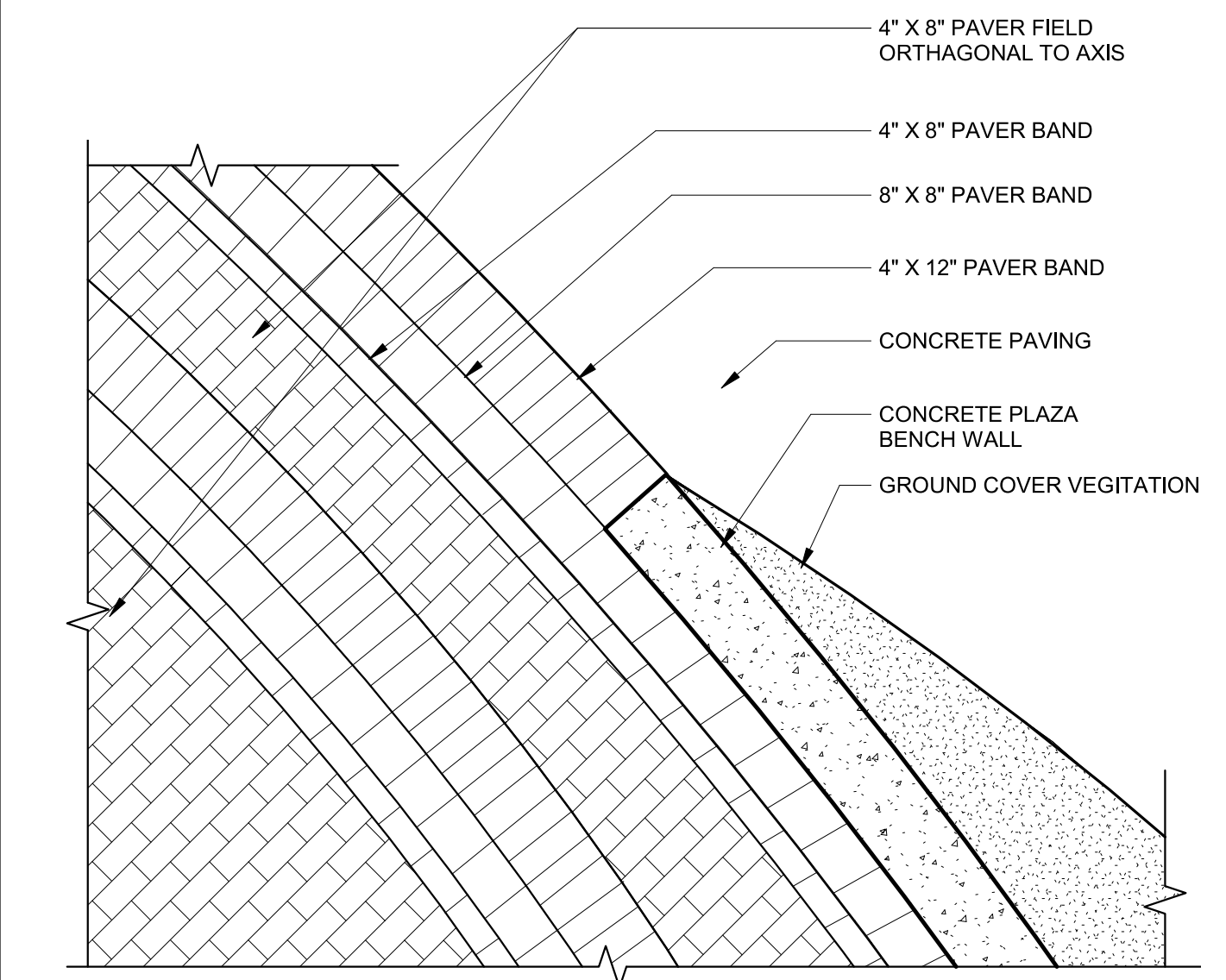




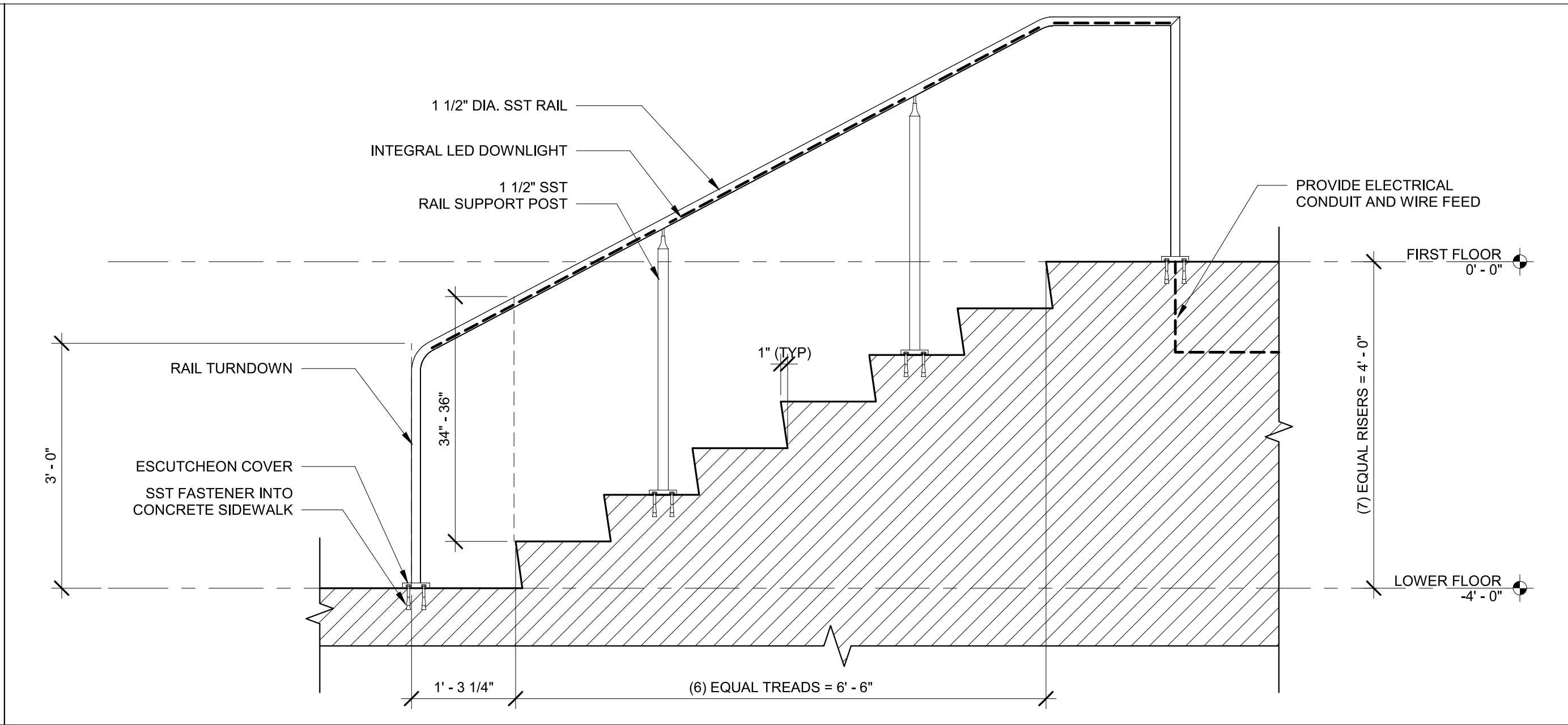




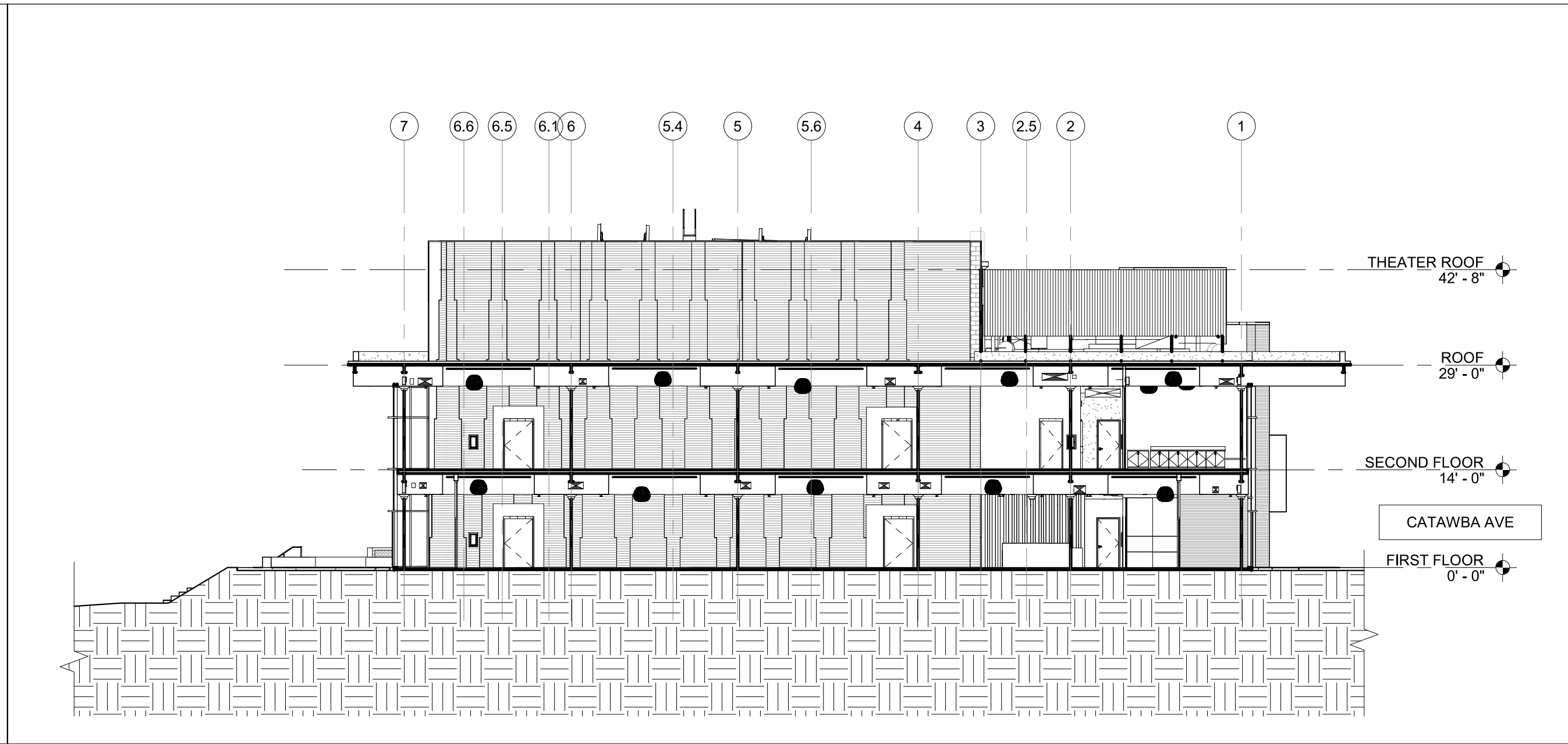
16 02/ A1.00
1 1/2" = 1'-0" SECTION AT PLAZA BENCH



