



**Town of Cornelius
Architectural Review Board**

**Agenda
June 26, 2020
12:00 PM
Electronic Meeting via Zoom**

- 1. Call To Order**
- 2. Determination of Quorum**
- 3. Approval of Minutes**
 - A. February 28, 2020 Minutes
- 4. Review And Recommendation On Agenda Items**
 - A. Site 06-20 Watermark Office Building
 - B. North Mecklenurg Regional Recreation Center Mural
 - C. Boatyard Eats Mural
- 5. Old Business**
- 6. New Business**
- 7. Next Meeting**
- 8. Adjournment**

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: June 26, 2020

To: Chair and ARB Members
From: Summer Smigelski, Planning Admin.

Action Requested:

Review and Approve

Manager's Recommendation:

Approval

ATTACHMENTS:

Name:	Description:	Type:
 ARB_Minutes_02282020-Draft.docx	February 28, 2020 Minutes	Backup Material

Minutes
TOWN OF CORNELIUS
ARCHITECTURAL REVIEW BOARD MEETING

February 28th, 2020

12:00 pm

Members Present

David Eve, Chairman
Joe Harris, Vice Chair
Megan Hoover
Recah Harward

Members Absent

Teresa Hawkins
Rick Kamakaris

Staff Present

Aaron Tucker, Assistant Planning Director
Summer Smigelski, Administrative Assistant

VISITORS

See Sign in Sheet

DETERMINATION OF QUORUM

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:00 p.m. He stated that a quorum was present.

APPROVAL OF MINUTES

Mr. Harris made a motion to approve the minutes from January 24th, 2020 Minutes with. Ms. Hoover second. All in favor and motion approved.

In Favor: Mr. Harris, Mr. Eve,
Ms. Hoover, Ms. Harward

Opposed: None

REZ 02-20 Bailey Road Flex Site

Mr. Tucker presented REZ 02-20 Bailey Road Flex Site to the board. The property is located at 11140 Bailey Road. The tract is zoned conditional zoning district (CZ) on the zoning map. The Proposal is to develop the property with five buildings totaling 58,800 sq. ft. to be used as flex space.

See presentation

Mr. Tucker opened for discussion.

The board made the following comments:

- Address Bailey Road elevations by adding windows and a door that looks like the main entrance
- Show breakup of buildings
- Show what the rooftop looks like with regards to the HVAC equipment

After discussion the board asked to bring back for final approval.

Next Meeting

Friday, March 27, 2020

ADJOURNMENT

The meeting ended at 12:32 p.m.

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: June 26, 2020

To: Architectural Review Board
From: Aaron Tucker,
Planning Director








Action Requested:

The applicant is proposing to develop the property at 19354 Watermark Drive with one building totaling 13,937 sq. ft. to be used as office space. The office will be located at PID#: 00114210.

Manager's Recommendation:

Review proposed building elevations and provide feedback.

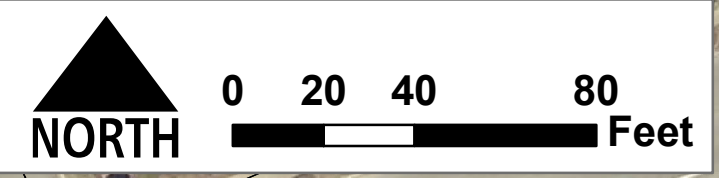
ATTACHMENTS:

Name:	Description:	Type:
 Watermark_Office_Property.pdf	Property Map	Backup Material
 Watermark_site_plan_(not_approved_yet).pdf	Site Plan	Backup Material
 WMK_Office_First_Floor_Plan.pdf	First Floor Plan	Backup Material
 WMK_Office_Second_Floor_Plan.pdf	Second Floor Plan	Backup Material
 WDG - Watermark Mixed-Use_North_Elevation-Study.pdf	Proposed North Elevation	Backup Material
 WDG - Watermark Mixed-Use_West_Elevation-Study.pdf	Proposed West Elevation	Backup Material
 WMK_Office_Architectural.pdf	Full Plan Set	Cover Memo



Watermark Dr

Kunkleman Dr





Wilber Associates
Architecture / Planning
P.O. Box 428 - 20044 N. Zion St.
Cornelius, N.C. 28031
704-892-3633

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SEAL
STEVEN CHARLES WILBER
REGISTERED ARCHITECT
4911
CORNELIUS, N.C.
5/18/20

TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20
REVISIONS

SHEET
A-1
OF
12

GENERAL NOTES

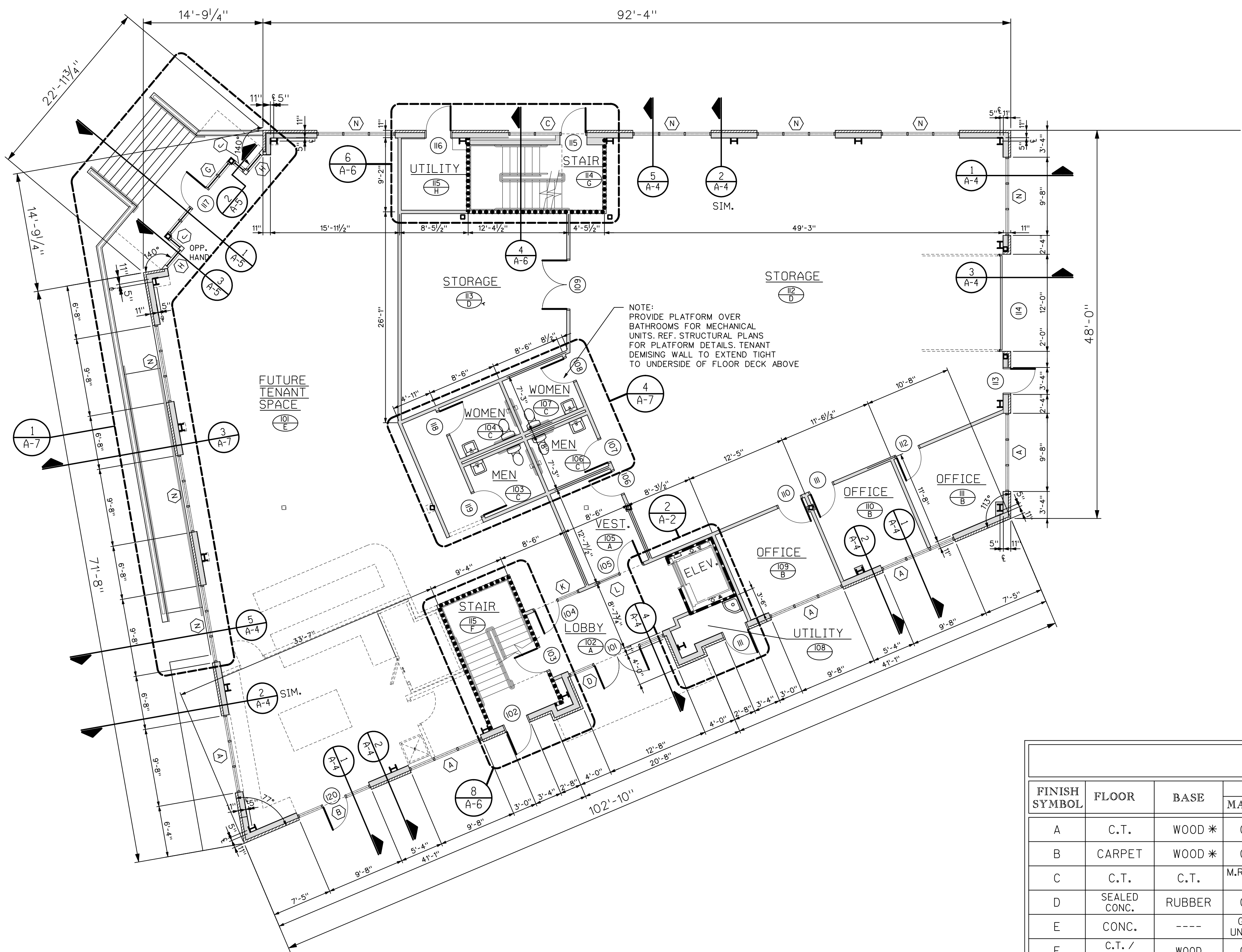
- ALL DIMENSIONS GIVEN TO CENTERLINE OF INTERIOR STUD PARTITION, CENTERLINE OF STEEL, EXTERIOR FACE OF MASONRY & INTERIOR FACE OF STUD @ EXTERIOR WALLS UNLESS OTHERWISE NOTED
- DENOTES TYP. INTERIOR PARTITION -5/8" G.W.B. ON 3 5/8" 25 GA. STEEL STUDS (UNLESS OTHERWISE NOTED ON PLAN) @ 24" O.C. PARTITION TO EXTEND 6" ABOVE CEILING IN AREAS WITH FINISHED CEILINGS, EXCEPT TENANT DEMISING WALLS AND PARTITIONS IN AREAS WITHOUT CEILING TO EXTEND TIGHT TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
- DENOTES TYP. BRICK VENEER EXTERIOR WALL -5/8" G.W.B. (TO BE INSTALLED AT TIME OF UPFIT IN UNFINISHED SPACES) ON 6" STEEL STUDS (UNLESS OTHERWISE NOTED) @ 24" O.C., 1/2" DENSGLAS EXTERIOR SHEATHING, LIQUID APPLIED VAPOR BARRIER & BRICK VENEER. STUD CAVITY TO BE FILLED W/ OPEN-CELL FOAM INSULATION. WALL THICKNESS TO INSIDE FACE OF STUD + 11" UNLESS OTHERWISE NOTED.
- DENOTES ONE HOUR RATED STUD PARTITION -5/8" G.W.B. ON 3 5/8" 25 GA. STEEL STUDS @ 16" O.C., UL DETAIL # U465. EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY ABOVE.
- DENOTES ONE HOUR RATED SHAFT WALL PARTITION -5/8" G.W.B. ON 2 1/2" "C-H" 25 MSG STEEL STUDS @ 24" O.C. & 1" G.W.B. LINER PANELS, UL DETAIL # U469, EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY OR ROOF DECK ABOVE.
- INTERIOR WALLS PARTITIONS MUST COMPLY WITH NCSCB SECTION 1607.13 FOR MINIMUM LATERAL LOAD RESISTANCE OF 5 PSF.
- A COMPLETE, HYDRAULICALLY CALCULATED FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PROVIDED BY OWNER. SHOP DRAWINGS WILL BE SUBMITTED WITHIN 90 DAYS OF PERMIT ISSUANCE. SYSTEM SHALL BE DESIGNED FOR LIGHT HAZARD OCCUPANCY PER NFPA 13
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER FIRE MARSHALL'S INSTRUCTIONS IN ACCORDANCE WITH NCBC 906.
- PROVIDE SIGNAGE IN COMPLIANCE WITH NCBC 1011.3, 1110, E107 & ANSI A117.1 703
- CONTRACTOR SHALL COMPLY WITH NCBC CHAPTER 33 SAFEGAURDS DURING CONSTRUCTION.

FINISH SCHEDULE

FINISH SYMBOL	FLOOR	BASE	WALL		CEILING		REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	
A	C.T.	WOOD *	G.W.B.	PAINT	G.W.B. *	PAINT	* 7/4" MASONITE SPEED BASE, PAINTED * * CROWN MOLDING
B	CARPET	WOOD *	G.W.B.	PAINT	ACOUS. T.	----	* 7/4" MASONITE SPEED BASE, PAINTED
C	C.T.	C.T.	M.R.G.W.B. / C.W.T. *	ENAMEL PAINT	G.W.B.	PAINT	* SEE ENLARGED TOILET PLANS SHEET A-9 FOR LOCATION OF C.W.T. WALLS.
D	SEALED CONC.	RUBBER	G.W.B.	PAINT	EXPOSED CONSTRUCTION	PAINT	
E	CONC.	----	G.W.B. / UNFINISHED	----	EXPOSED CONSTRUCTION	----	UNFINISHED FUTURE TENANT SPACE
F	C.T. / RUBBER *	WOOD * *	G.W.B.	PAINT	ACOUS. T.	----	* C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS * * 7/4" MASONITE SPEED BASE, PAINTED
G	V.C.T. / RUBBER *	RUBBER	G.W.B.	PAINT	G.W.B.	PAINT	* V.C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS
H	SEALED CONC.	----	G.W.B. / CONC.	----	EXPOSED CONSTRUCTION	----	
J	C.T.	WOOD *	G.W.B.	PAINT	ACOUS. T.	----	* 7/4" MASONITE SPEED BASE, PAINTED
K	CARPET	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	* 7/4" MASONITE SPEED BASE, PAINTED
L	L.V.P.	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	7/4" MASONITE SPEED BASE, PAINTED

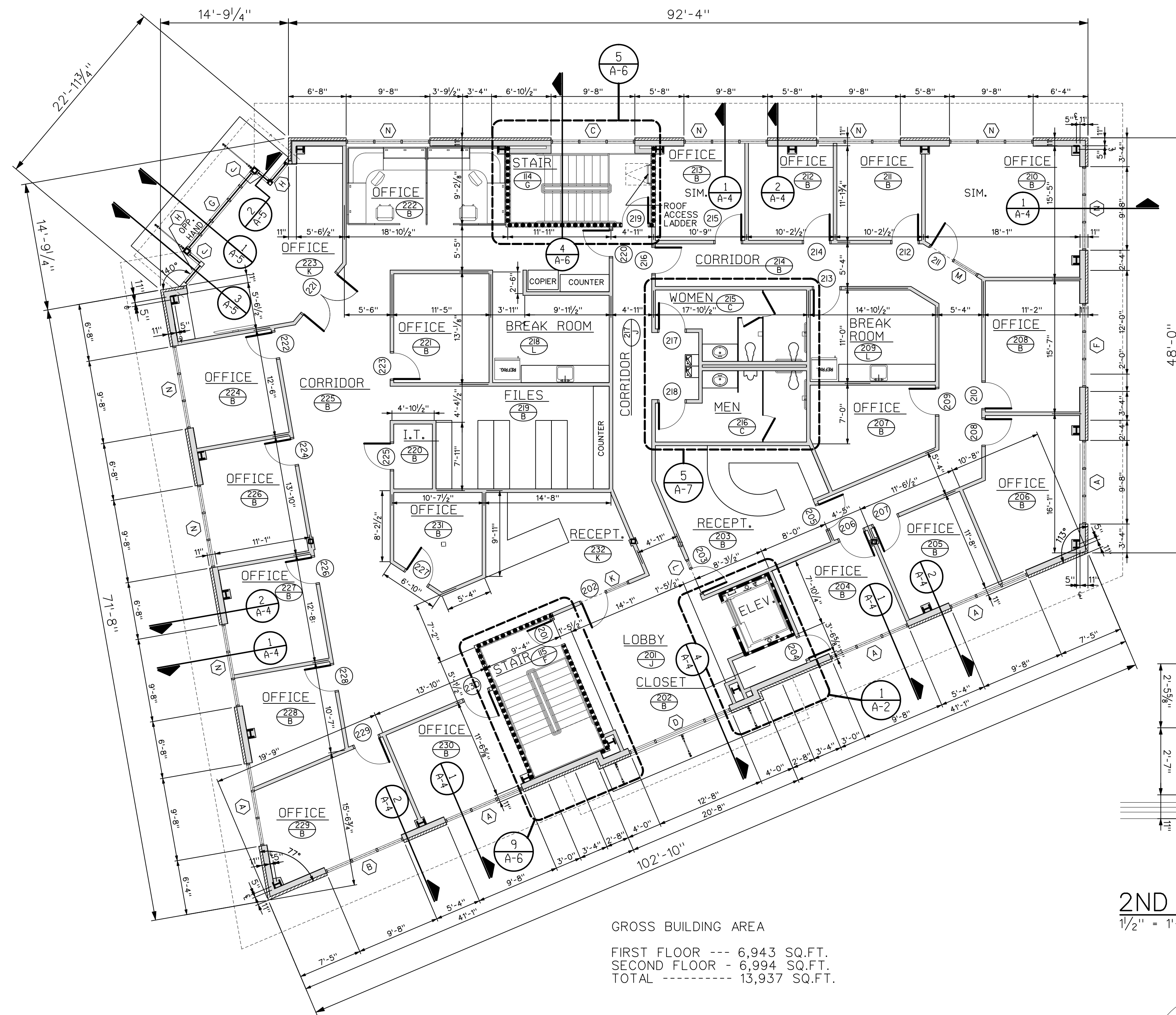
FINISH SCHEDULE ABBREVIATIONS

V.C.T.	VINYL COMPOSITION TILE	C.M.U.	CONCRETE MASONRY UNIT
C.T.	CERAMIC TILE	L.V.P.	LINEAR VINYL PLANK FLOORING
C.W.T.	CERAMIC WALL TILE	ACOUS. T.	ACOUSTICAL CEILING TILE
CONC.	CONCRETE		
G.W.B.	GYPSUM WALL BOARD		



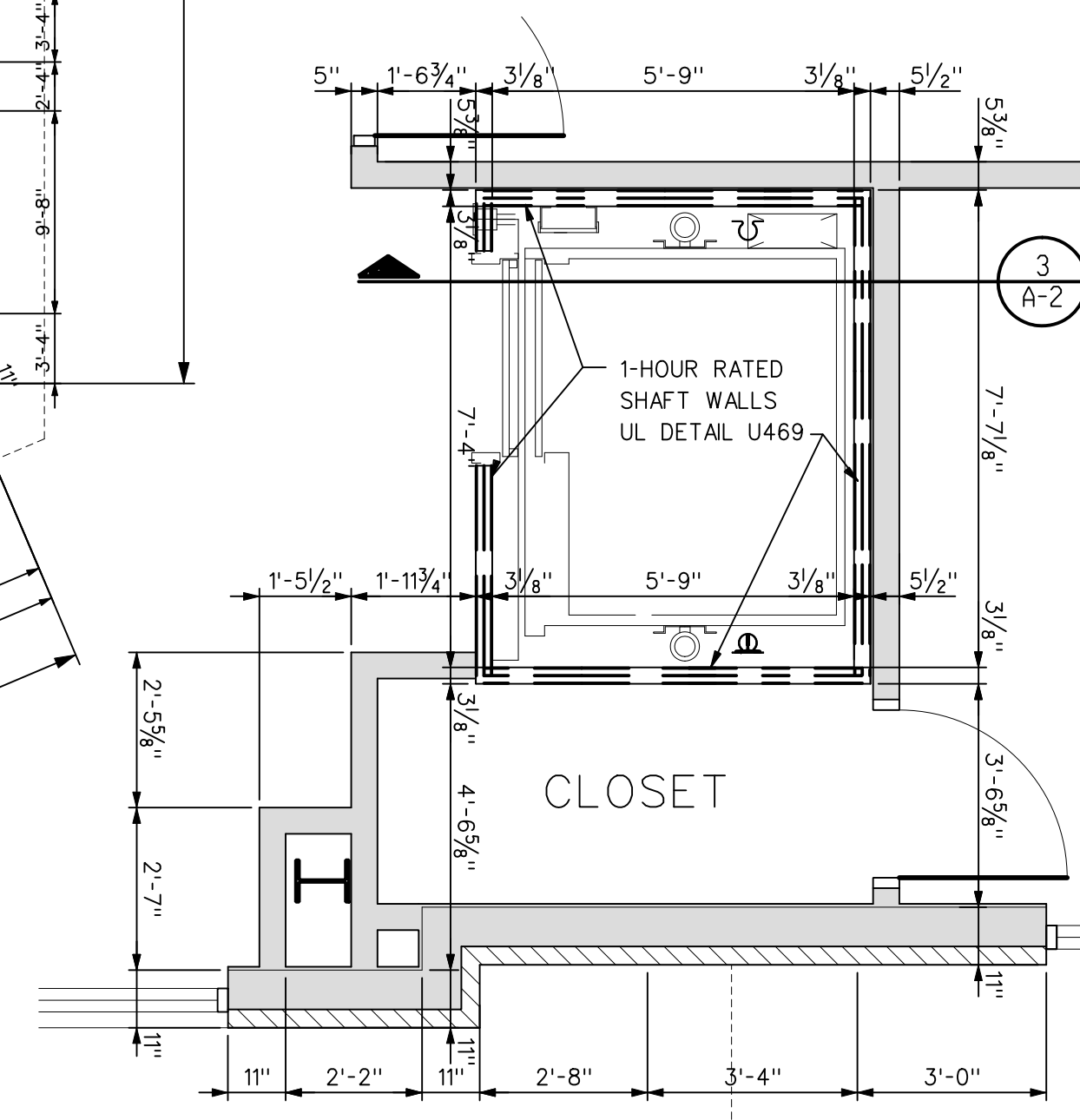
GROSS BUILDING AREA
FIRST FLOOR --- 6,943 SQ.FT.
SECOND FLOOR - 6,994 SQ.FT.
TOTAL ----- 13,937 SQ.FT.

FIRST FLOOR PLAN
1/8"=1'-0"

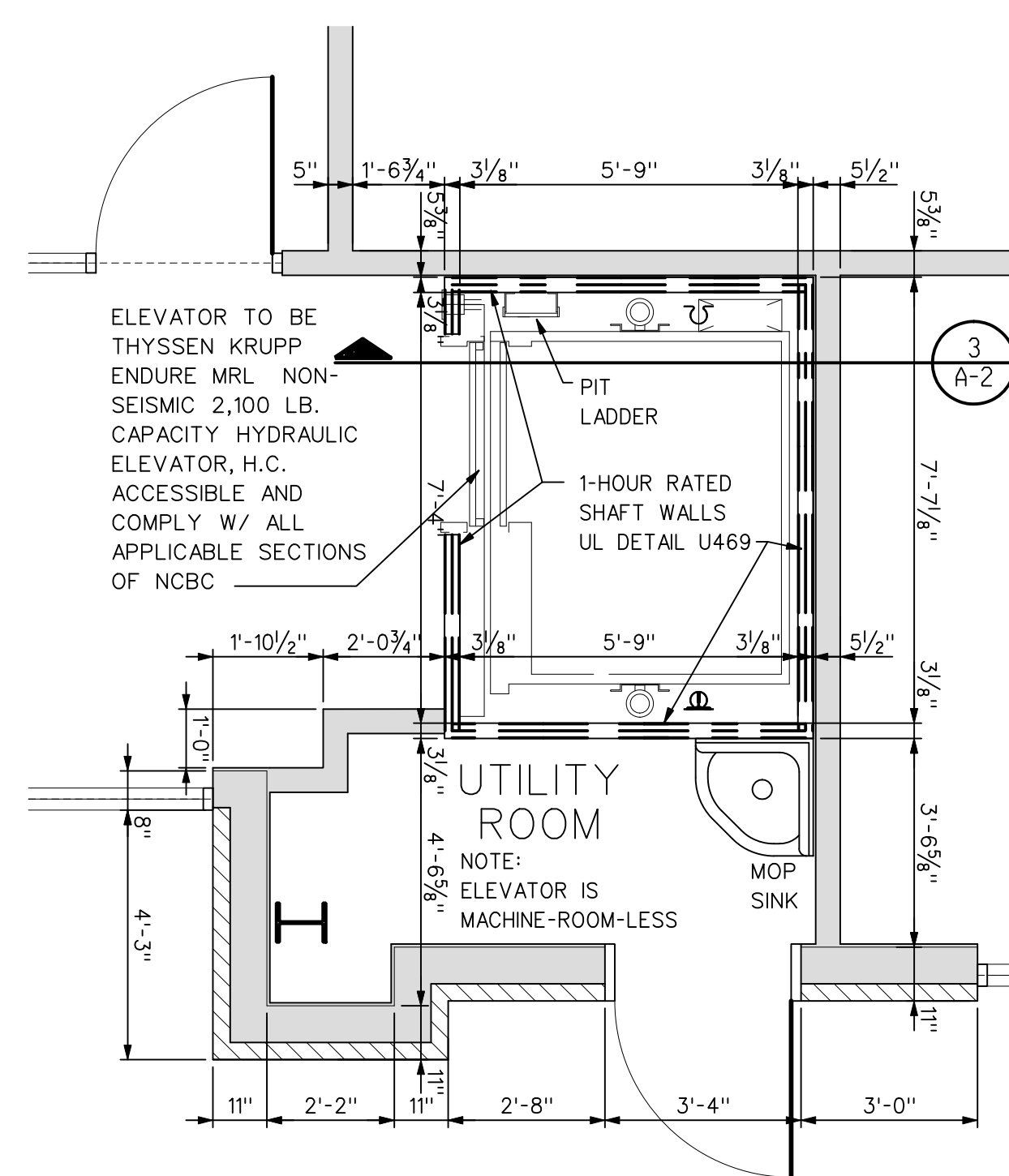


SECOND FLOOR PLAN
1/8" = 1'-0"