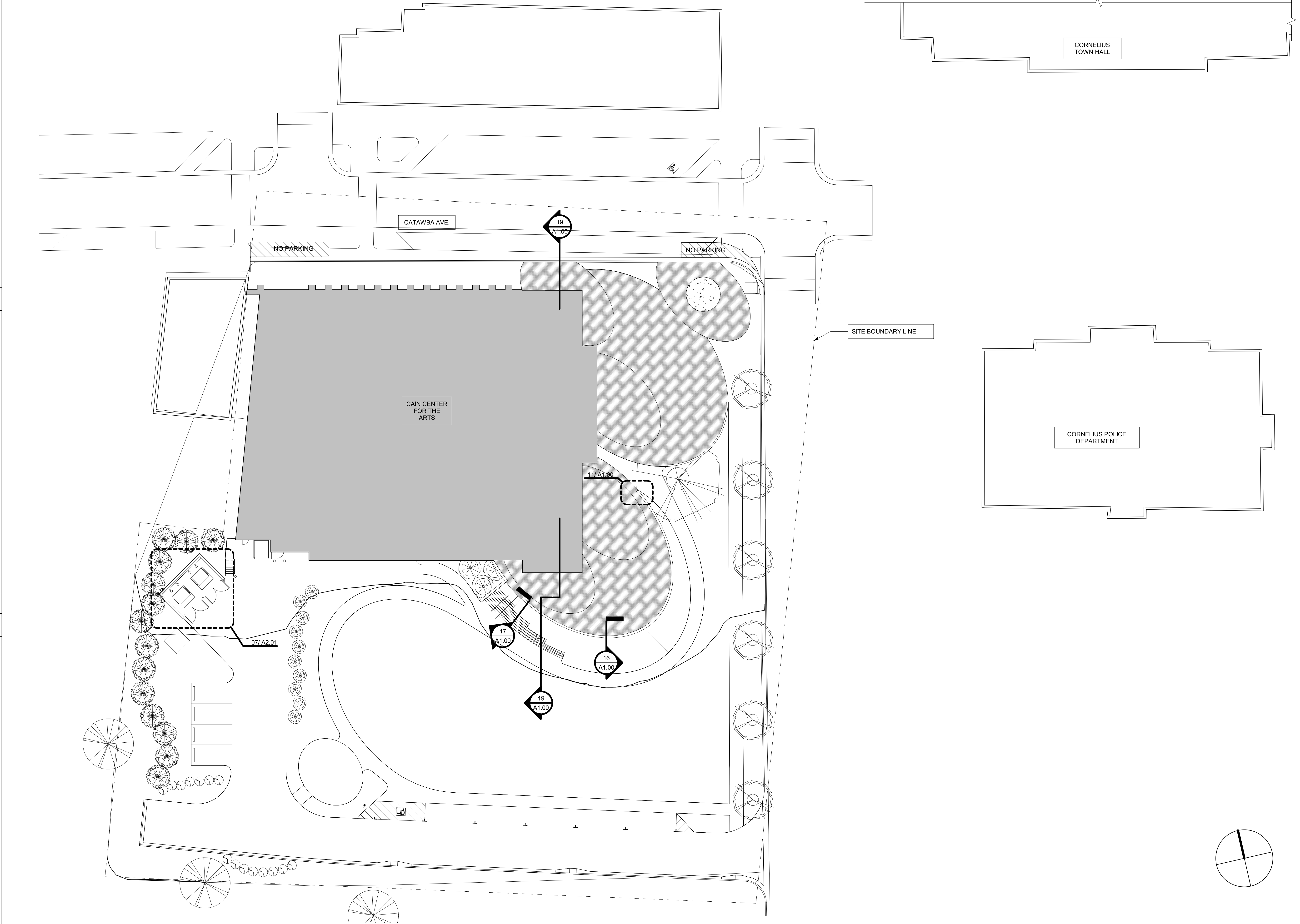
11 02/ A1.00
1 1/2" = 1'-0" PLAZA PATTERN



17 02/ A1.00
3/4" = 1'-0" ILLUMINATED RAIL



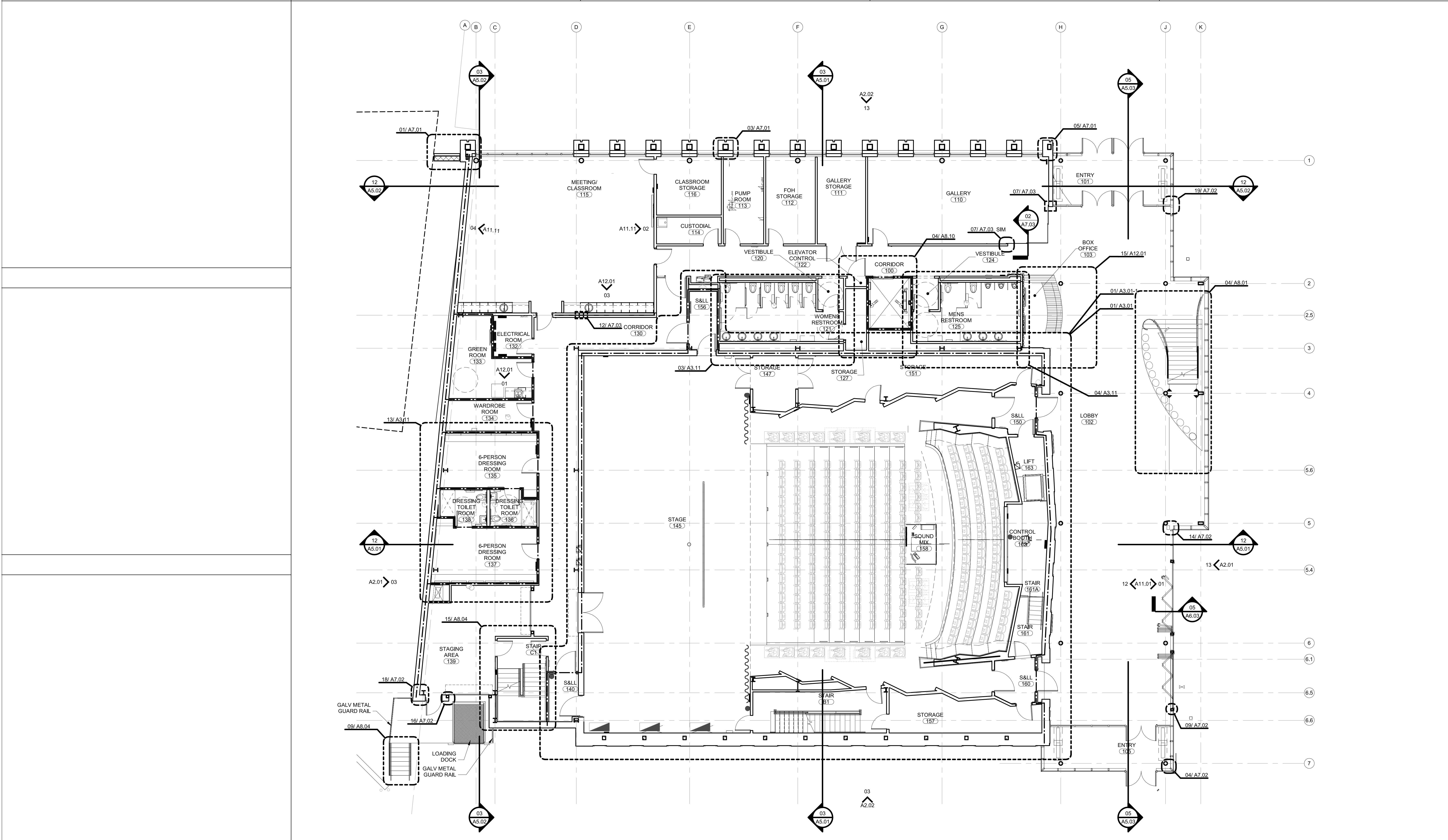
19 02/ A1.00
1/16" = 1'-0" SITE SECTION



02 1" = 20'-0" SITE PLAN

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			<div>GENERAL FLOOR PLAN NOTES</div> <div><div>1. PARTITIONS ARE DIMENSIONED FROM GRID LINE TO FINISH FACE OR FROM FINISH FACE TO FINISH FACE (UNO).</div><div>2. ALL DIMENSIONS SHALL BE FIELD VERIFIED.</div><div>3. ALL INTERIOR ELEVATOR SHAFT WALLS PARTITION TYPES ARE TO BE S10-3A (UNO).</div><div>4. ALL FIRE RATED PARTITIONS ARE TO BE PARTITION TYPE G7-3B (UNO).</div><div>5. ALL TOILET ROOM CHASE WALL PARTITIONS ARE TO BE PARTITION TYPE C2-3A (UNO).</div><div>6. ALL WALL PARTITIONS WITHIN THE THEATER WILL BE PARTITION TYPE G8-3B (UNO).</div><div>7. ALL FURRED WALL PARTITIONS WITHIN THE THEATER WILL BE PARTITION TYPE F2-3D (UNO).</div><div>8. ALL WALL PARTITIONS WILL BE PARTITION TYPE G7-3A (UNO).</div></div> <div>KEY PLAN NOTES</div> <div><div>1. FACE OF PARTITION TO ALIGN WITH FACE OF MASONRY.</div><div>2. PROVIDE BLOCKING AT WALL. LOCATE BLOCKING STARTING BETWEEN 3'-0" AFF AND CONTINUING UP TO 10' - 6" AFF.</div><div>3. PROVIDE BLOCKING AT WALL. LOCATE BLOCKING STARTING AT FINISH FLOOR LEVEL CONTINUING UP TO 10' - 6" AFF.</div><div>4. TVS AND DIGITAL DISPLAYS. REFER TO AUDIO VISUAL DRAWINGS FOR LOCATIONS.</div></div>	<div>1 HOUR RATED PARTITION</div> <div><div>FLOOR DRAIN</div><div>CORNER GUARD</div><div>CARD READER</div><div>SURFACE MOUNTED FIRE EXTINGUISHER</div><div>FIRE EXTINGUISHER CABINET - RECESSED</div><div>FIRE EXTINGUISHER CABINET - SEMI-RECESSED</div></div>	
		19 ^{NTS}	FLOOR PLAN NOTES	20 ^{NTS}	FLOOR PLAN LEGEND



02 1/8" = 1'-0" FIRST FLOOR

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Andrew Grant
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PROJECT INFORMATION

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REVISIONS

KEY PLAN

SHEET INFORMATION

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CHARLOTTE, N.C.