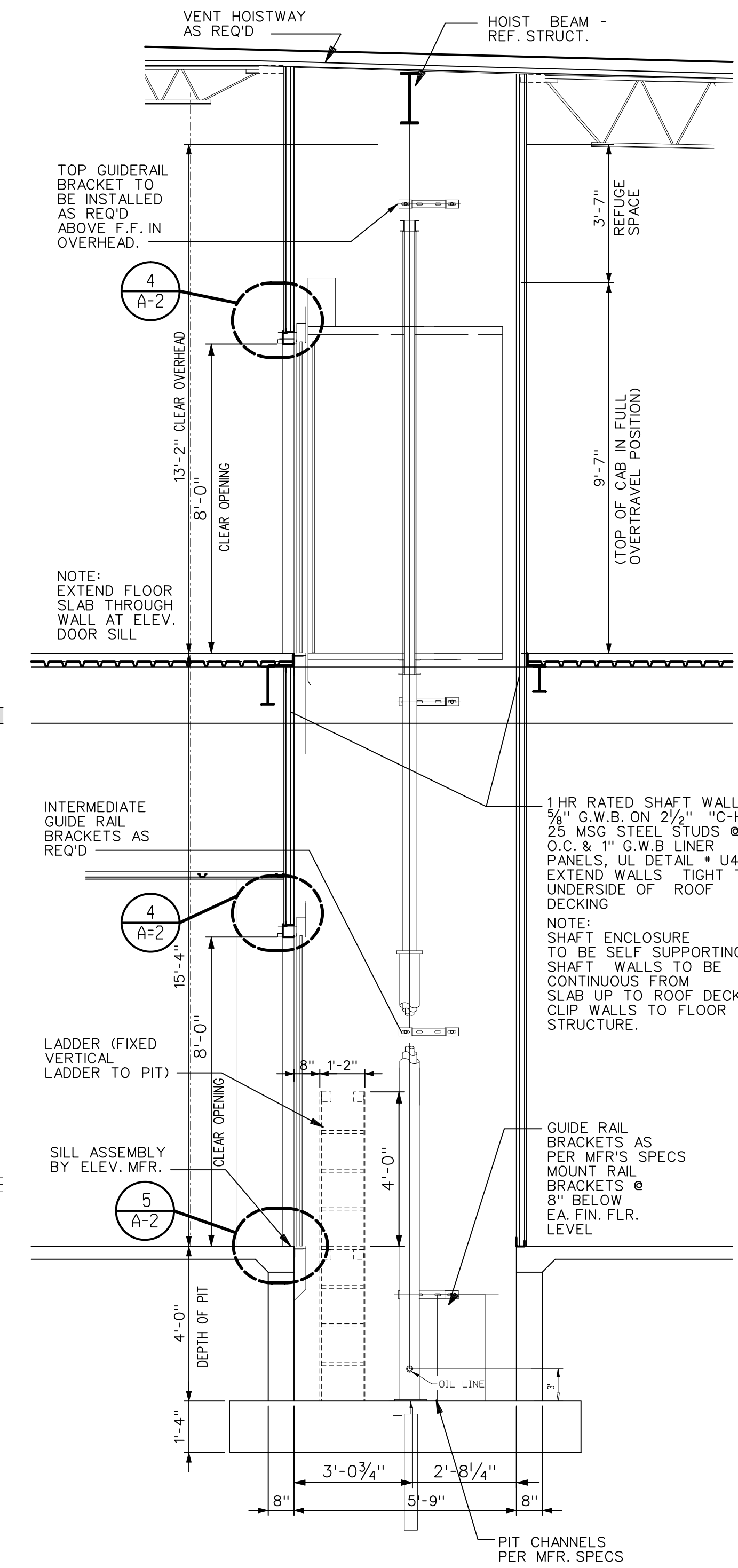
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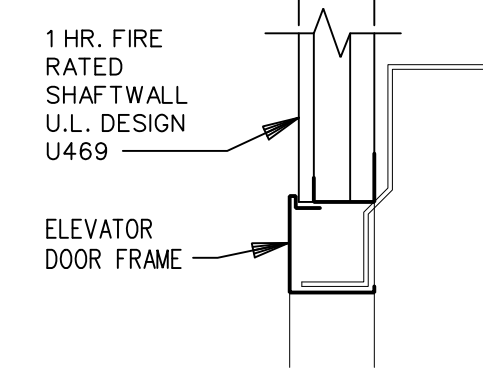
2ND FLOOR ELEVATOR PLAN
1/2" = 1'-0"



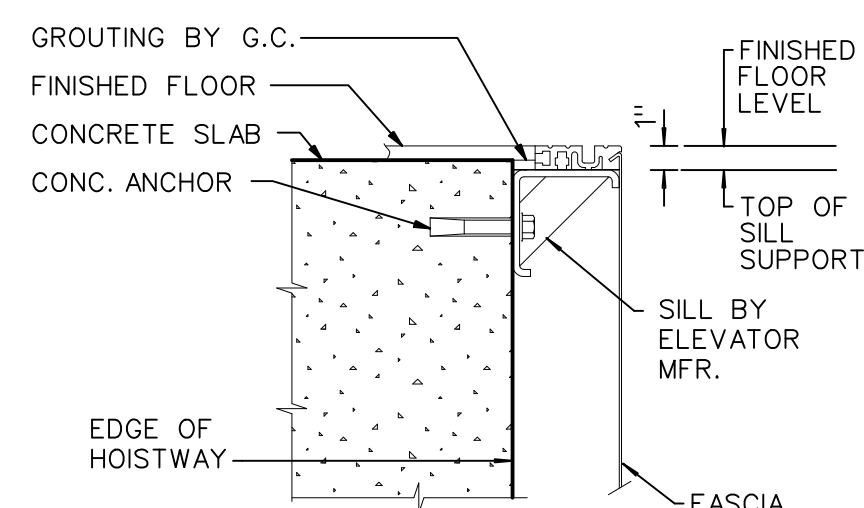
1ST FLOOR ELEVATOR PLAN
1/2" = 1'-0"



ELEVATOR SECTION
3/8" = 1'-0"



HEAD DETAIL
1/2" = 1'-0"



SILL DETAIL
1/2" = 1'-0"

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SEAL
STEPHEN CHARLES WILBER
REGISTERED PROFESSIONAL ARCHITECT
4911
5/18/20

TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20
REVISIONS

SHEET
A-2
OF
12



NORTH ELEVATION — WATERMARK MIXED-USE BUILDING
(WATERMARK DRIVE VIEW)



WEST ELEVATION — WATERMARK MIXED-USE BUILDING
(KUNKLEMAN DRIVE VIEW)

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

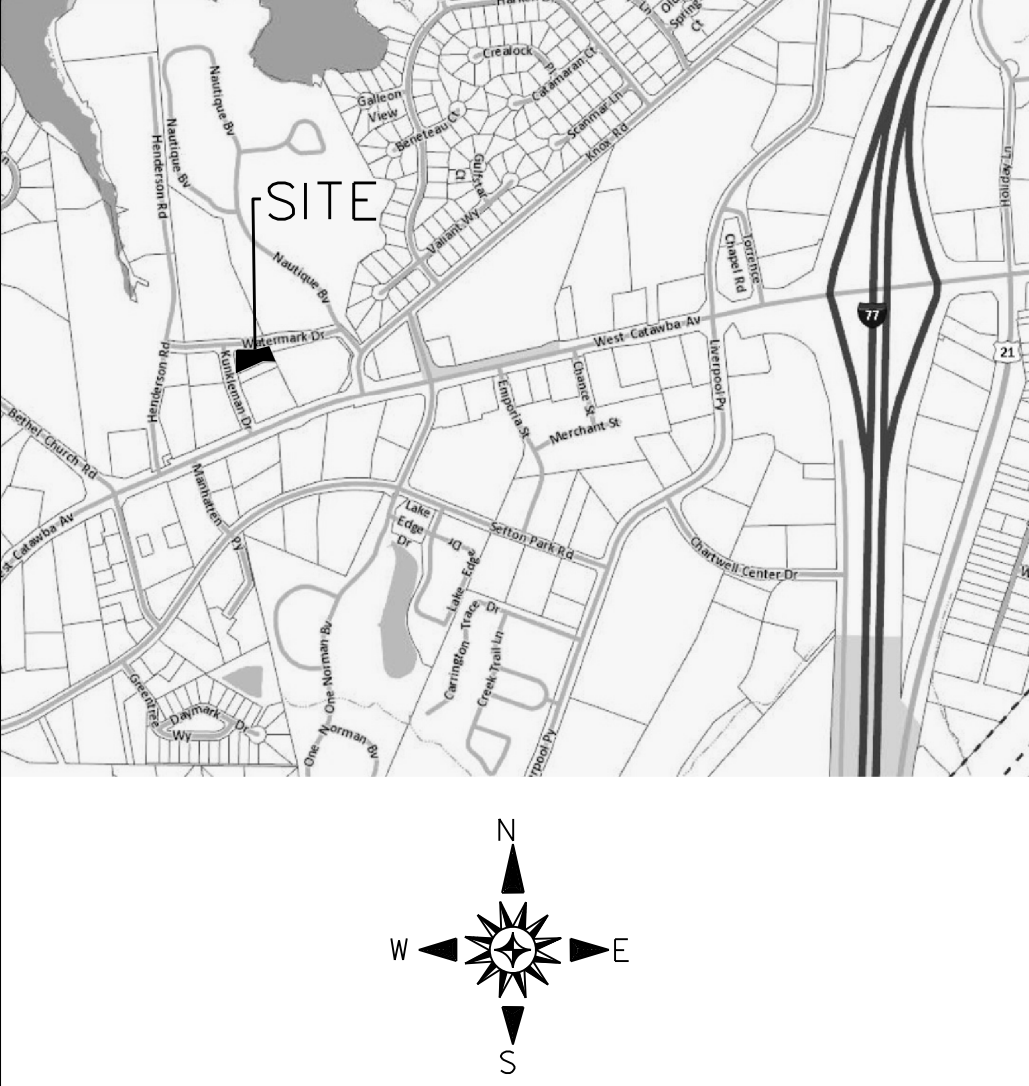
MATERIAL LEGEND

	EARTH
	CRUSHED STONE
	CONCRETE
	BRICK
	CONCRETE MASONRY UNITS
	STUCCO OR G.W.B.
	METAL (LARGE SCALE)
	METAL (SMALL SCALE)
	PLYWOOD
	FINISHED WOOD
	ROUGH WOOD
	BATT INSULATION
	RIGID INSULATION

SYMBOL LEGEND

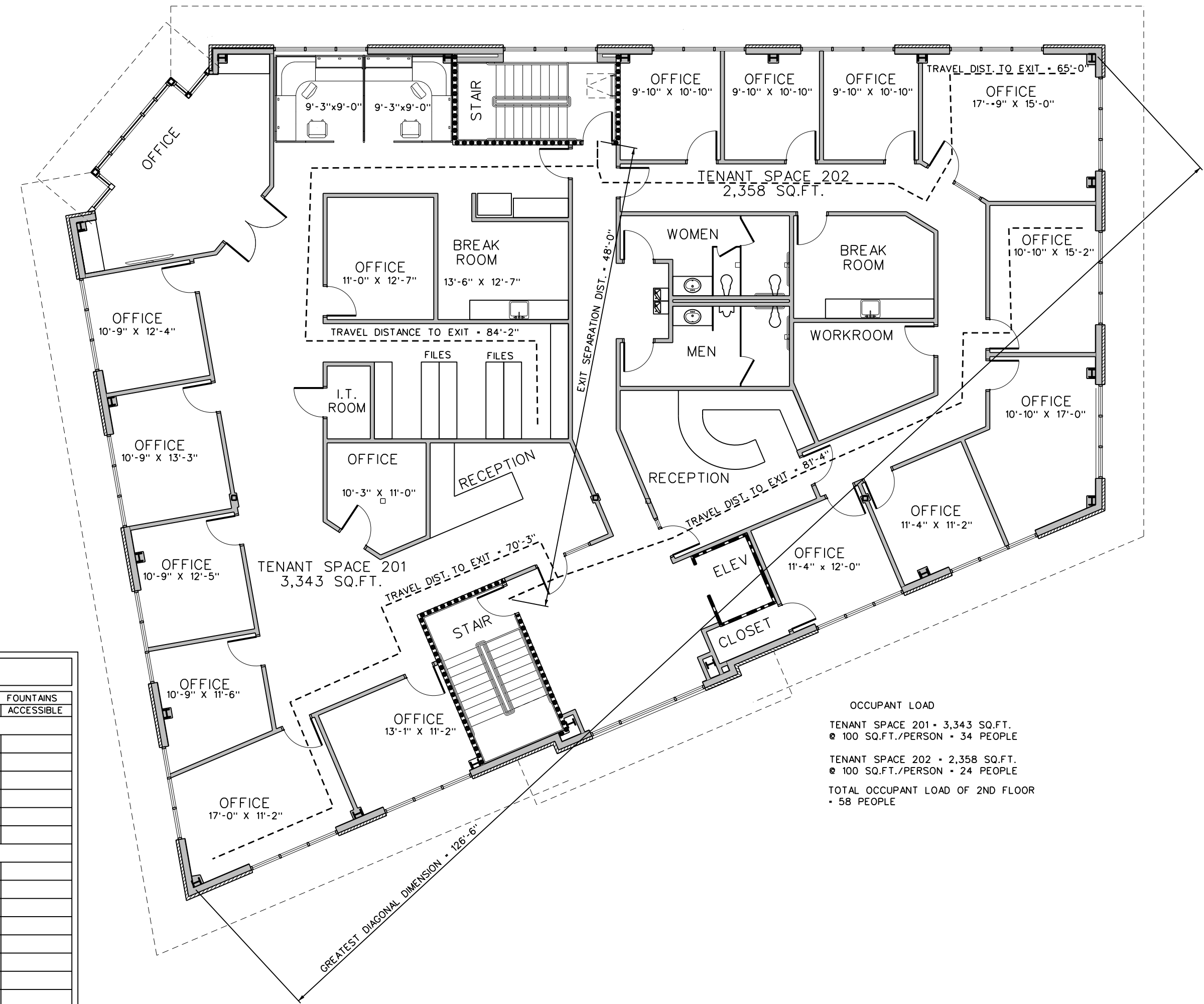
	ROOM NAME
	ROOM NUMBER
	FINISH TYPE (SEE FINISH SCHEDULE)
	DOOR NUMBER
	WINDOW TYPE
	DETAIL # (SECTION OR ELEVATION)
	SHEET # (ON WHICH DETAIL IS DRAWN)
	C-1 MILLWORK ITEM NUMBER
	CB-1 CHALKBOARD TYPE
	TB-1 TACKBOARD TYPE
	EWC ELECTRIC WATER COOLER
	D.S. DOWN SPOUT
	F.D. FLOOR DRAIN
	L-I LINTEL TYPE
	R.D. ROOF DRAIN
	T-I THRESHOLD TYPE
	F-I DOOR AND WINDOW FRAME TYPE
	SH-1 SHELVING TYPE
	FEC FIRE EXTINGUISHER CABINET
	C.M.U. CONCRETE MASONRY UNIT
	G.W.B. GYPSUM WALL BOARD
	E.I.S. EXTERIOR INSULATION SYSTEM
	E.P.S. EXPANDED POLYSTYRENE
	A.F.F. ABOVE FINISHED FLOOR
	T.O.M. TOP OF MASONRY
	F.D.N. FOUNDATION DRAIN
	C.O. CLEAN OUT

VICINITY MAP



PLUMBING FIXTURE REQUIREMENTS

OCCUPANCY USE GROUP AND/OR SPACE DESIGNATION	OCCUPANT LOAD				WATERCLOSETS		URINALS		LAVATORIES		DRINKING FOUNTAINS	
	TOTAL	MALE	FEMALE	UNSEX	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	REGULAR	ACCESSIBLE
Tenant Space 101												
Dining Area	88	44	44	.58	.58				.22	.22	N/A	
Bar Seating	16	8	8	.11	.11				.04	.04	N/A	
Kitchen	4	2	2	.03	.03				.01	.01	N/A	
Total Req'd	108	54	54	.72	.72				.27	.27	N/A	
Total Provided				1	1				1	1	N/A	
Tenant Space 102												
Office Area	7	3.5	3.5	.14	.14				.09	.09	N/A	
Storage Area	6	3	3	.03	.03				.03	.03	N/A	
Total Req'd	13	6.5	6.5	.17	.17				.12	.12	N/A	
Total Provided				1	1				1	1	N/A	
2nd Flr. Common Toilets												
Tenant 201	34	17	17	.68	.68				.43	.43	.34	
Tenant 202	24	12	12	.48	.48				.3	.3	.24	
Total Req'd	58	29	29	1.16	1.16				.73	.73	.58	
Total Provided				1	2				1	1	1	1



SECOND FLOOR LIFE SAFETY PLAN

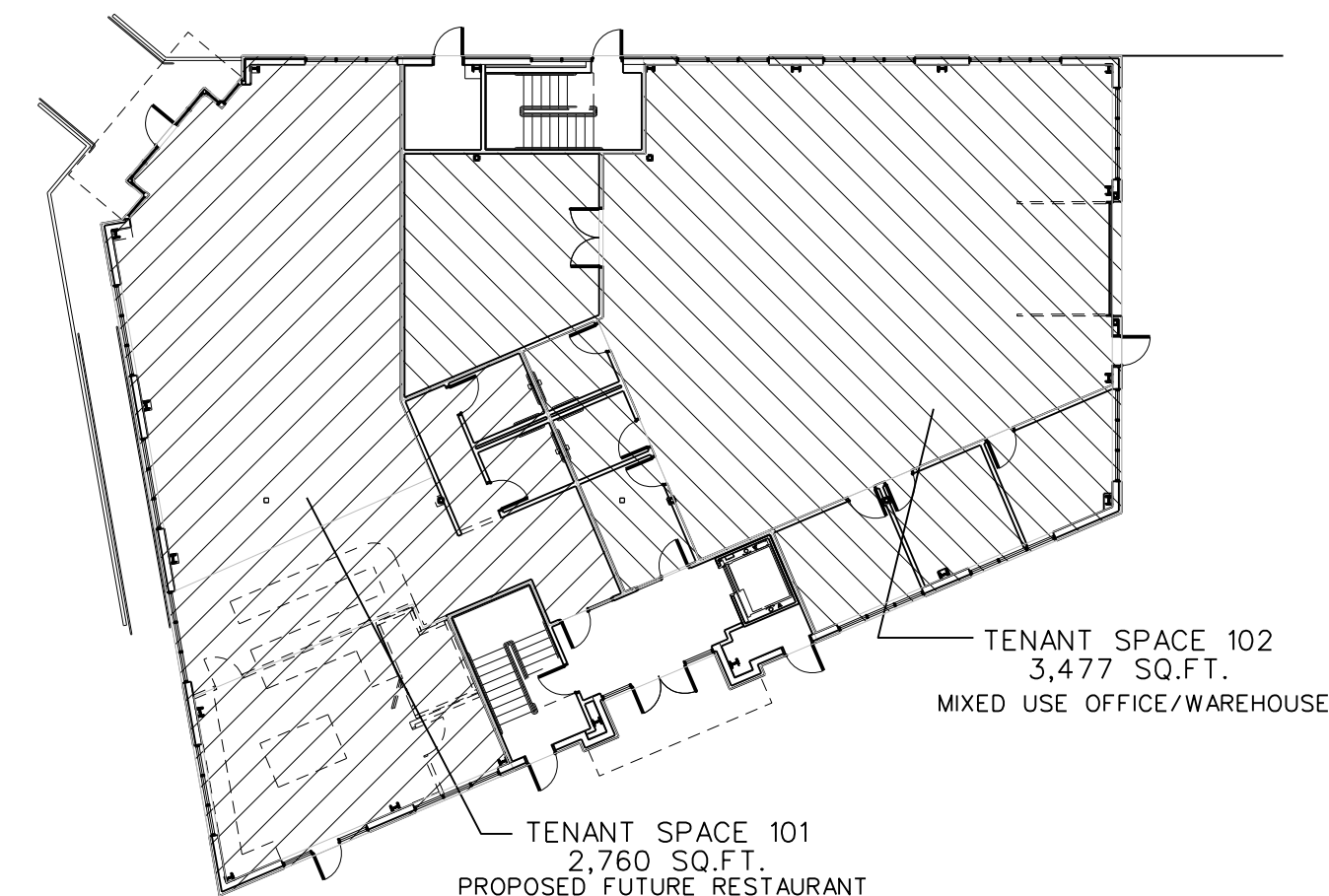
1/8"=1'-0"

4

T-1

SCHEDULE OF DRAWINGS

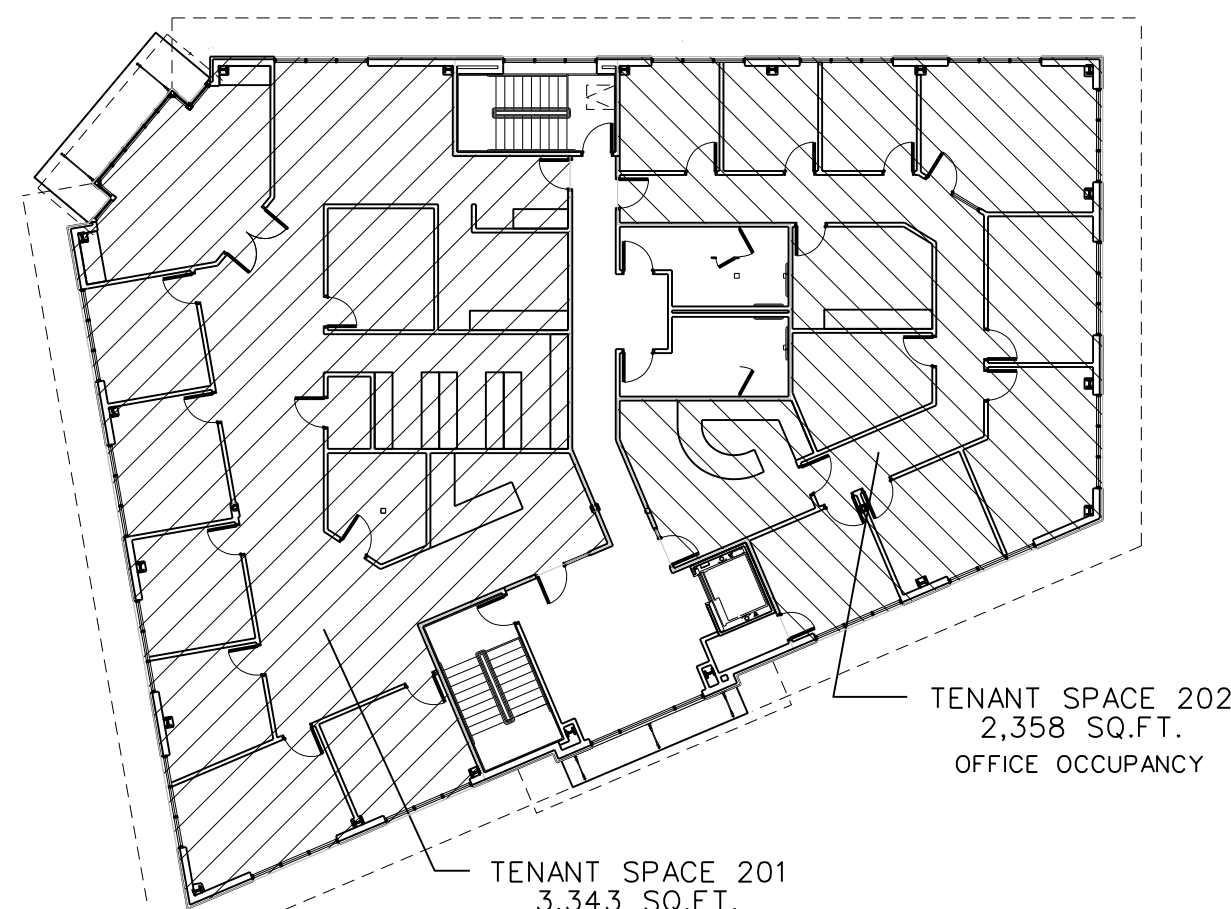
SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
T-1	Title Sheet / Life Safety Plan	P-1	Plumbing Notes
T-2	Appendix B	P-2	Plumbing Schedules & Details
T-3	COMcheck Compliance Report	P-3	First Floor Plumbing Plans
T-4	UL Details	P-4	Second Floor Plumbing Plans
S1	Foundation Plan & Details	M-1	Mechanical Notes & Schedules
S2	Second Floor Framing Plan & Details	M-2	Ventilation Calculations
S3	Roof Framing Plan & Details	M-3	First Floor Mechanical Plans
S4	Structural Details	M-4	Second Floor Mechanical Plans
S5	Structural Details	M-5	Mechanical Details
S6	Structural Details	E-1	Electrical Notes
A-1	First Floor Plan / General Notes / Finish Schedule	E-2	Schedules & Notes
A-2	Second Floor Plan / Elevator Details	E-3	Riser Diagrams / Sprinkler & Elevator Alarm Systems
A-3	Elevations	E-4	Site Electrical
A-4	Wall Sections	E-5	Lighting plans
A-5	Wall Sections	E-6	Power Plans
A-6	Stair Details	E-7	Panel Schedules
A-7	Enlarged Toilet Plans / Millwork Details / Ramp Plan & Details	C01	Cover Sheet
A-8	Door Schedule	C02	Survey
A-9	Window Schedule	C03	Site Plan
A-10	First Floor Reflected Ceiling plan	C04	Erosion Control Phase 1
A-11	Second Floor Reflected Ceiling Plan	C05	Erosion Control Phase 2
A-12	Roof Plan & Details	C06	Grading Plan
		C07	Utility Plan
		C08	Landscape Plan
		C09	Details



FIRST FLOOR KEY PLAN

1/16" = 1'-0"