JOSEPH H. HARRIS
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PLAN NORTH

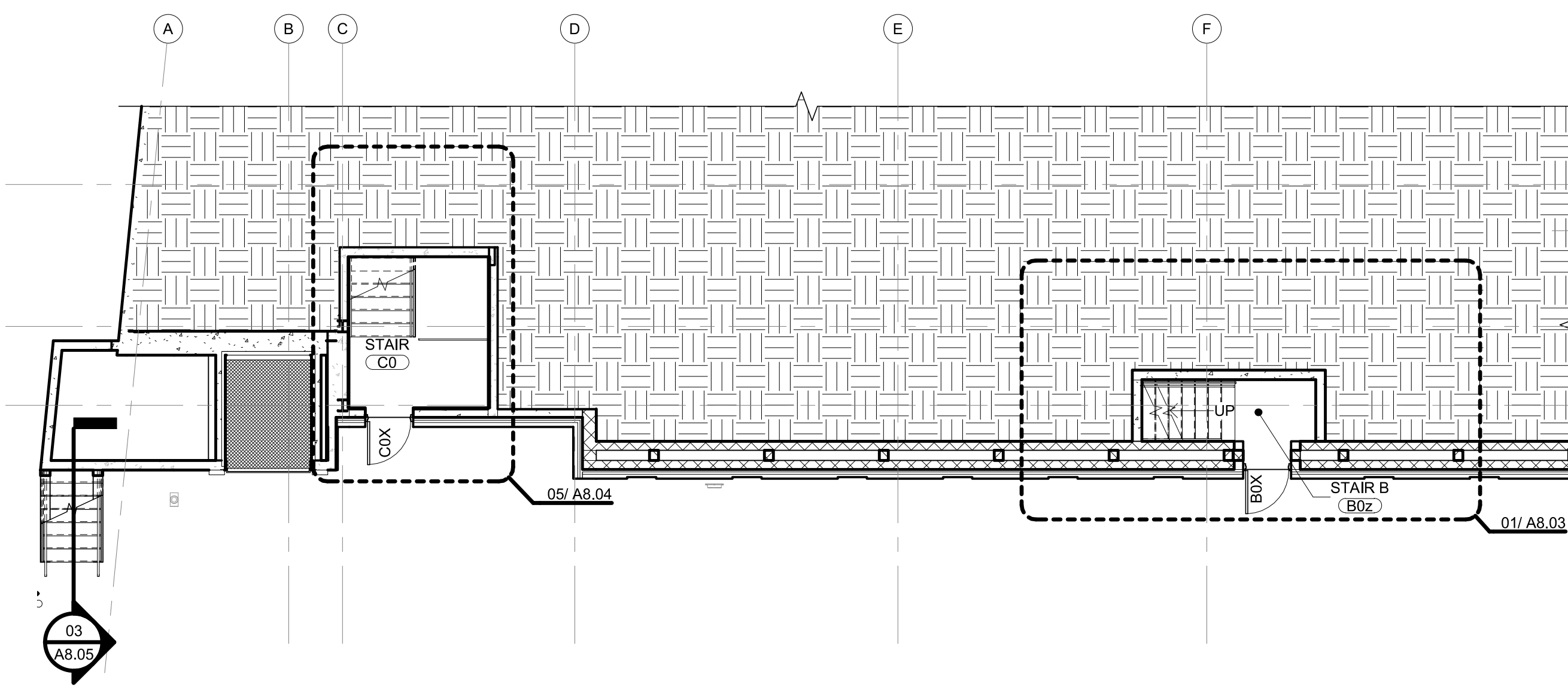
PROJECT NUMBER 0604-0422

DATE 08.24.2020

FIRST FLOOR PLAN

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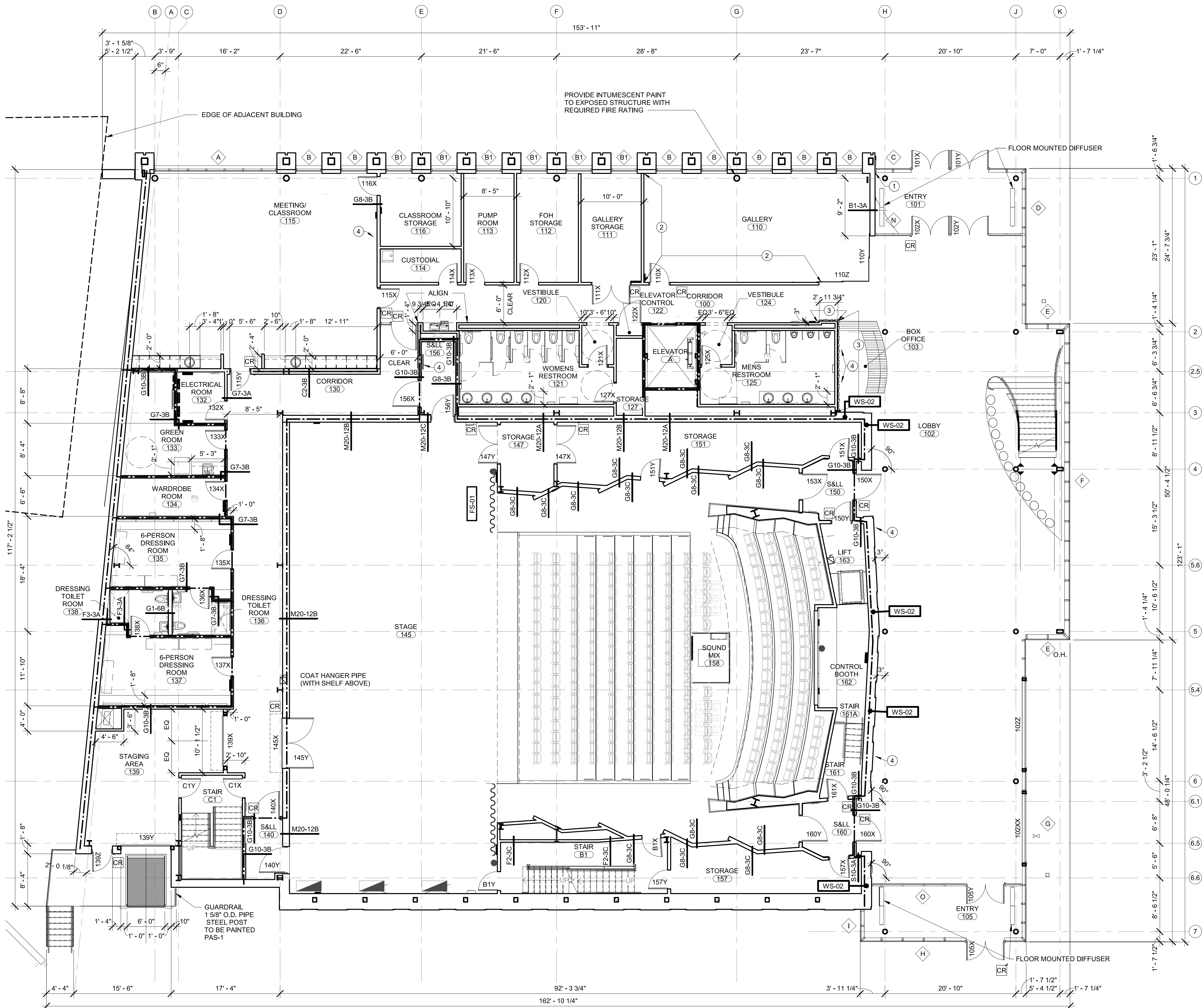
17 LOWER FLOOR

- GENERAL FLOOR PLAN NOTES
- PARTITIONS ARE DIMENSIONED FROM GRID LINE TO FINISH FACE OR FROM FINISH FACE TO FINISH FACE (UNO).
 - ALL DIMENSIONS SHALL BE FIELD VERIFIED.
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 - TVS AND DIGITAL DISPLAYS. REFER TO AUDIO VISUAL DRAWINGS FOR LOCATIONS.

19 FLOOR PLAN NOTES

- 1 HOUR RATED PARTITION
- FLOOR DRAIN
 - CORNER GUARD
 - CARD READER
 - SURFACE MOUNTED FIRE EXTINGUISHER
 - FIRE EXTINGUISHER CABINET - RECESSED
 - FIRE EXTINGUISHER CABINET - SEMI-RECESSED

20 FLOOR PLAN LEGEND



02 FIRST FLOOR

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Andrew Grant
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CERT. NO. 51454
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CHARLOTTE, N.C.

JOSEPH J. HART
LICENSED PROFESSIONAL ARCHITECT
12536
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CHARLOTTE, N.C.

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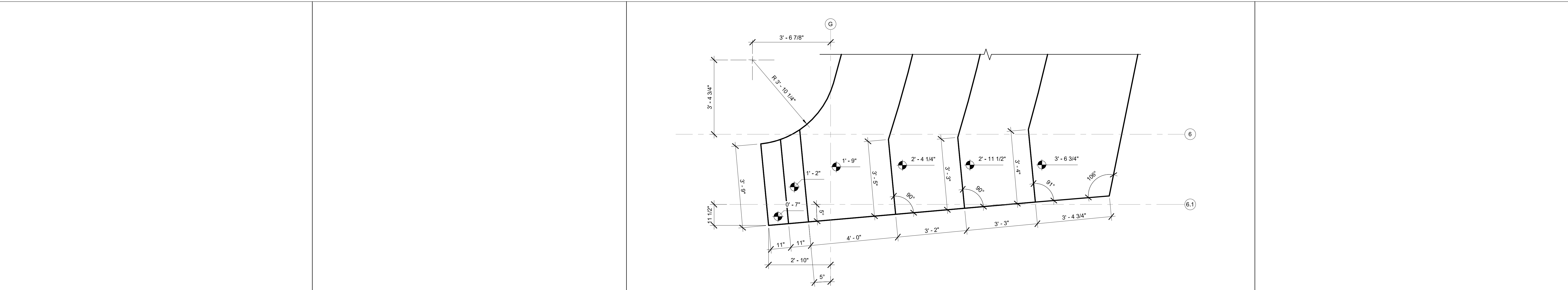
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DATE 08.24.2020

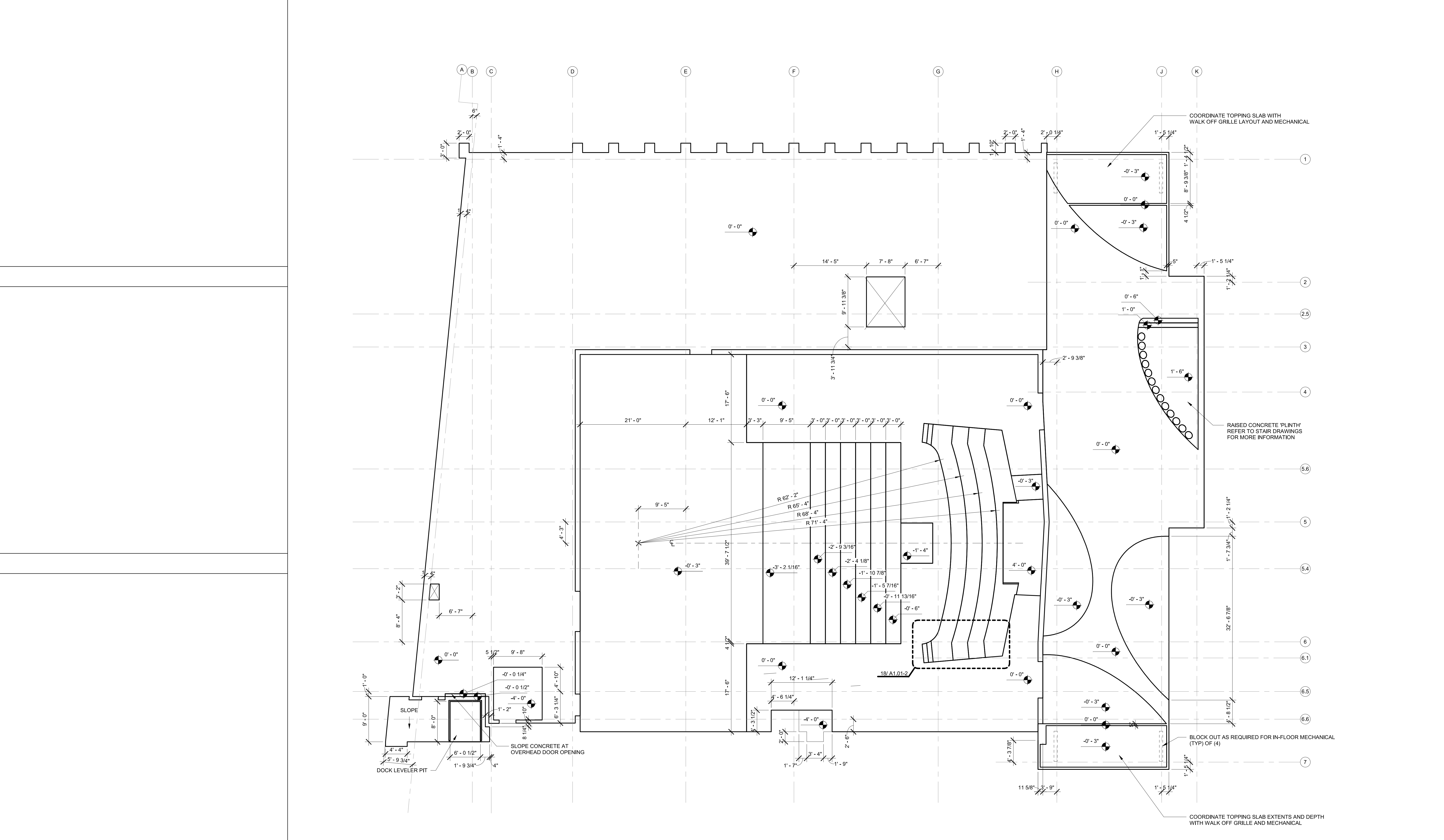
FIRST FLOOR PLAN -
DIMENSION AND
ANNOTATIONS PLAN

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18 02/A1.01-2 1/2\"/>

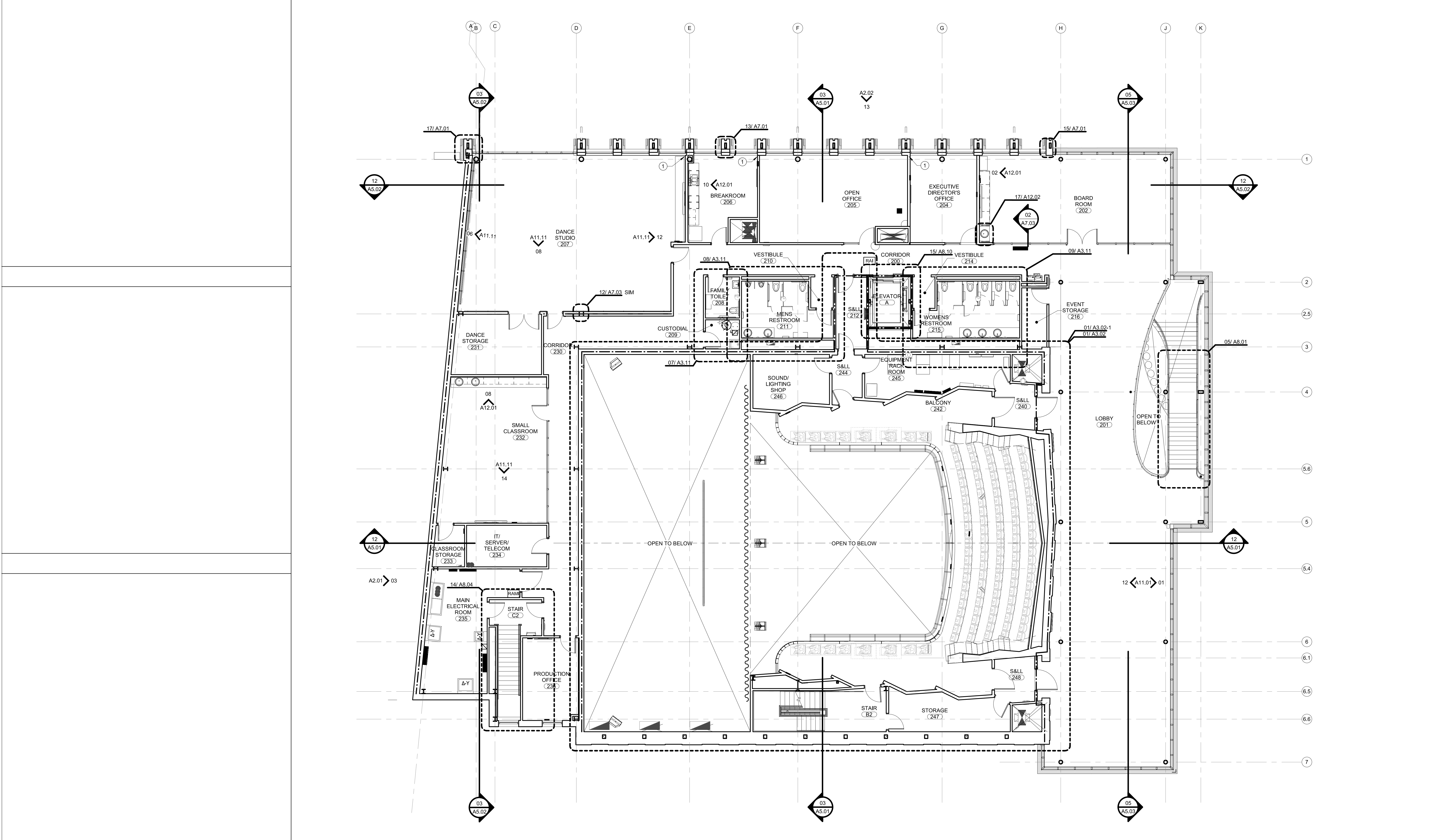


02 1/8\"/>

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			<div>GENERAL FLOOR PLAN NOTES</div> <div><div>1.</div><div>PARTITIONS ARE DIMENSIONED FROM GRID LINE TO FINISH FACE OR FROM FINISH FACE TO FINISH FACE (UNO).</div></div> <div><div>2.</div><div>ALL DIMENSIONS SHALL BE FIELD VERIFIED.</div></div> <div><div>3.</div><div>ALL INTERIOR ELEVATOR SHAFT WALLS PARTITION TYPES ARE TO BE S10-3A (UNO).</div></div> <div><div>4.</div><div>ALL FIRE RATED PARTITIONS ARE TO BE PARTITION TYPE G7-3B (UNO).</div></div> <div><div>5.</div><div>ALL TOILET ROOM CHASE WALL PARTITIONS ARE TO BE PARTITION TYPE C2-3A (UNO).</div></div> <div><div>6.</div><div>ALL WALL PARTITIONS WITHIN THE THEATER WILL BE PARTITION TYPE G8-3B (UNO).</div></div> <div><div>7.</div><div>ALL FURRED WALL PARTITIONS WITHIN THE THEATER WILL BE PARTITION TYPE F2-3D (UNO).</div></div> <div><div>8.</div><div>ALL WALL PARTITIONS WILL BE PARTITION TYPE G7-3A (UNO).</div></div>	<div>1 HOUR RATED PARTITION</div> <div><div><div></div></div>FLOOR DRAIN</div> <div><div><div></div></div>CORNER GUARD</div> <div><div><div>CR</div></div>CARD READER</div> <div><div><div>FE</div></div>SURFACE MOUNTED FIRE EXTINGUISHER</div> <div><div><div>FEC-R</div></div>FIRE EXTINGUISHER CABINET - RECESSED</div> <div><div><div>FEC-SR</div></div>FIRE EXTINGUISHER CABINET - SEMI-RECESSED</div>
			<div>KEY PLAN NOTES</div> <div><div>1.</div><div>FACE OF PARTITION TO ALIGN WITH FACE OF MASONRY.</div></div> <div><div>2.</div><div>PROVIDE BLOCKING AT WALL. LOCATE BLOCKING STARTING BETWEEN 3'-0" AFF AND CONTINUING UP TO 10' - 6" AFF.</div></div> <div><div>3.</div><div>PROVIDE BLOCKING AT WALL. LOCATE BLOCKING STARTING AT FINISH FLOOR LEVEL CONTINUING UP TO 10' - 6" AFF.</div></div> <div><div>4.</div><div>TVS AND DIGITAL DISPLAYS. REFER TO AUDIO VISUAL DRAWINGS FOR LOCATIONS.</div></div>	

			<div>19_{NTS} FLOOR PLAN NOTES</div>	<div>20_{NTS} FLOOR PLAN LEGEND</div>
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	<div>02</div>	<div>1/8" = 1'-0"</div>	<div>SECOND FLOOR</div>
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CONSULTANT

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REVISIONS

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CHARLOTTE, N.C.

OSHPA
NORTH CAROLINA
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PLAN NORTH

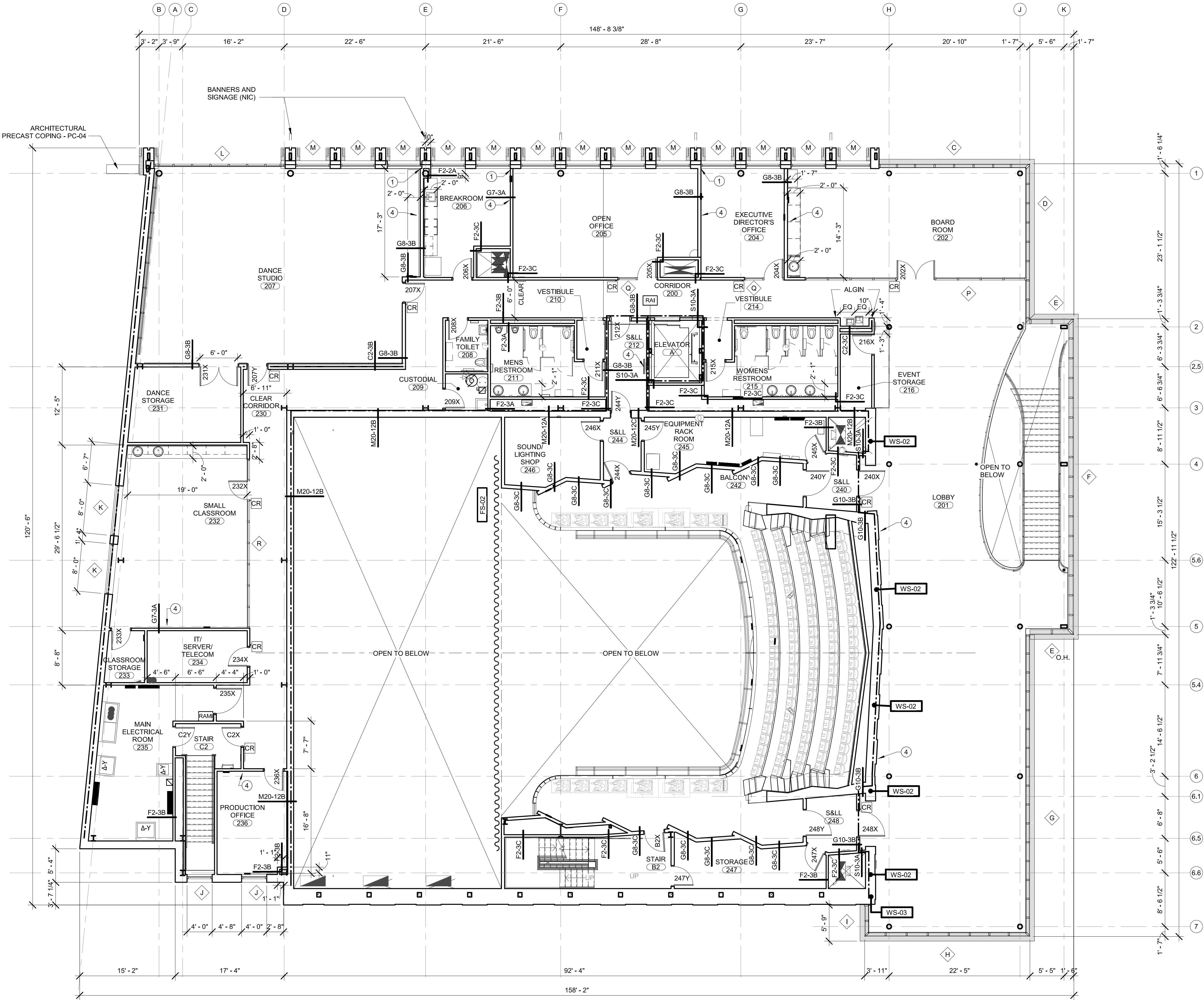
PROJECT NUMBER
0604-0422

DATE
08.24.2020

SECOND FLOOR PLAN

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GENERAL FLOOR PLAN NOTES

- PARTITIONS ARE DIMENSIONED FROM GRID LINE TO FINISH FACE OR FROM FINISH FACE TO FINISH FACE (UNO).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED.
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- ALL WALL PARTITIONS WITHIN THE THEATER WILL BE PARTITION TYPE G8-3B (UNO).
- ALL FURRED WALL PARTITIONS WITHIN THE THEATER WILL BE PARTITION TYPE F2-3D (UNO).
- ALL WALL PARTITIONS WILL BE PARTITION TYPE G7-3A (UNO).