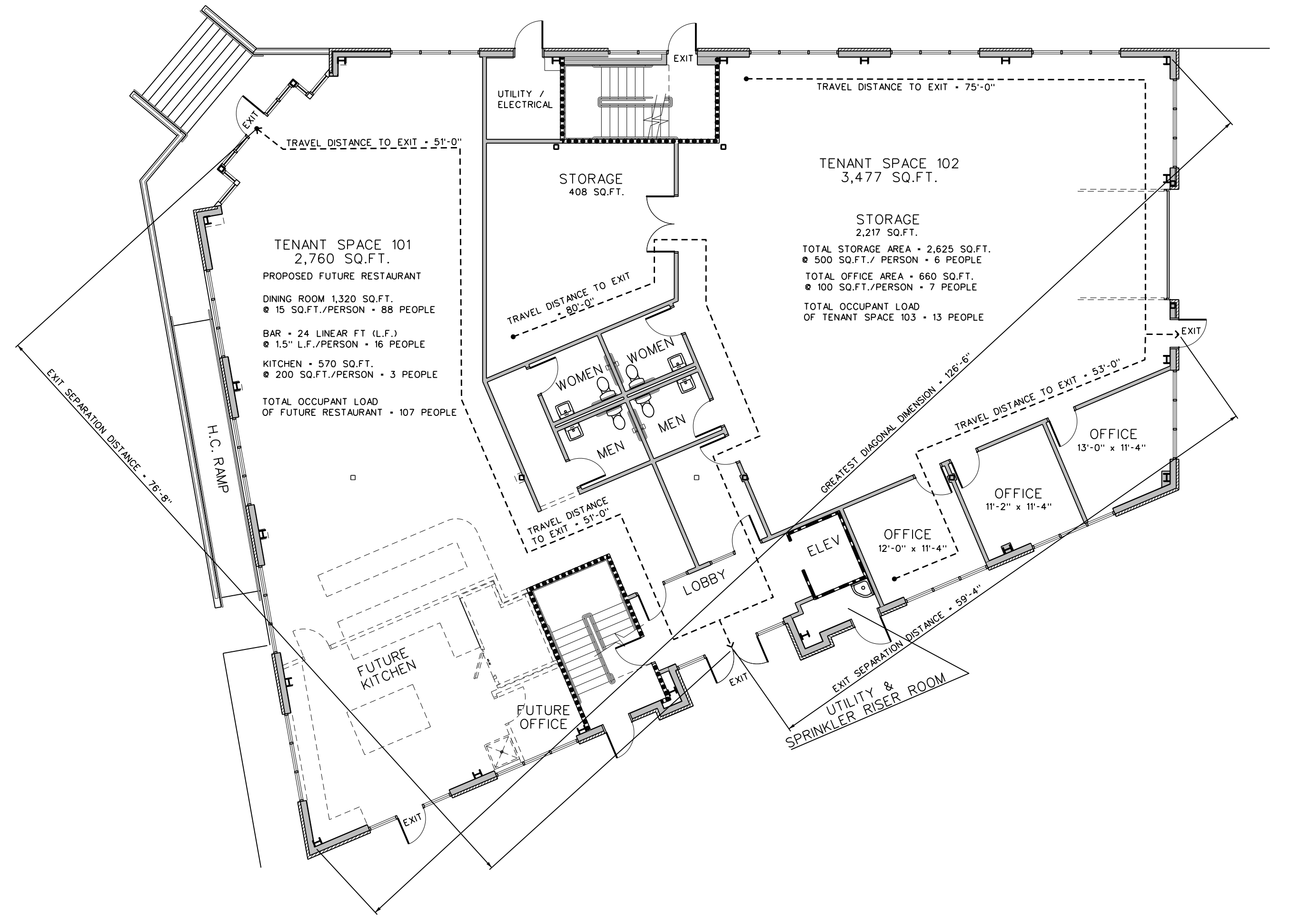
1
T-1



SECOND FLOOR KEY PLAN

1/16" = 1'-0"

2
T-1



FIRST FLOOR LIFE SAFETY PLAN

1/8"=1'-0"

3

T-1



Wilber Associates
Architecture / Planning
P.O. Box 428 - 20044 N. Zion St.
Cornelius, N.C. 28031
704-892-3633

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SEAL
STEPHEN CHARLES WILBER III
REGISTERED ARCHITECT
4911
NORTH CAROLINA
5/18/20

TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20
REVISIONS

SHEET
T-1
OF
4

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 of 2)**

Name of Project: Watermark Office Building
Address: 19354 Watermark Dr., Cornelius NC Zip Code: 28031
Owner/Authorized Agent: Jamie Rowle Phone # (704) 905-0335 E-Mail: jamie@rowle.com
Owned By: ☐ City/County ☒ Private ☐ State ☐ County
Code Enforcement Jurisdiction: ☐ City Cornelius ☒ County Meck ☐ State NC

CONTACT:
DESIGNER: FIRM: Wilber Associates NAME: Charles Wilber LICENSE # 4911 TELEPHONE # 704-892-3633 E-MAIL: cwilber303@aol.com
Architectural: Hansen/Toley NAME: Joy Hansen PHONE # 704-892-3633 E-MAIL: joyhansen@toley.com
Electrical: Allied Engineers NAME: David Hood PHONE # 704-399-3943 E-MAIL: dhood@allied-engineers.com
Fire Alarm: Allied Engineers NAME: David Hood PHONE # 704-399-3943 E-MAIL: dhood@allied-engineers.com
Plumbing: Allied Engineers NAME: David Hood PHONE # 704-399-3943 E-MAIL: dhood@allied-engineers.com
Mechanical: Allied Engineers NAME: David Hood PHONE # 704-399-3943 E-MAIL: dhood@allied-engineers.com
Sprinkler-Design: Allied Engineers NAME: David Hood PHONE # 704-399-3943 E-MAIL: dhood@allied-engineers.com
Structural: David Binkley PE NAME: David Binkley PHONE # 704-585-6305 E-MAIL: davebink@gmail.com
Retaining Walls: > 5' High n/a ()
Other: n/a ()
(*Other* should include firms and individuals such as, transit, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: ☒ New Building ☐ Addition ☐ Renovation
☐ 1st Time Interior Completion
☐ Shell/Enclosure - Contact the local inspection jurisdiction for possible additional procedures and requirements
☐ Phased Construction - Shell/Enclosure - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: ☐ Prescriptive ☐ Repair ☐ Chapter 14
Alteration: ☐ Level 1 ☐ Level II ☐ Level III ☐ Level IV
☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) _____ **CURRENT OCCUPANCY(S)** (Ch. 3): _____
RENOVATED: (date) _____ **PROPOSED OCCUPANCY(S)** (Ch. 3): _____
OCCUPANCY CATEGORY (Table 1004.5) **Current:** ☐ I ☐ II ☐ III ☐ IV
Proposed: ☐ I ☐ II ☐ III ☐ IV

BASIC BUILDING DATA
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
(check all that apply) ☐ I-B ☐ II-B ☐ III-B ☐ V-B
Sprinklers: ☐ No ☐ Partial ☒ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No ☐ Yes ☐ Class I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☒ No ☐ Yes ☐ Flood Hazard Area: ☒ No ☐ Yes
Special Inspections Required: ☒ No ☐ Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

2018 NC Administrative Code and Policies

FLOOR	Gross Building Area Table		SUB-TOTAL
	EXISTING (SQ/FT)	NEW (SQ/FT)	
1 st Floor		6,994	6,994
2 nd Floor		6,943	6,943
Mezzanine		6,943	6,943
Basement			
TOTAL		13,937	13,937

ALLOWABLE AREA
Primary Occupancy Classification(s): ☐ Select one ☐ Select one ☐ Select one ☐ Select one ☐ Select one
Assembly: ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business: ☒ B
Educational: ☐ E
Factory: ☐ F-1 Moderate ☐ F-2 Low
Hazardous: ☐ H-1 Detonate ☐ H-2 Degrade ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional: ☐ I-1 Condition ☐ I-2
I-2 Condition ☐ I-2
I-3 Condition ☐ I-3 ☐ I-4 ☐ I-5
I-4
Mercantile: ☐ M
Residential: ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage: ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous: ☐ U
Accessory Occupancy Classification(s): n/a

Incidental Uses (Table 509): n/a
Special Use (Chapter 4 - List Code Sections): n/a
Special Provisions (Chapter 5 - List Code Sections): n/a
Mixed Occupancy: ☐ No ☒ Yes Separation: 0 Hr. Exception: **508.3**
☒ Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

☐ Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} + \dots \leq 1.00$$

2018 NC Administrative Code and Policies

STORY NO.	DESCRIPTION AND USE	(A) BUILDING AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE ¹	(D) ALLOWABLE AREA PER STORY OR UNBUILT ^{2,3}
1	Office	6,943	69,000	n/a	69,000
2	Storage	6,943	52,500	n/a	52,500
2	Office	6,994	69,000	n/a	69,000

¹ Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = n/Q (F)
b. Total Building Perimeter = n/Q (F)
c. Ratio (F/P) = n/Q (F/P)
d. W = Minimum width of public way = n/Q (W)
e. Percent of frontage increase $I_f = 100(F/P - 0.25) \times W/30 = n/Q$ (%)
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 408.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the un sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	75	32	
Building Height in Stories (Table 504.4)	3	2	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

2018 NC Administrative Code and Policies

FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION (RATING)	REQ'D	RATING PROVIDED (FIR. RESISTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Roofing Walls							
Interior							
North	>30	0					
East	>30	0					
West	>30	0					
South	>30	0					
Roofing Walls and Partitions							
Interior walls							
North	>30	0					
East	>30	0					
West	>30	0					
South	>30	0					
Interior walls and partitions							
Floor Construction							
Building supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shall Enclosures - Exit	1	1	2/1-4	UL 1465			
Shall Enclosures - Other	1	1	1/1-4	UL 1469			
Corridor Separation							
Exitways/Fire Barrier Separation							
Partitions/Fire Barrier Separation							
Smoke Barrier Separation							
Smoke Partitions							
Transit/Waiting Unit							
Showering Unit Separation							
Incidental Use Separation							

* Indicate section number governing reduction

2018 NC Administrative Code and Policies

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 702.3)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
>30'-0"	UP, S	No Limit	n/a

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☐ No ☒ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection Systems: ☐ No ☒ Yes ☒ Partial
Panic Hardware: ☐ No ☒ Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: T-1

☒ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☐ Common paths of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☒ Clear exit widths for each exit door
☐ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☐ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification 1-3 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

2018 NC Administrative Code and Policies

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704-892-3633

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S E A L
STEPHEN CHARLES WILBER
REGISTERED PROFESSIONAL ARCHITECT
4911
NORTH CAROLINA
CORNELIUS
5/18/20

TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20
REVISIONS

SHEET
T-2
OF
4

ACCESSIBLE DWELLING UNITS (SECTION 1107)						
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE-A UNITS REQUIRED	TYPE-A UNITS PROVIDED	TYPE-B UNITS REQUIRED	TYPE-B UNITS PROVIDED
n/a						

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED	REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE
See site plan						
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) See Fixture Calculations Sheet T-1									
USE	MALE	FEMALE	UNSEX	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS	REGULAR	ACCESSIBLE
SPACE	1	1	1	1	1	1	1	1	1
ENTRY	4	4			3	3		1	1
2ND	4	4			3	3		1	1

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)
n/a

2018 NC Administrative Code and Policies

ENERGY SUMMARY
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☒ No ☐ Yes (The remainder of this section is not applicable)

Exempt Building: ☒ No ☐ Yes (Provide code or statute reference)

Climate Zone: ☒ 3A ☐ 4A ☐ 5A

Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive
ASHRAE 90.1 ☒ Performance ☐ Prescriptive
(If "Other" specify source here) COMcheck-See Compliance Report Sheet T-3

THERMAL ENVELOPE (Prescriptive method only)

Roofing/ceiling Assembly (each assembly)
Description of assembly: Cont. Polyiso Rigid insulation on metal deck
U-Value of total assembly: 0.057
R-Value of insulation: 16.8
Skylights in each assembly: n/a
U-Value of skylight: n/a
Total square footage of skylights in each assembly: n/a

Exterior Walls (each assembly)
Description of assembly: 6" Stud frame w/ Open Cell Spray Foam Insulation
U-Value of total assembly: 0.065
R-Value of insulation: 22.2
Openings (windows or doors with glazing): 29
Solar heat gain coefficient: 0.27
projection factor: 127/217.50/17
Door R-Values: 2.8

Walls below grade (each assembly)
Description of assembly: n/a
U-Value of total assembly: n/a
R-Value of insulation: n/a

Floors over unconditioned space (each assembly)
Description of assembly: n/a
U-Value of total assembly: n/a
R-Value of insulation: n/a

Floors slab on grade
Description of assembly: Conc. slab on grade, no insulation
U-Value of total assembly: n/a
R-Value of insulation: n/a
Horizontal/vertical requirement: n/a
slab heated: n/a

2018 NC Administrative Code and Policies

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)**

DESIGN LOADS:

Importance Factors: Snow 1.0
Seismic 1.0

Live Loads: Roof 20 psf
Mezzanine 50/80/100 psf
Floor 50/80/100 psf

Ground Snow Load: 15 psf

Wind Load: Basic Wind Speed 115 mph (ASCE-7)
Exposure Category B

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☒ C ☐ D
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) ☒ I ☐ II ☐ III ☐ IV
Spectral Response Acceleration 0.218 %g
Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☒ D ☐ E ☐ F
Data Source: ☒ Field Test ☐ Presumptive ☐ Historical Data
Basic structural system: ☐ Bearing Wall ☐ Dual w/Special Moment Frame
☐ Building Frame ☐ Dual w/Intermediate R/C or Special Steel
☐ Moment Frame ☐ Inverted Pendulum
☐ Simplified ☒ Equivalent Lateral Force ☐ Dynamic
Analysis Procedure: ☒ Simplified ☐ Equivalent Lateral Force ☐ Dynamic
Architectural, Mechanical, Components anchored? ☒ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☒ Wind ☐

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) n/a psf
Presumptive Bearing capacity 2,500 psf
Pile size, type, and capacity n/a

2018 NC Administrative Code and Policies

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone See Sheet M-3

Winter dry bulb: _____
Summer dry bulb: _____

Interior design conditions:
Winter dry bulb: _____
Summer dry bulb: _____
Relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System
Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler
Size category: If oversized, state reason: _____
Chiller
Size category: If oversized, state reason: _____

List equipment efficiencies: _____

2018 NC Administrative Code and Policies

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)**

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT See Sheet E-1

Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive
ASHRAE 90.1 ☐ Performance ☐ Prescriptive

Lighting schedule (each fixture type)
Lamp type required in fixture: _____
Number of lamps in fixture: _____
Ballast type used in the fixture: _____
Number of ballasts in fixture: _____
Total wattage per fixture: _____
Total interior wattage specified vs. allowed (whole building or space by space): _____
Total exterior wattage specified vs. allowed: _____

Additional Efficiency Package Options
(When using the 2018 NEC, not required for ASHRAE 90.1)
☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies



COMcheck Software Version 4.1.2.2
Envelope Compliance Certificate

Project Information

Energy Code: 2015 IECC
Project Title: Watermark Condos
Location: Cornelius, North Carolina
Climate Zone: 3a
Project Type: New Construction
Vertical Glazing / Wall Area: 37%

Construction Site: 19734 Kunkleman Dr.
Cornelius, NC 28031
Owner/Agent: Jamie Rolowicz
11106 Treynorth Dr.
Cornelius, NC 28031
704-905-0335
Designer/Contractor: Charles Wilber
Wilber Associates
20044 Zion St.
Cornelius, NC 28031
704-892-3633
cwilber303@aol.com

Additional Efficiency Package(s)

Reduced interior lighting power. Requirements are implicitly enforced within interior lighting allowance calculations.