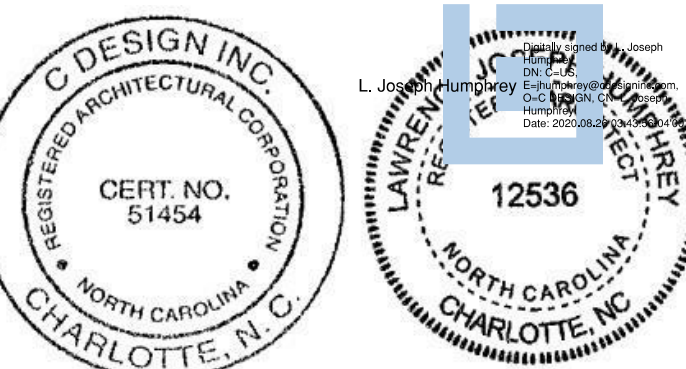
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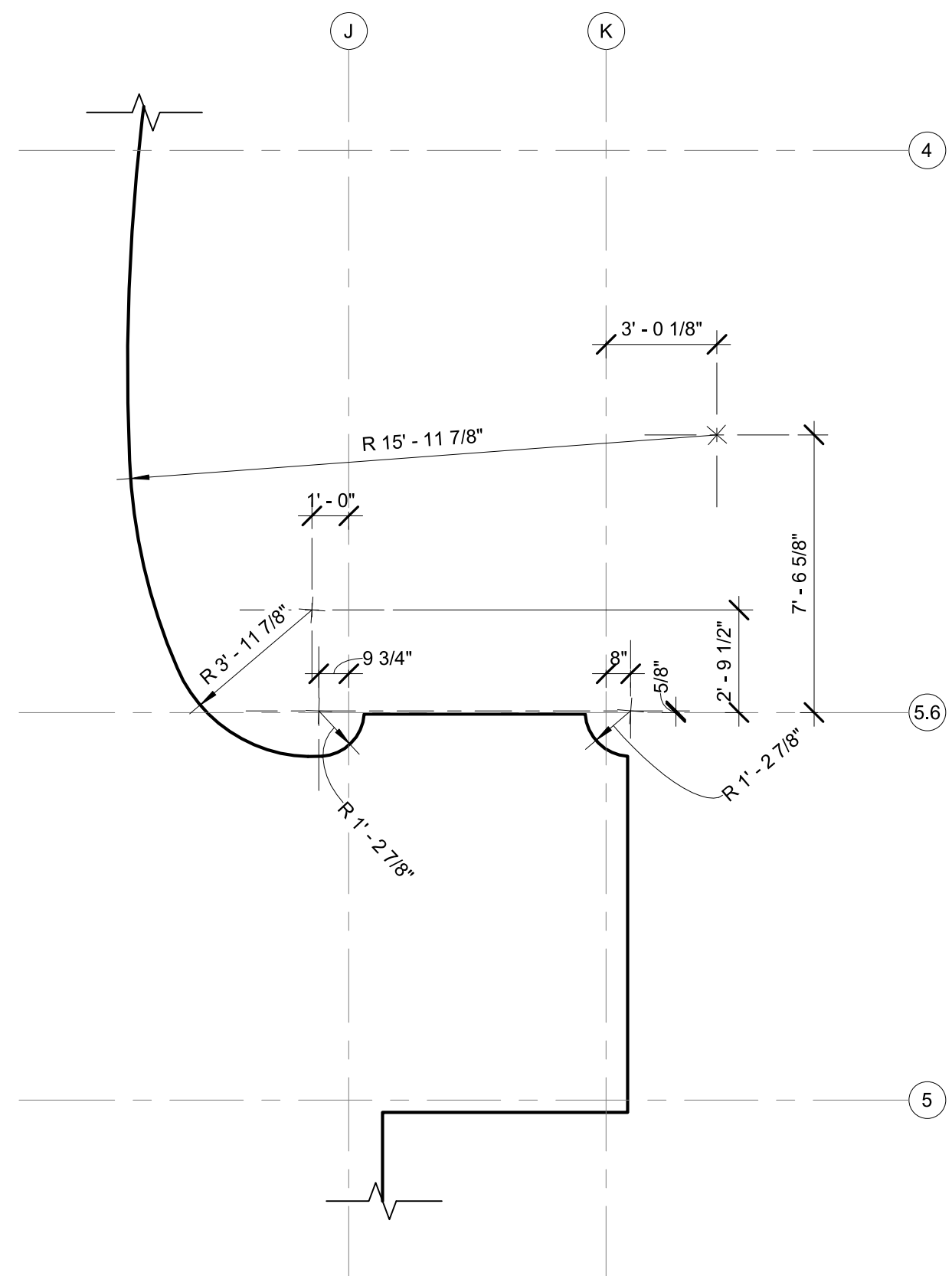
- FACE OF PARTITION TO ALIGN WITH FACE OF MASONRY.
- PROVIDE BLOCKING AT WALL. LOCATE BLOCKING STARTING BETWEEN 3'-0" AFF AND CONTINUING UP TO 10' - 0" AFF.
- PROVIDE BLOCKING AT WALL. LOCATE BLOCKING STARTING AT FINISH FLOOR LEVEL CONTINUING UP TO 10' - 0" AFF.
- TVS AND DIGITAL DISPLAYS. REFER TO AUDIO VISUAL DRAWINGS FOR LOCATIONS.

- 1 HOUR RATED PARTITION
- FLOOR DRAIN
- CORNER GUARD
- CARD READER
- SURFACE MOUNTED FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET - RECESSED
- FIRE EXTINGUISHER CABINET - SEMI-RECESSED

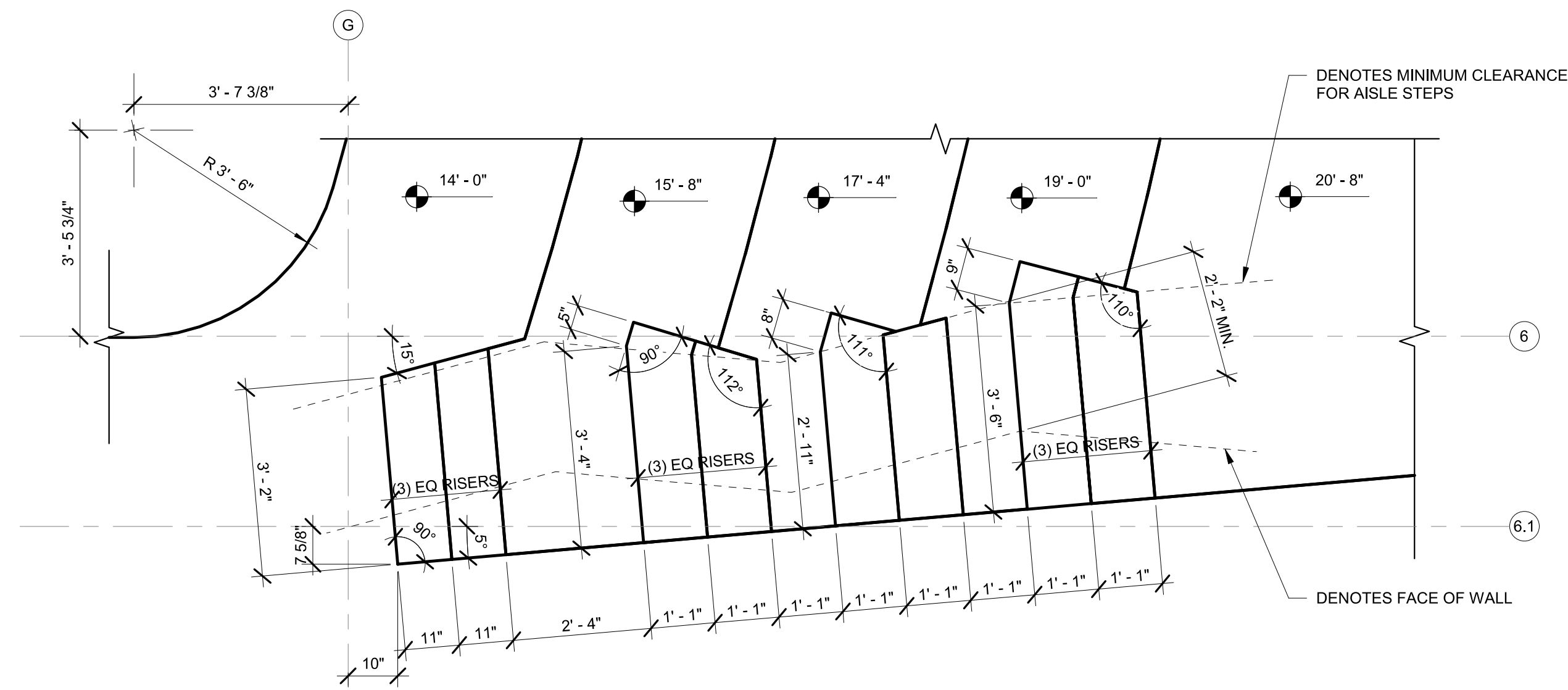
19 FLOOR PLAN NOTES

20 FLOOR PLAN LEGEND

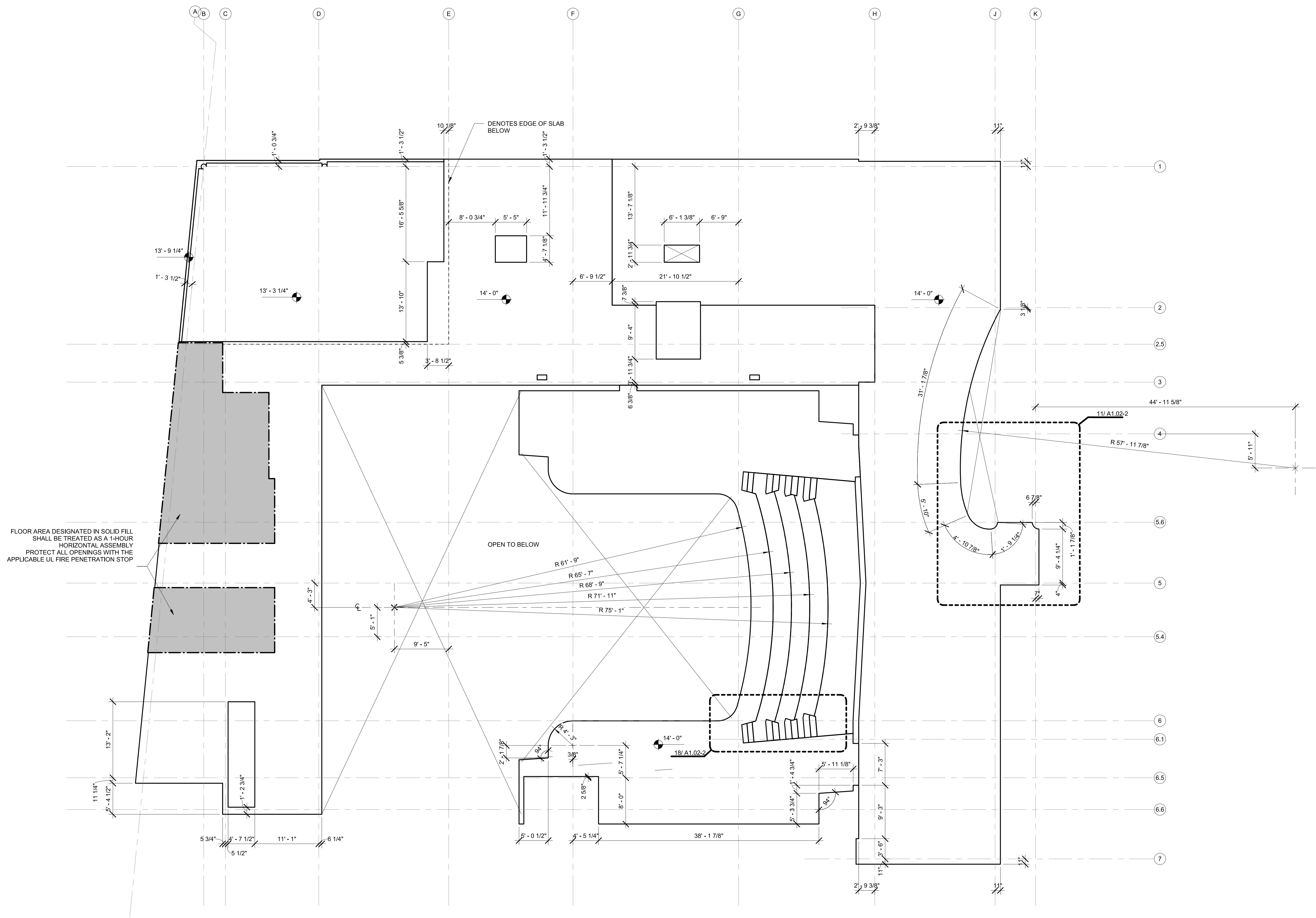




11 02/ A1.02-2
1/4" = 1'-0" OPENING AT STAIR A



18	02/ A1.02-2 1/2" = 1'-0"	BALCONY
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02 SECOND FLOOR