Building Area	Floor Area
1-Office (Office) : Nonresidential	13937

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ₉₀
Roof 1: Insulation Entirely Above Deck: High Albedo Roof Required, 3-Year-Aged Solar Reflectance = 0.83, Thermal Emittance = 0.83 (d), [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade/Unheated, [Bldg. Use 1 - Office] : Comment: (c)	6994	---	16.8	0.057	0.039
NORTH Exterior Wall 1: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment: Window 1: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment: (b) Window 2: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment: (b) Window 3: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b) Window 4: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.17, [Bldg. Use 1 - Office] : Comment: (b) Door 1: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.18, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	3284	22.2	0.0	0.086	0.064
	450	---	---	0.290	0.460
	450	---	---	0.290	0.460
	122	---	---	0.290	0.460
	230	---	---	0.290	0.460
	21	---	---	0.350	0.770

Project Title: Watermark Condos
Data filename: G:\Old Dell\Share\PROJECTS\wmkoffice-1948\WaterMark Office COMcheck.cck
Report date: 05/19/20
Page 1 of 11

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ₉₀
EAST Exterior Wall 4: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment: Window 13: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment: (b) Window 14: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment: (b) Door 4: Insulated Metal, Swinging, [Bldg. Use 1 - Office] : Comment: Door 5: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Office] : Comment:	1472	22.2	0.0	0.086	0.064
	180	---	---	0.290	0.460
	270	---	---	0.290	0.460
	21	---	---	0.350	0.610
	120	---	---	0.057	0.179
SOUTH Exterior Wall 2: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment: Window 5: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment: (b) Window 6: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment: (b) Window 7: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b) Window 8: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.17, [Bldg. Use 1 - Office] : Comment: (b) Door 2: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.18, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	3158	22.2	0.0	0.086	0.064
	340	---	---	0.290	0.460
	360	---	---	0.290	0.460
	150	---	---	0.290	0.460
	135	---	---	0.290	0.460
	63	---	---	0.350	0.770
WEST Exterior Wall 3: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment: Window 9: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment: (b) Window 10: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment: (b) Window 11: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b) Window 12: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.17, [Bldg. Use 1 - Office] : Comment: (b) Door 3: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.18, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	2650	22.2	0.0	0.086	0.064
	360	---	---	0.290	0.460
	360	---	---	0.290	0.460
	122	---	---	0.290	0.460
	230	---	---	0.290	0.460
	21	---	---	0.350	0.770

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.
(d) High albedo roof requirement options: 1) 3-year aged solar reflectance >= 0.55 thermal emittance >= 0.75, 2) 3-year aged solar reflectance index >= 64.0, 3) Initial year aged solar reflectance >= 0.70 thermal emittance >= 0.75, 4) Initial year aged solar reflectance index >= 82.0.

Project Title: Watermark Condos
Data filename: G:\Old Dell\Share\PROJECTS\wmkoffice-1948\WaterMark Office COMcheck.cck
Report date: 05/19/20
Page 2 of 11

Envelope PASSES: Design 6% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.2.2 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title Signature Date

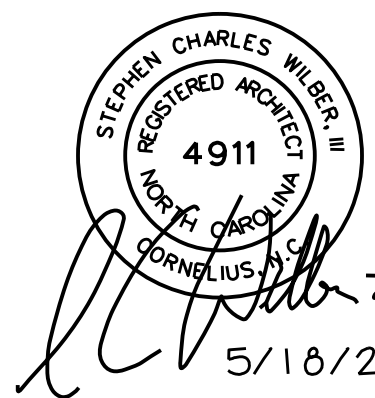
Project Title: Watermark Condos
Data filename: G:\Old Dell\Share\PROJECTS\wmkoffice-1948\WaterMark Office COMcheck.cck
Report date: 05/19/20
Page 3 of 11



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SEAL



TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20

REVISIONS

SHEET

T - 3
OF 4

8/2018

BUXU469 - Fire-Resistance Ratings - ANSI/UL 263

UL ONLINE CERTIFICATIONS DIRECTORY

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Design No. U469

BUXU.469

Fire-resistance Ratings - ANSI/UL 263

Page Button

Design/System/Construction/Assembly Usage Disclaimer

- Authorizes Having Jurisdiction to be consulted in all cases as to the particular requirements covering the installation and use of UL.
- Authorizes Having Jurisdiction to be consulted before construction.
- Fire resistance assemblies and products are developed by the design administrator and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction measure encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer and/or the design. Users of the information are advised to consult the general Guide Information for each product category and each year of assemblies. The Guide Information includes specific concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BUXU - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BUXU7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-Resistance Ratings - ANSI/UL 263 Certified for United States

Design Criteria and Alternate Materials

See General Information for Fire-Resistance Ratings - CAN/ULC-S101 Certified for Canada

Design Criteria and Alternate Materials

Design No. U469

Assembly Rating - 1 HR

Nonbearing Wall Rating - 1 HR

- Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

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8/2018

BUXU469 - Fire-Resistance Ratings - ANSI/UL 263

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LEARN MORE

Design No. U469

BUXU.469

Fire-resistance Ratings - ANSI/UL 263

Page Button

Design/System/Construction/Assembly Usage Disclaimer

- Authorizes Having Jurisdiction to be consulted in all cases as to the particular requirements covering the installation and use of UL.
- Authorizes Having Jurisdiction to be consulted before construction.
- Fire resistance assemblies and products are developed by the design administrator and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction measure encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer and/or the design. Users of the information are advised to consult the general Guide Information for each product category and each year of assemblies. The Guide Information includes specific concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BUXU - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BUXU7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-Resistance Ratings - ANSI/UL 263 Certified for United States

Design Criteria and Alternate Materials

See General Information for Fire-Resistance Ratings - CAN/ULC-S101 Certified for Canada

Design Criteria and Alternate Materials

Design No. U469

Assembly Rating - 1 HR

Nonbearing Wall Rating - 1 HR

- Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

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SEAL
STEVEN CHARLES WILBER
REGISTERED ARCHITECT
4911
CORNELIUS, N.C.
5/18/20

TITLE
**PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING**
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20
REVISIONS
SHEET
A-1
OF
12

GENERAL NOTES

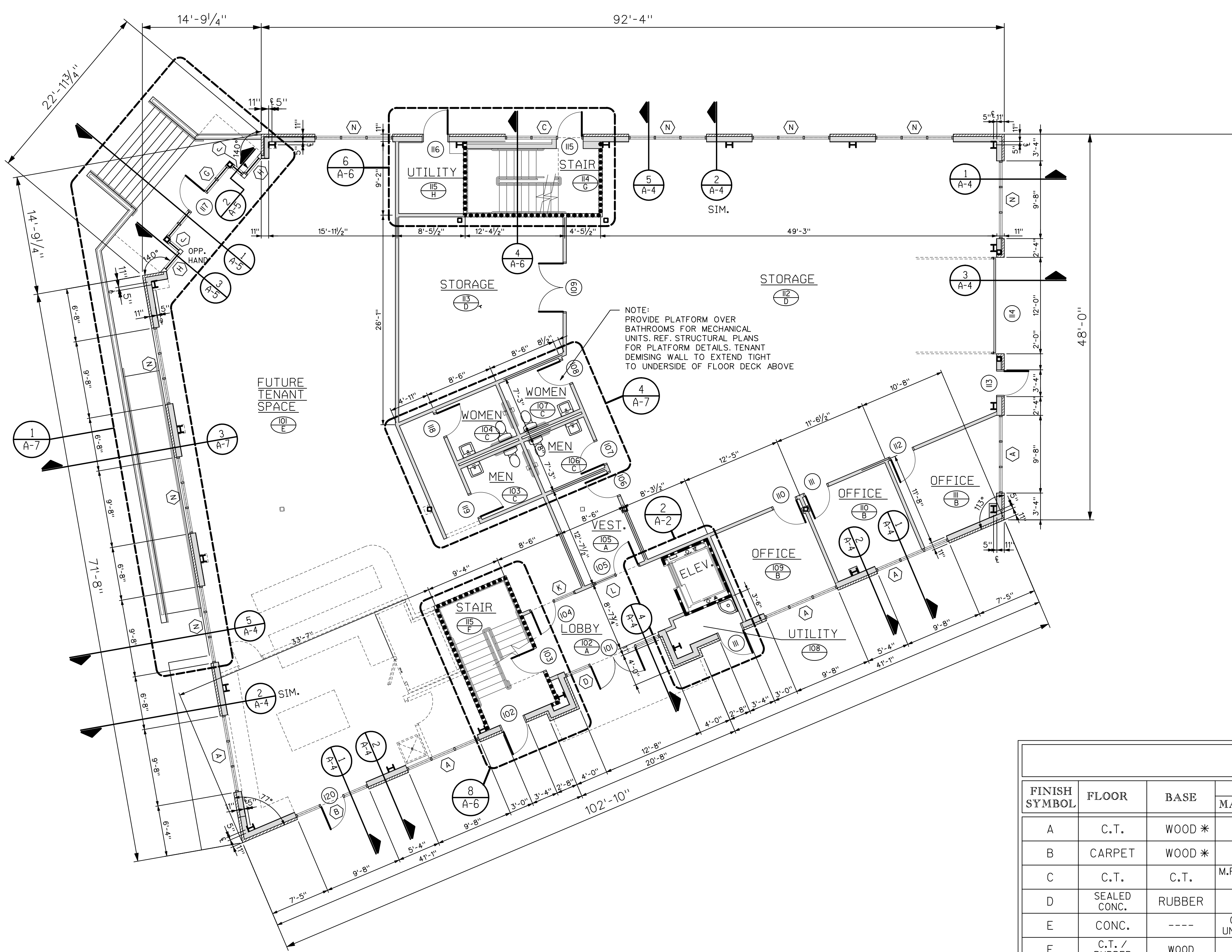
- ALL DIMENSIONS GIVEN TO CENTERLINE OF INTERIOR STUD PARTITION, CENTERLINE OF STEEL, EXTERIOR FACE OF MASONRY & INTERIOR FACE OF STUD @ EXTERIOR WALLS UNLESS OTHERWISE NOTED
-  DENOTES TYP. INTERIOR PARTITION -5/8" G.W.B. ON 3 5/8" 25 GA. STEEL STUDS (UNLESS OTHERWISE NOTED ON PLAN) @ 24" O.C. PARTITION TO EXTEND 6" ABOVE CEILING IN AREAS WITH FINISHED CEILINGS, EXCEPT TENANT DEMISING WALLS AND PARTITIONS IN AREAS WITHOUT CEILING TO EXTEND TIGHT TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
-  DENOTES TYP. BRICK VENEER EXTERIOR WALL -5/8" G.W.B. (TO BE INSTALLED AT TIME OF UPFIT IN UNFINISHED SPACES) ON 6" STEEL STUDS (UNLESS OTHERWISE NOTED) @ 24" O.C., 1/2" DENSGLAS EXTERIOR SHEATHING, LIQUID APPLIED VAPOR BARRIER & BRICK VENEER. STUD CAVITY TO BE FILLED W/ OPEN-CELL FOAM INSULATION. WALL THICKNESS TO INSIDE FACE OF STUD + 11" UNLESS OTHERWISE NOTED.
-  DENOTES ONE HOUR RATED STUD PARTITION -5/8" G.W.B. ON 3 5/8" STEEL STUDS 362ST25 @ 16" O.C., UL DETAIL # U465. EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY ABOVE.
-  DENOTES ONE HOUR RATED SHAFT WALL PARTITION -5/8" G.W.B. ON 2 1/2" "C-H" 25 MSG STEEL STUDS @ 24" O.C. & 1" G.W.B. LINER PANELS, UL DETAIL # U469, EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY OR ROOF DECK ABOVE.
- INTERIOR WALLS PARTITIONS MUST COMPLY WITH NCSCB SECTION 1607.13 FOR MINIMUM LATERAL LOAD RESISTANCE OF 5 PSF.
- A COMPLETE, HYDRAULICALLY CALCULATED FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PROVIDED BY OWNER. SHOP DRAWINGS WILL BE SUBMITTED WITHIN 90 DAYS OF PERMIT ISSUANCE. SYSTEM SHALL BE DESIGNED FOR LIGHT HAZARD OCCUPANCY PER NFPA 13
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER FIRE MARSHALL'S INSTRUCTIONS IN ACCORDANCE WITH NCBC 906.
- PROVIDE SIGNAGE IN COMPLIANCE WITH NCBC 1011.3, 1110, E107 & ANSI A117.1 703
- CONTRACTOR SHALL COMPLY WITH NCBC CHAPTER 33 SAFEGAURDS DURING CONSTRUCTION.

FINISH SCHEDULE

FINISH SYMBOL	FLOOR	BASE	WALL		CEILING		REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	
A	C.T.	WOOD *	G.W.B.	PAINT	G.W.B. *	PAINT	* 7/4" MASONITE SPEED BASE, PAINTED * * CROWN MOLDING
B	CARPET	WOOD *	G.W.B.	PAINT	ACOUS. T.	----	* 7/4" MASONITE SPEED BASE, PAINTED
C	C.T.	C.T.	M.R.G.W.B. / C.W.T. *	ENAMEL PAINT	G.W.B.	PAINT	* SEE ENLARGED TOILET PLANS SHEET A-9 FOR LOCATION OF C.W.T. WALLS.
D	SEALED CONC.	RUBBER	G.W.B.	PAINT	EXPOSED CONSTRUCTION	PAINT	
E	CONC.	----	G.W.B. / UNFINISHED	----	EXPOSED CONSTRUCTION	----	UNFINISHED FUTURE TENANT SPACE
F	C.T. / RUBBER *	WOOD * *	G.W.B.	PAINT	ACOUS. T.	----	* C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS * * 7/4" MASONITE SPEED BASE, PAINTED
G	V.C.T. / RUBBER *	RUBBER	G.W.B.	PAINT	G.W.B.	PAINT	* V.C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS
H	SEALED CONC.	----	G.W.B. / CONC.	----	EXPOSED CONSTRUCTION	----	
J	C.T.	WOOD *	G.W.B.	PAINT	ACOUS. T.	----	* 7/4" MASONITE SPEED BASE, PAINTED
K	CARPET	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	* 7/4" MASONITE SPEED BASE, PAINTED
L	L.V.P.	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	7/4" MASONITE SPEED BASE, PAINTED

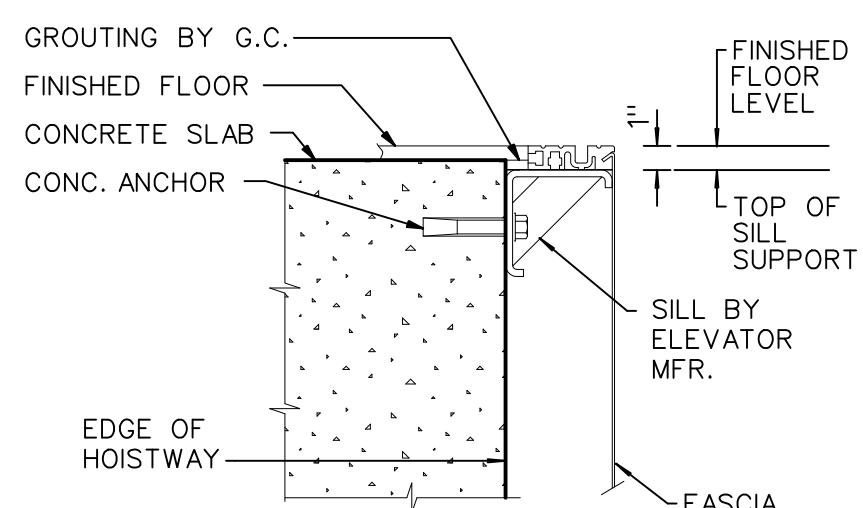
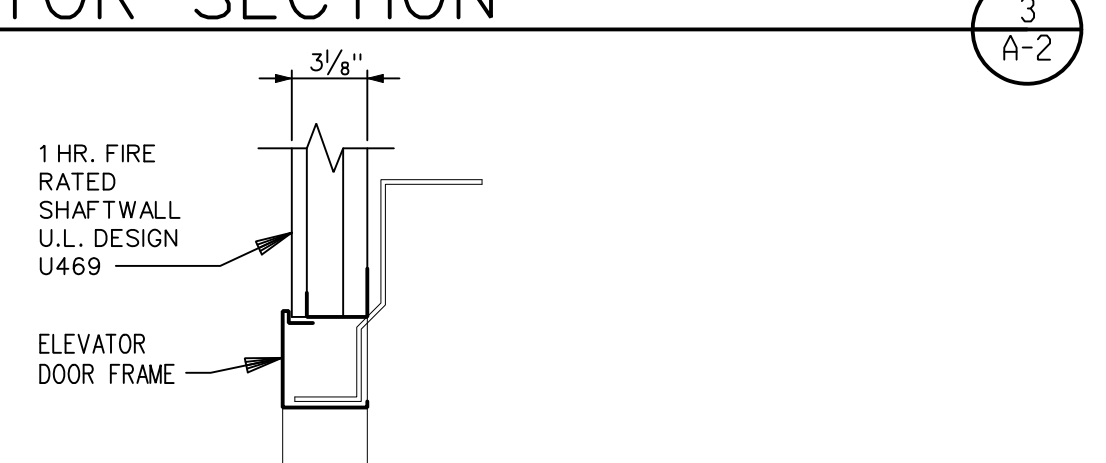
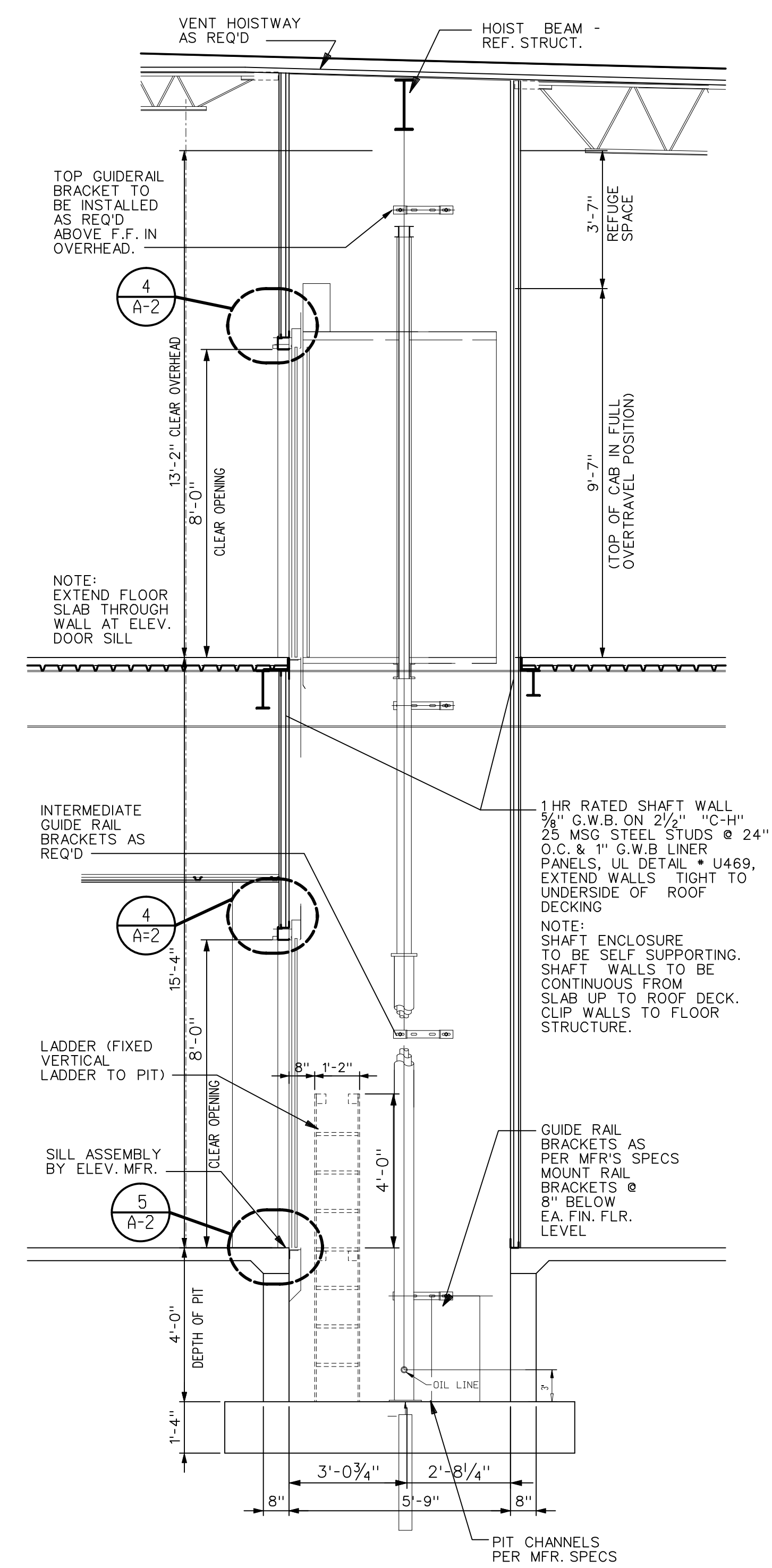
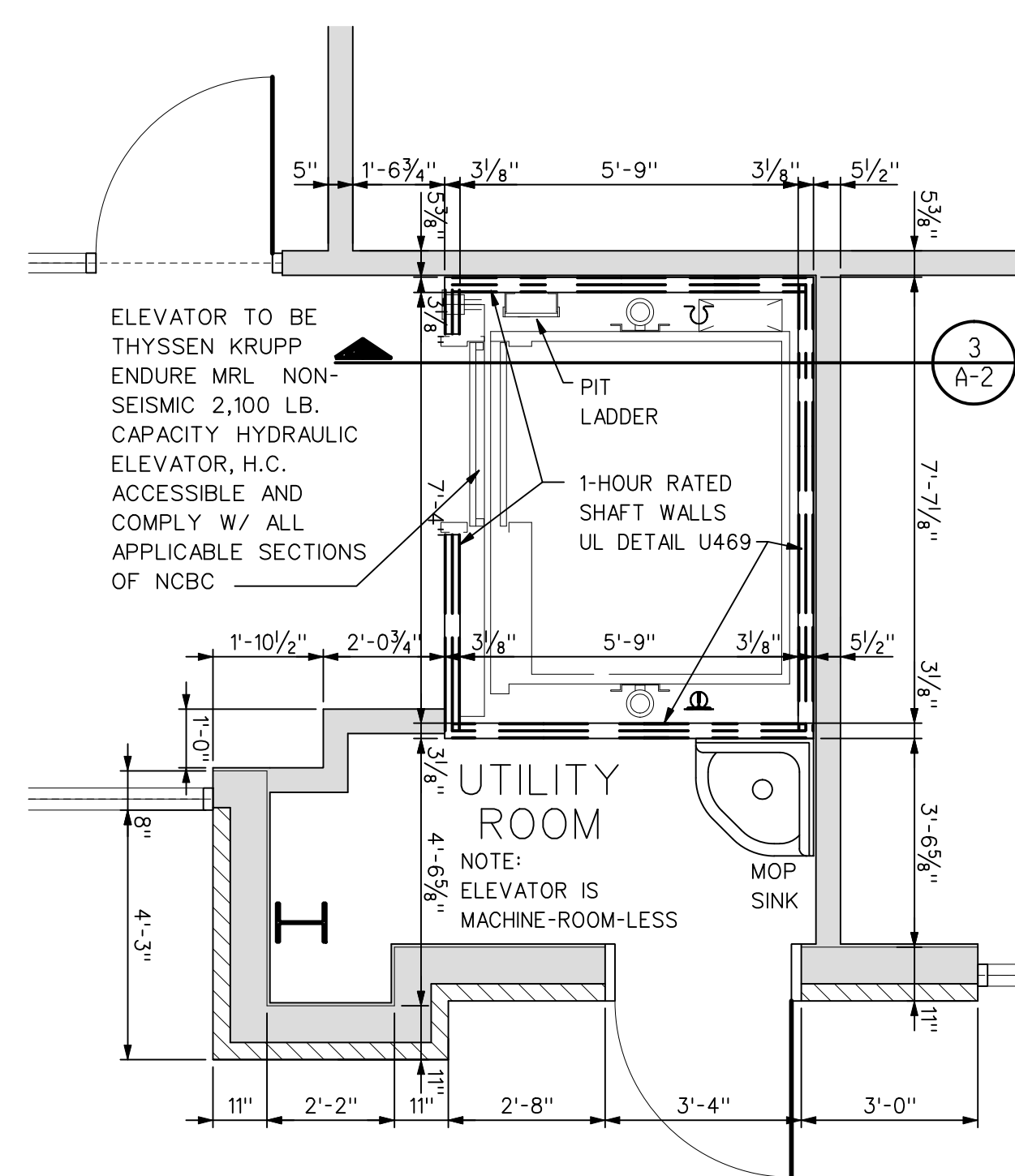
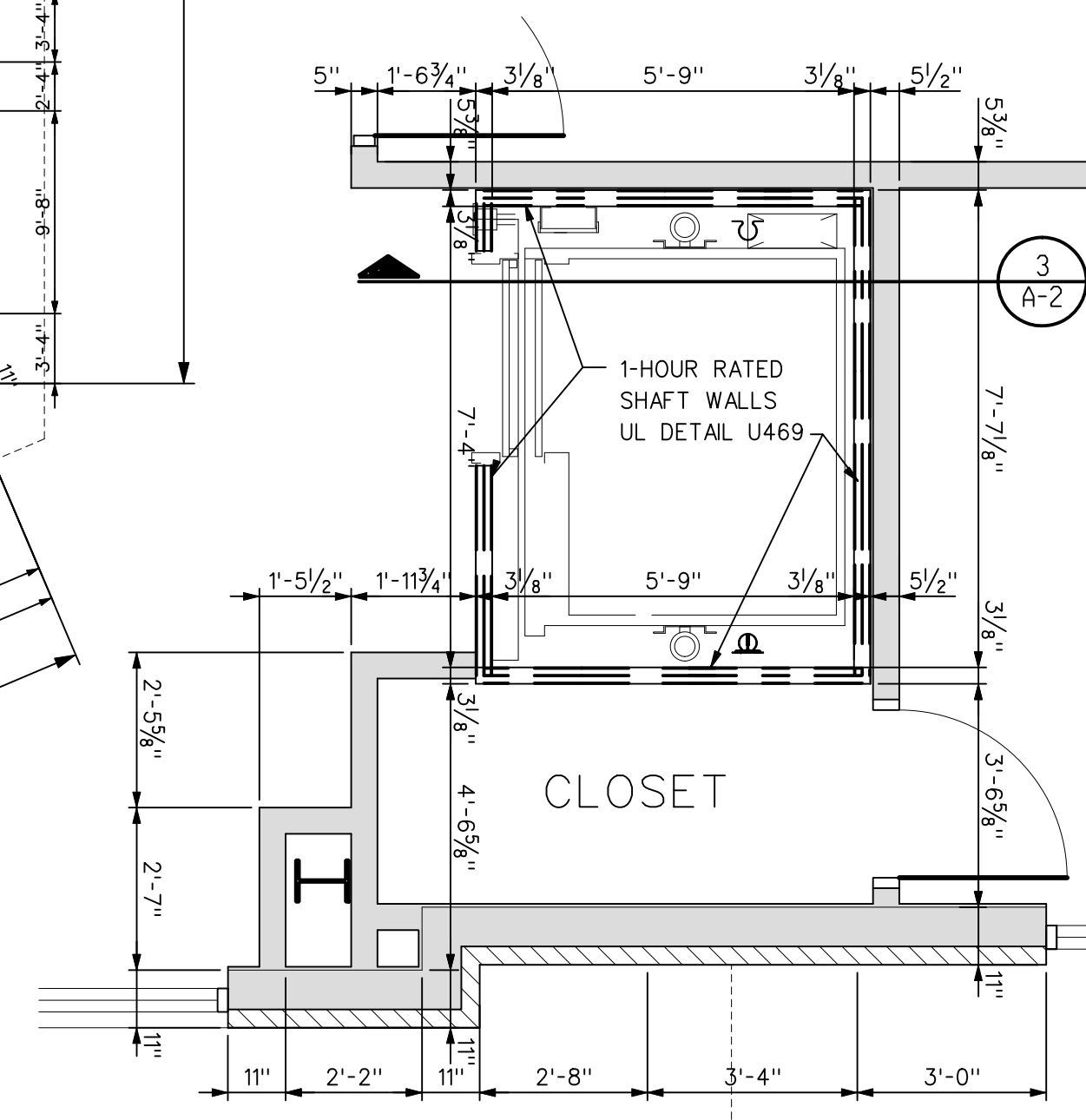
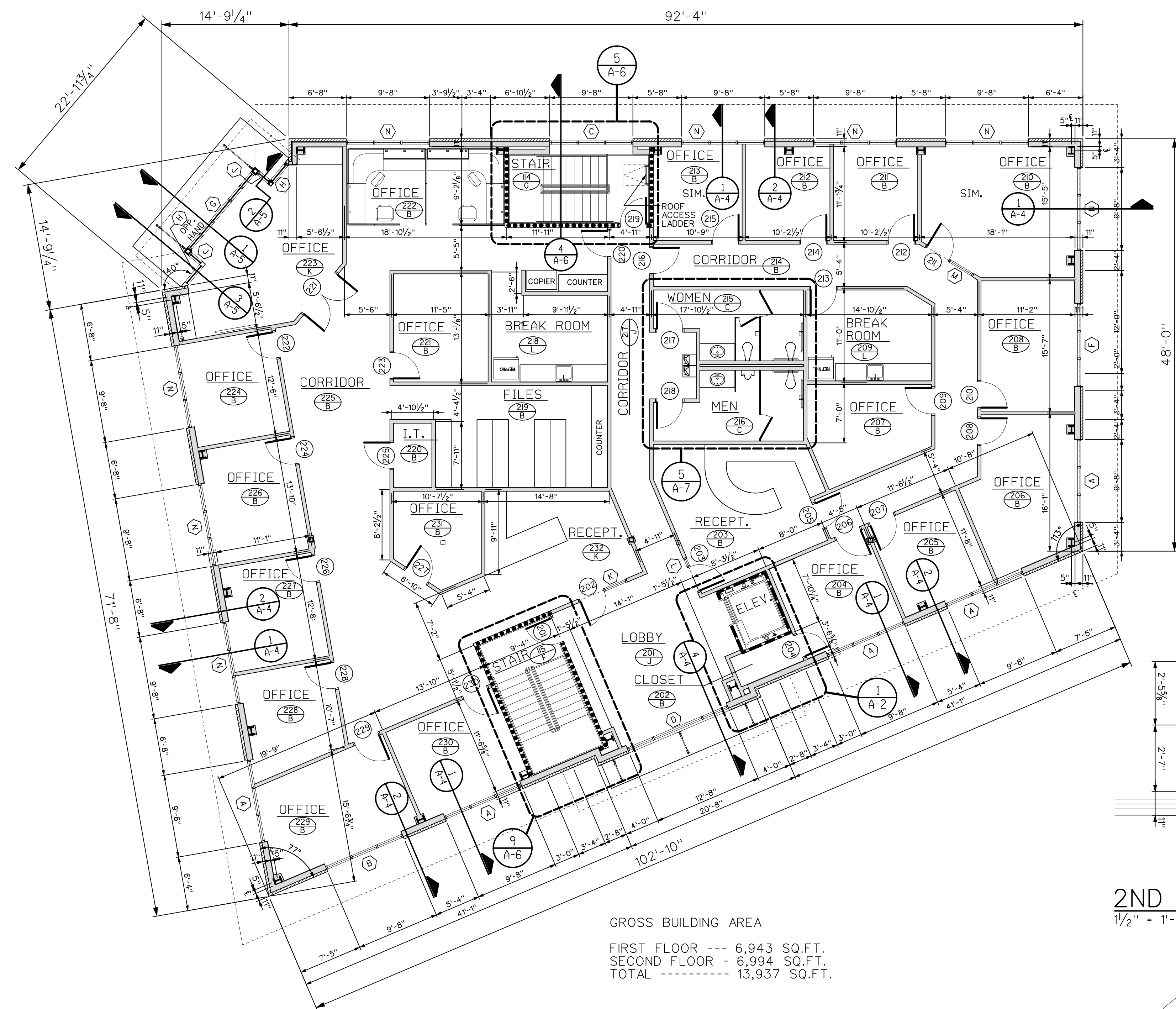
FINISH SCHEDULE ABBREVIATIONS