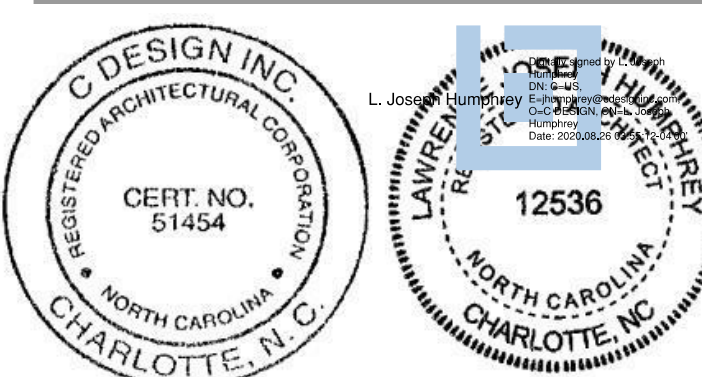


- 20 NTS ROOF PLAN NOTES

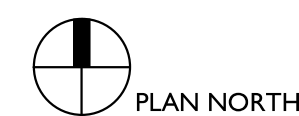
11^{NTS} ROOF TABULATIONS



A1.21



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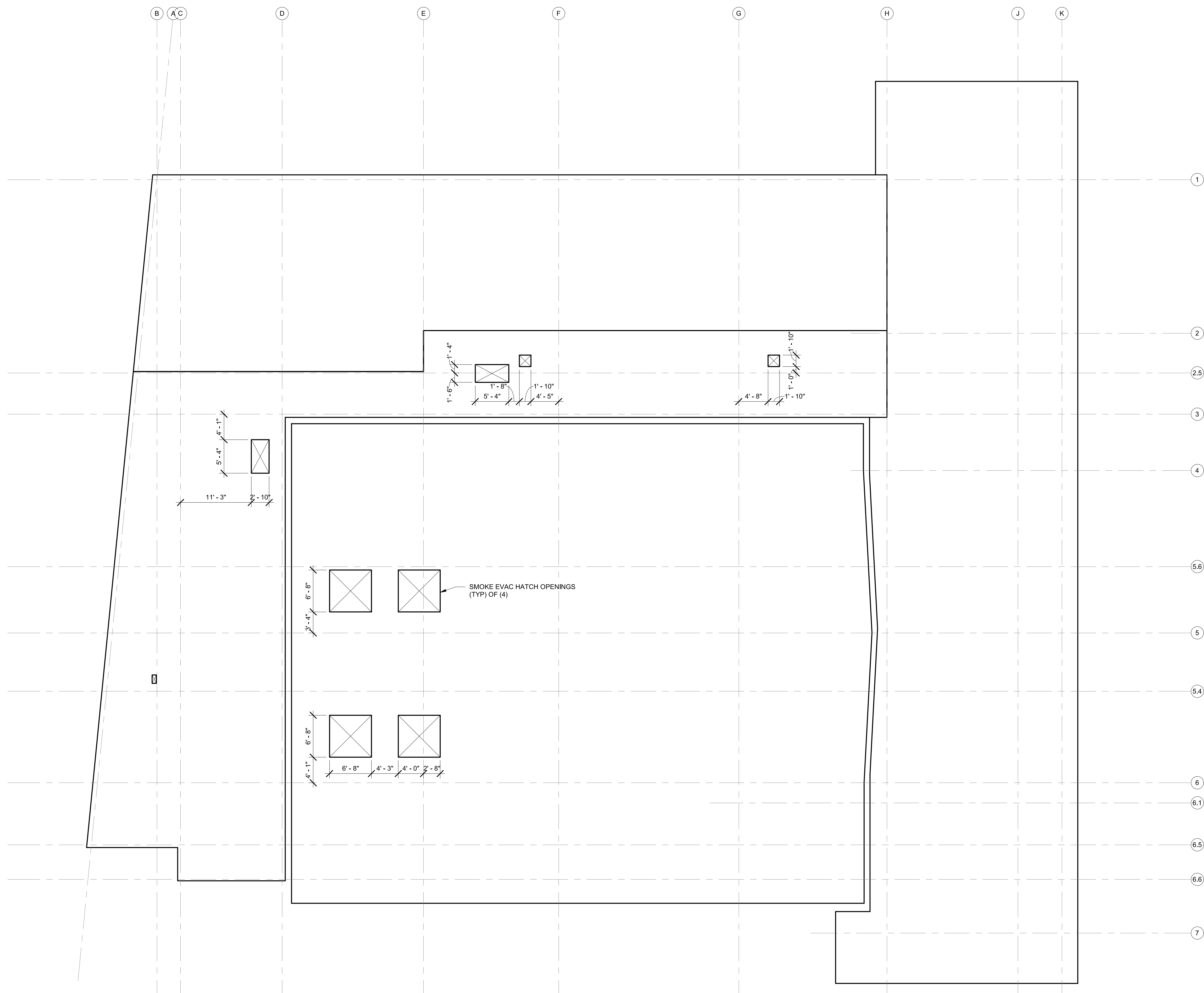
PROJECT NUMBER 0604-042
DATE 08.24.2020

ROOF OPENINGS PLAN

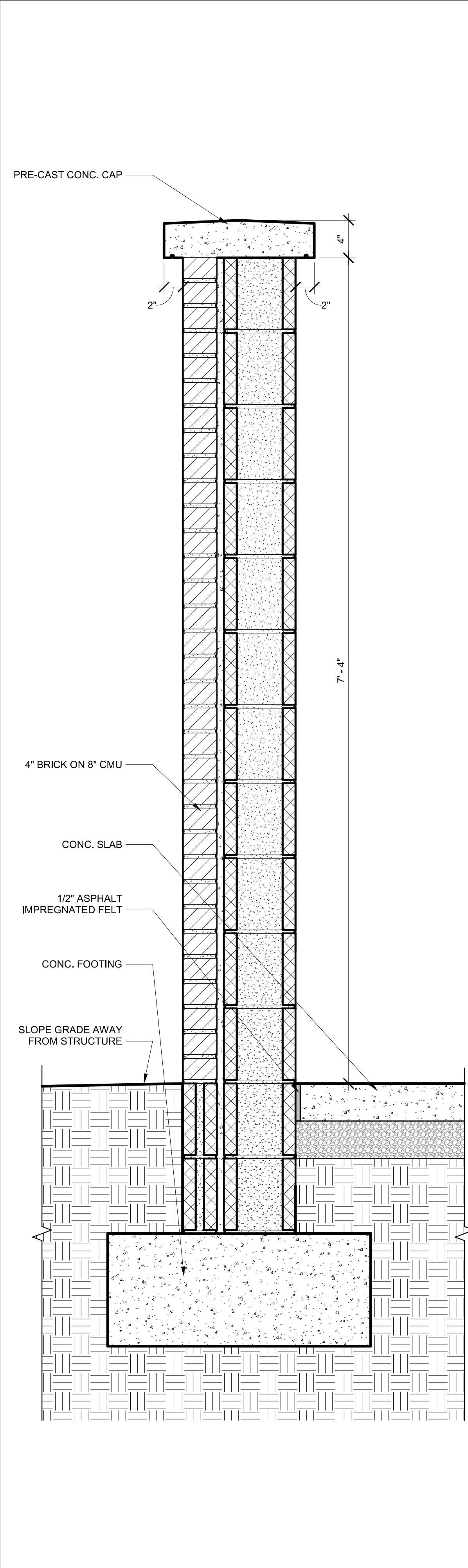
A1.22

1. ROOF OPENINGS PLAN IS INTENDED TO GENERALLY IDENTIFY AND LOCATE SPECIFIC OPENINGS. CONTRACTOR SHALL COORDINATE WITH APPROVED MANUFACTURER INFORMATION FOR FINAL OPENING SIZES. REFER TO SUPPORTING DOCUMENTS FOR ADDITIONAL DETAIL AND ANCILLARY OPENINGS.
2. REFER TO SUPPORTING DOCUMENTS FOR ROOF EXTENT DIMENSIONS.
3. CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS REQUIRED BY OTHER TRADES WITH ROOFING SUBCONTRACTOR PRIOR TO INSTALLATION OF ROOF.
4. ALL BUILDING PENETRATIONS SHALL FOLLOW THE LATEST EDITIONS OF SMACNA & NRCA REFERENCE MANUALS.

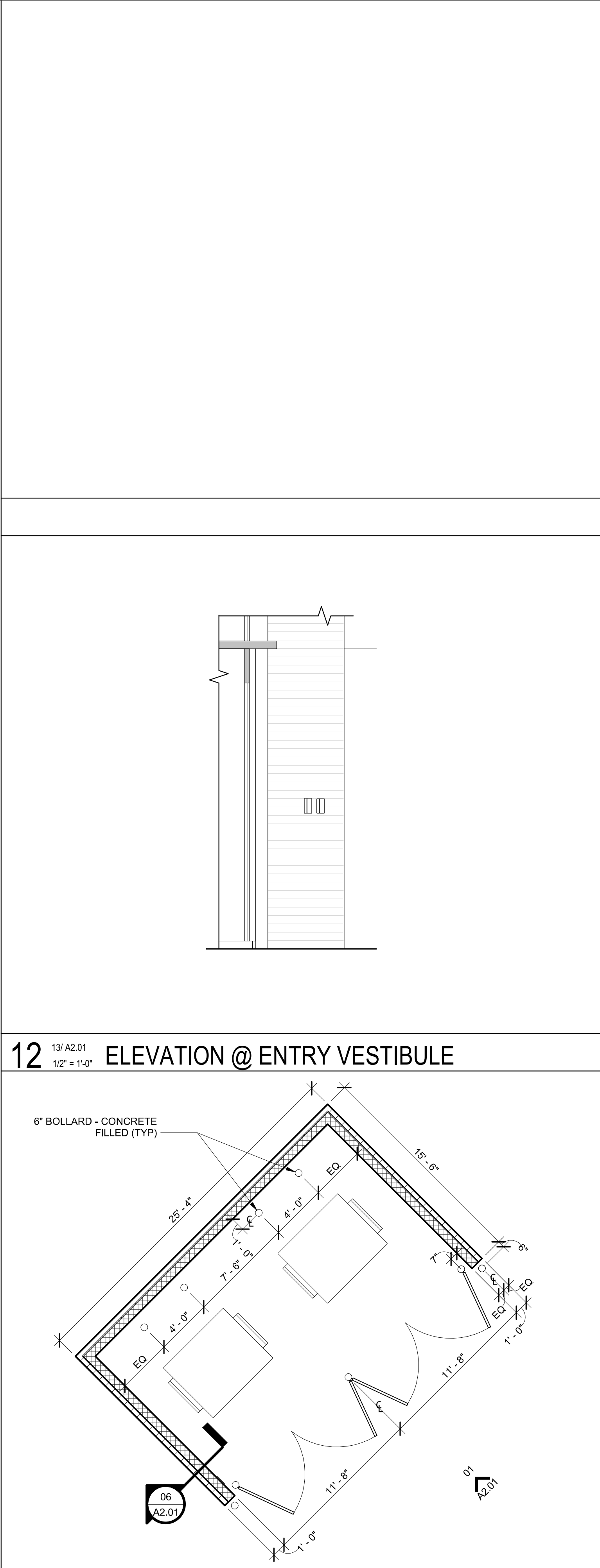
20_{NTS} ROOF OPENINGS NOTES



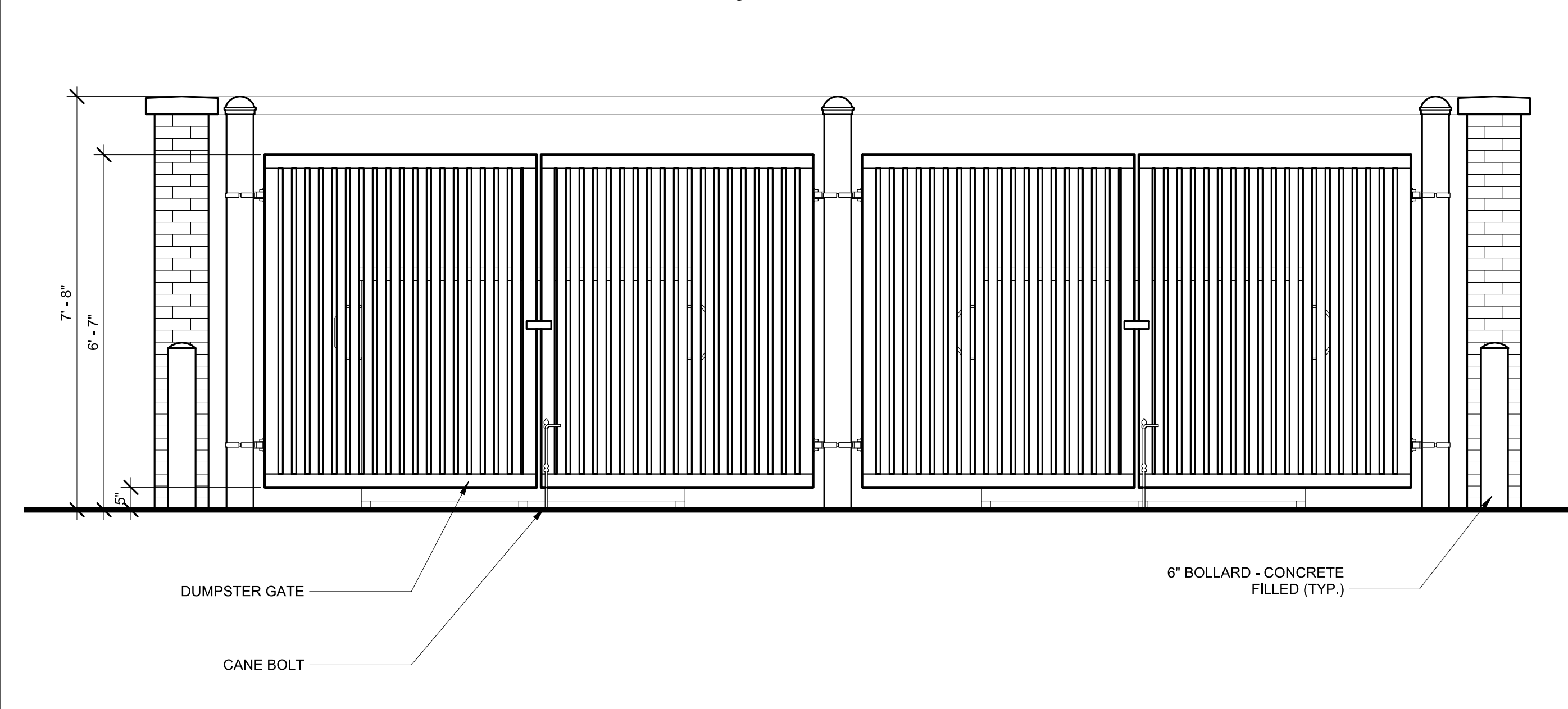
02 19/ A1.00 ROOF OPENINGS PLAN
1/8" = 1'-0"



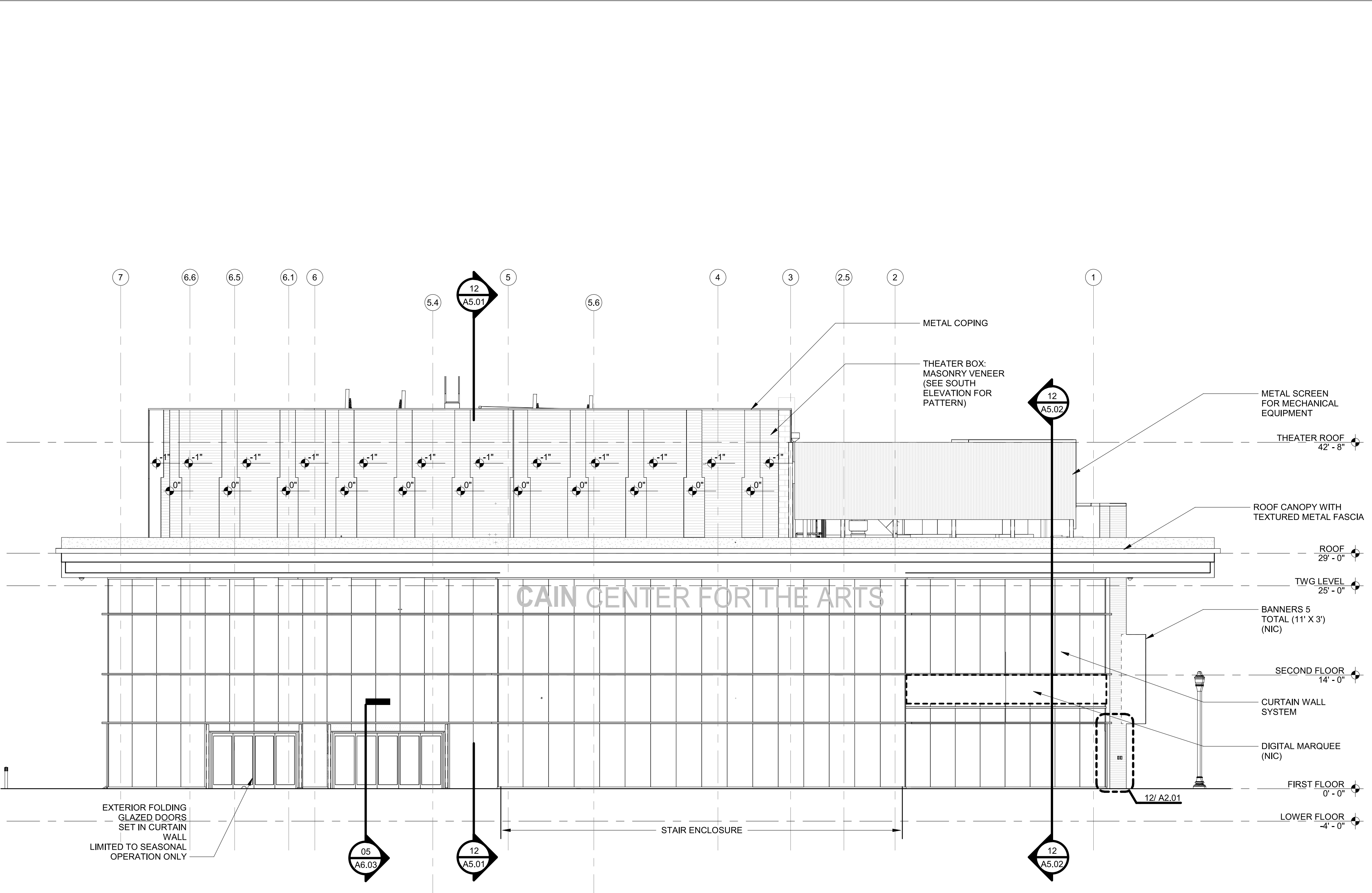
06 07/A2.01
1 1/2" = 1'-0" SECTION @ DUMPSTER ENCLOSURE



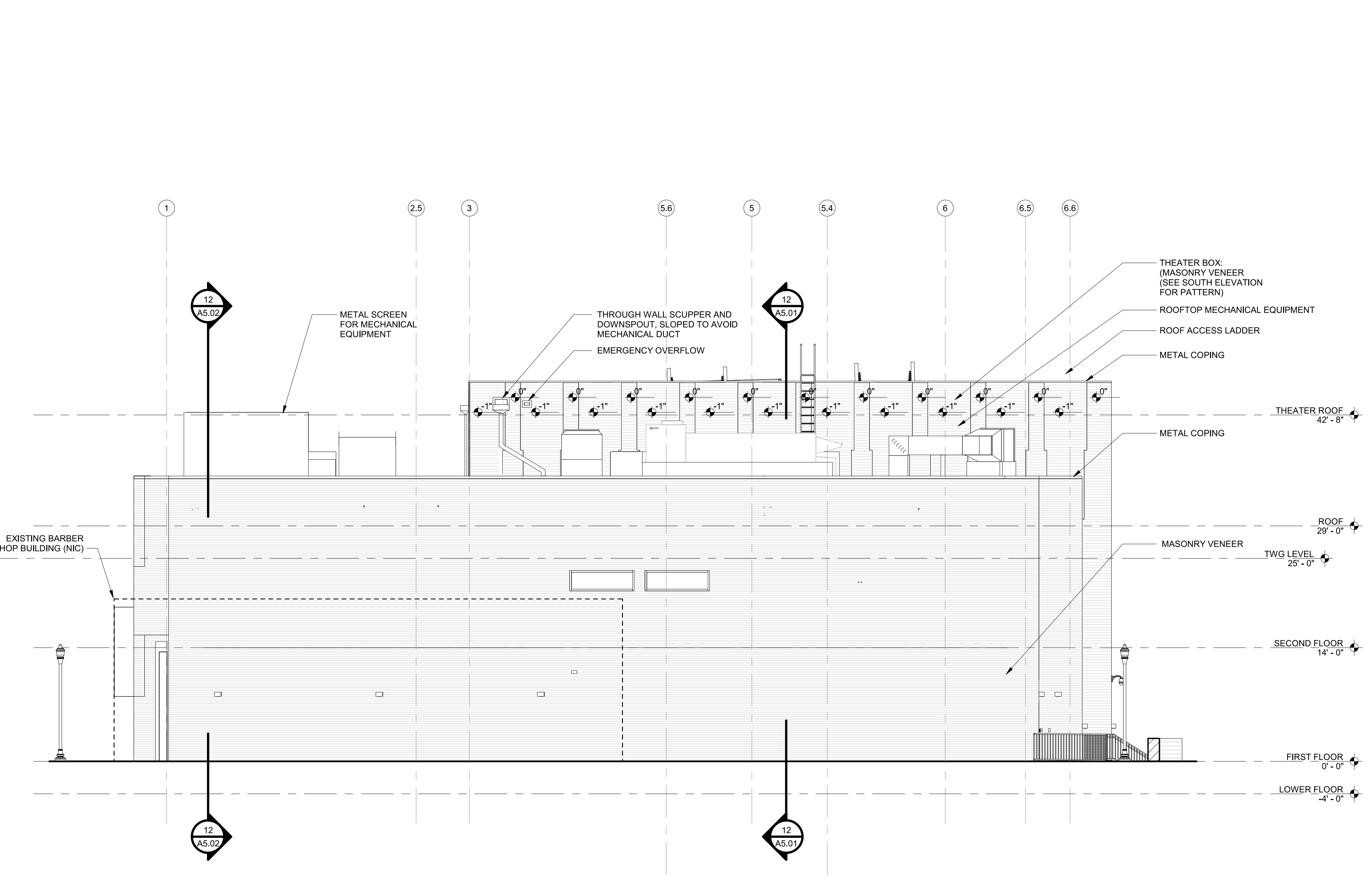
07 02/A1.00
3/16" = 1'-0" DUMPSTER ENCLOSURE PLAN



01 07/A2.01
1 1/2" = 1'-0" ELEVATION @ DUMPSTER ENCLOSURE



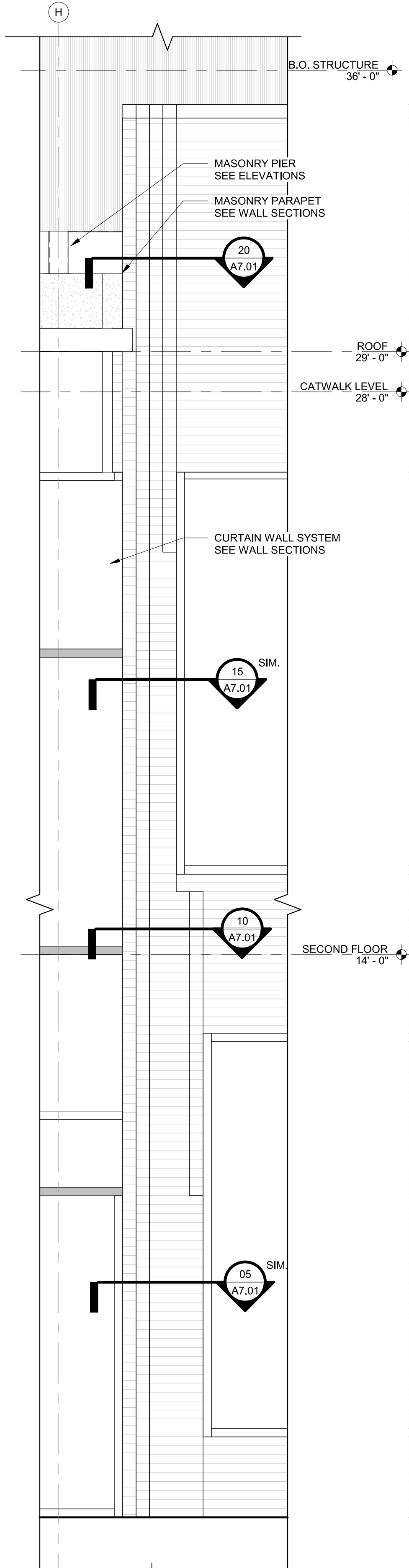
13 02/A1.01
1/8" = 1'-0" EAST ELEVATION



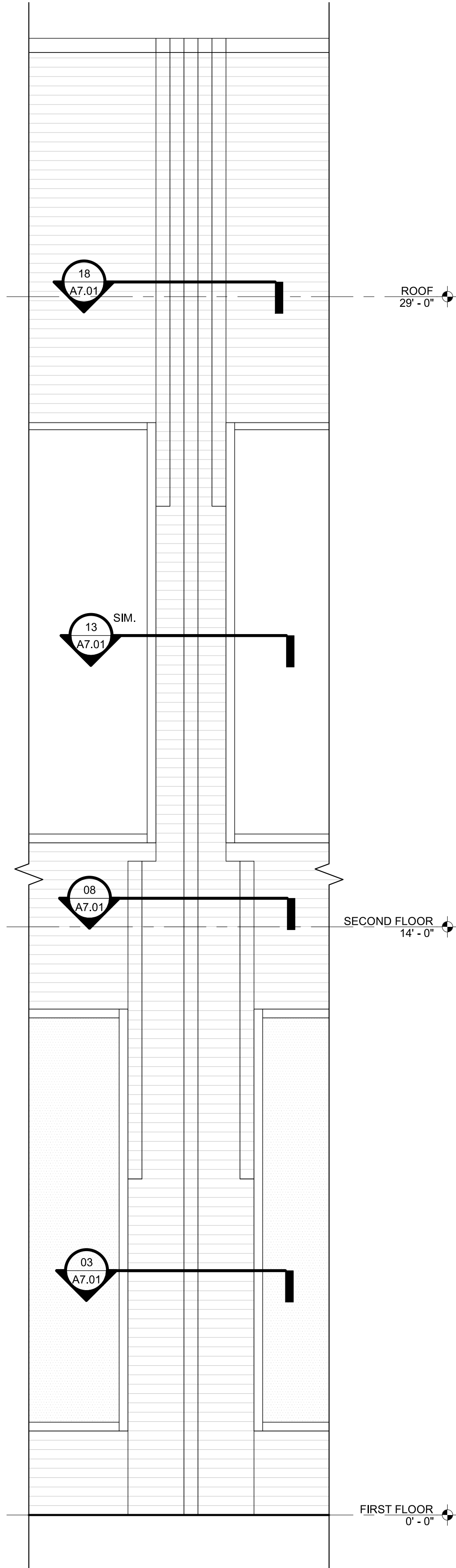
03 02/A1.01
1/8" = 1'-0" WEST ELEVATION

8/26/2020 3:20:22 AM

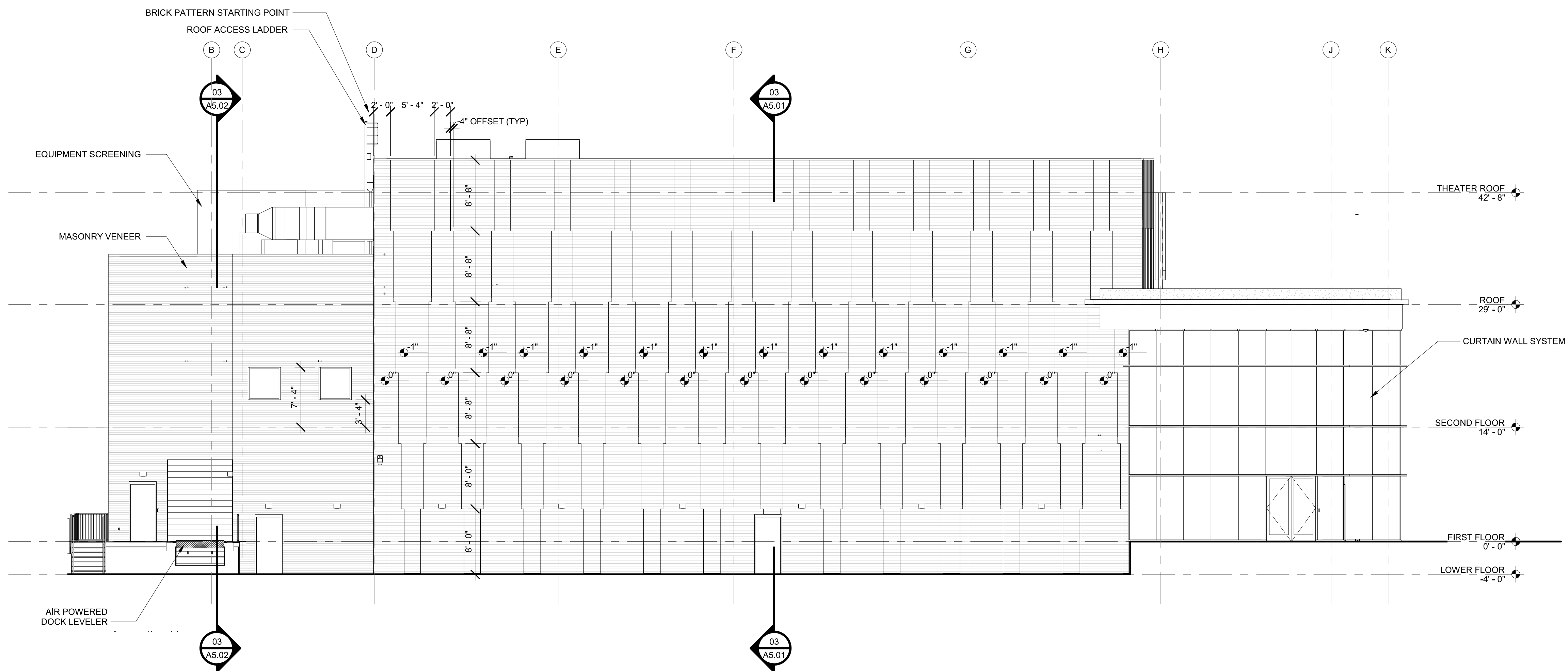
01 13/ A2.02
1/2" = 1'-0" HALF PIER ELEVATION



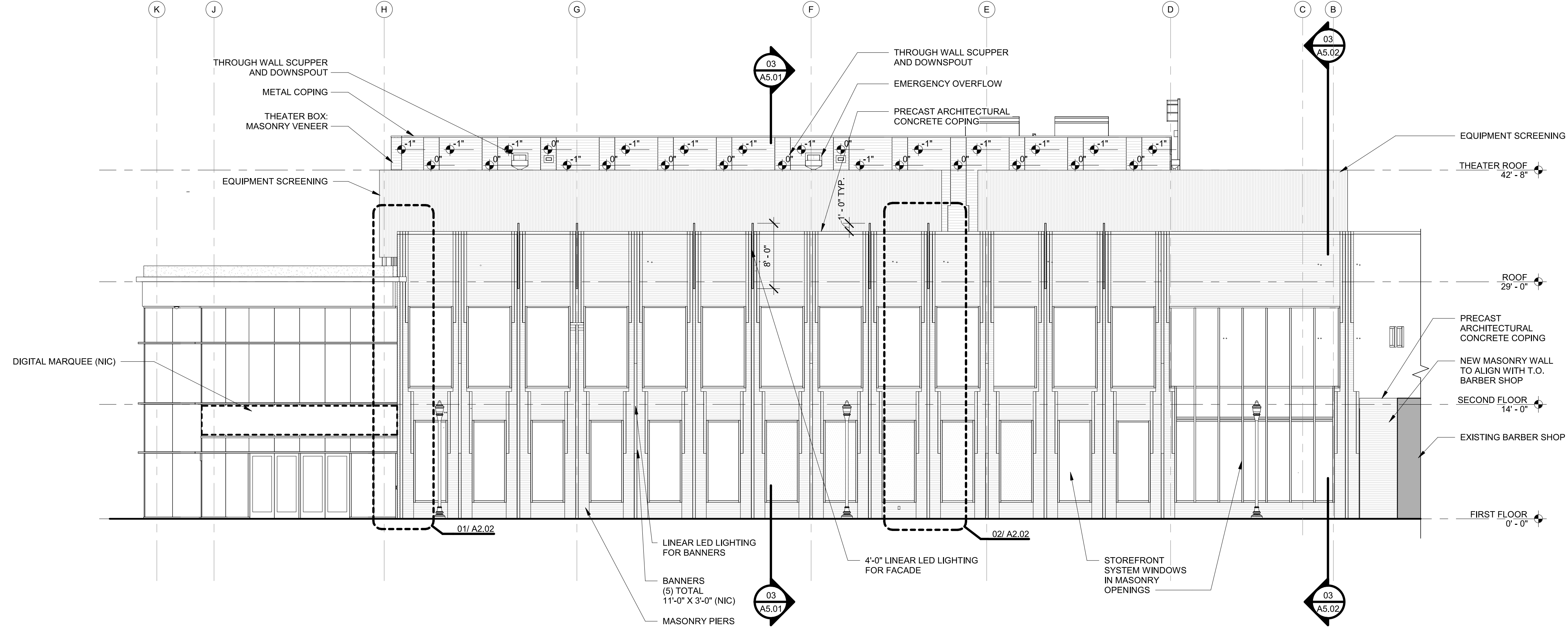
02 13/ A2.02
1/2" = 1'-0" FULL PIER ELEVATION



03 02/ A1.01
1/8" = 1'-0" SOUTH ELEVATION



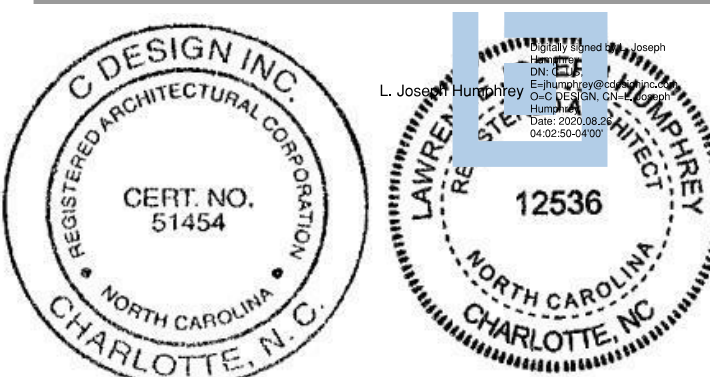
13 02/ A1.01
1/8" = 1'-0" NORTH ELEVATION



CAIN CENTER FOR THE ARTS

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DATE 08.24.2020

BUILDING ELEVATIONS
NORTH & SOUTH

A2.02