V.C.T.	VINYL COMPOSITION TILE	C.M.U.	CONCRETE MASONRY UNIT
C.T.	CERAMIC TILE	L.V.P.	LINEAR VINYL PLANK FLOORING
C.W.T.	CERAMIC WALL TILE	ACOUS. T.	ACOUSTICAL CEILING TILE
CONC.	CONCRETE		
G.W.B.	GYPSUM WALL BOARD		

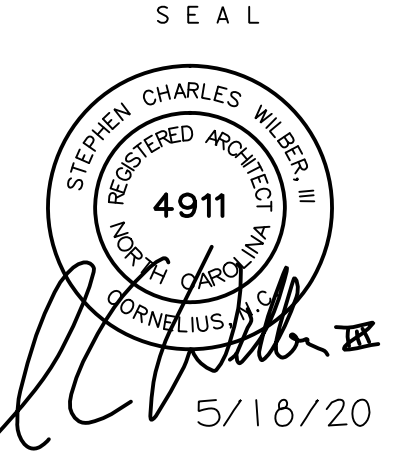


GROSS BUILDING AREA
FIRST FLOOR --- 6,943 SQ.FT.
SECOND FLOOR - 6,994 SQ.FT.
TOTAL ----- 13,937 SQ.FT.

FIRST FLOOR PLAN
1/8"=1'-0"



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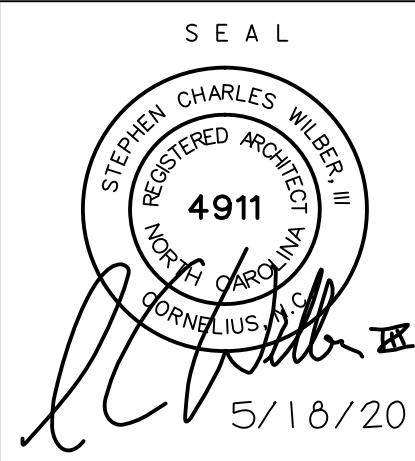
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19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO.	1948
DATE	5/18/20
REVISIONS	

SHEET
A-2
OF
12

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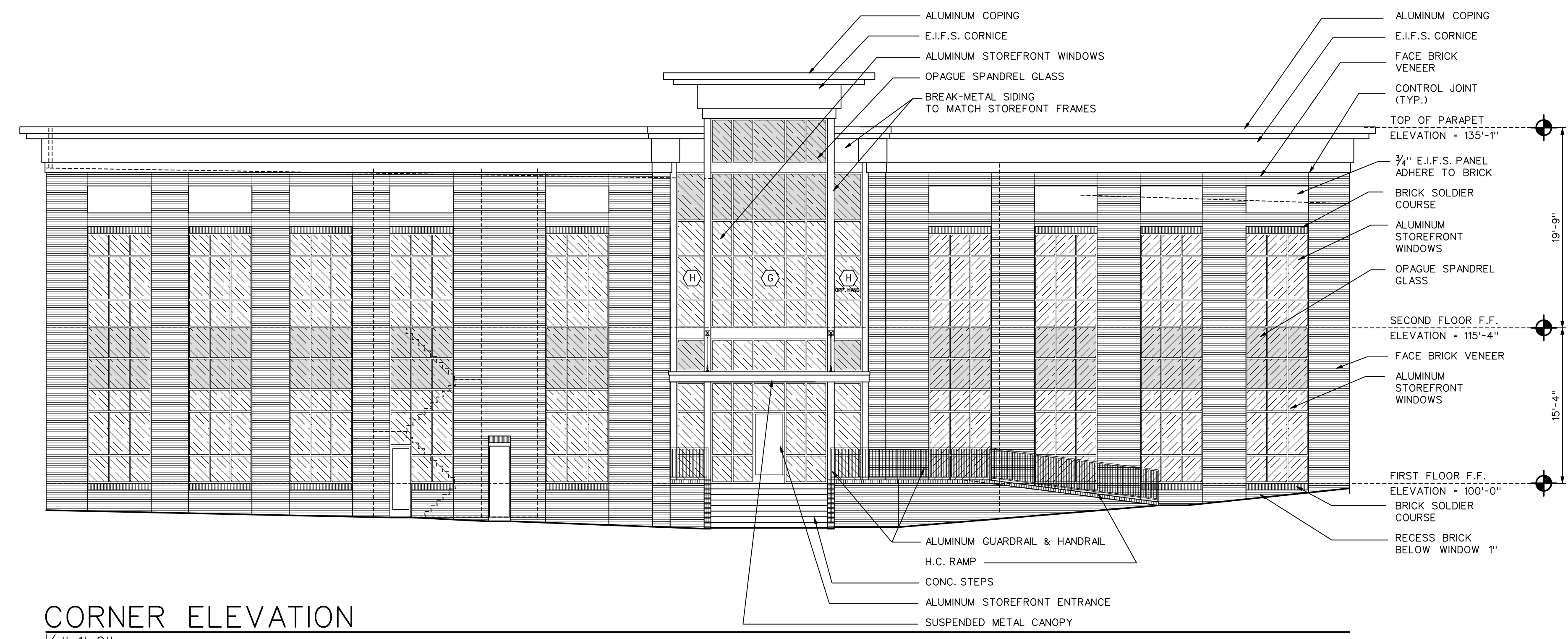


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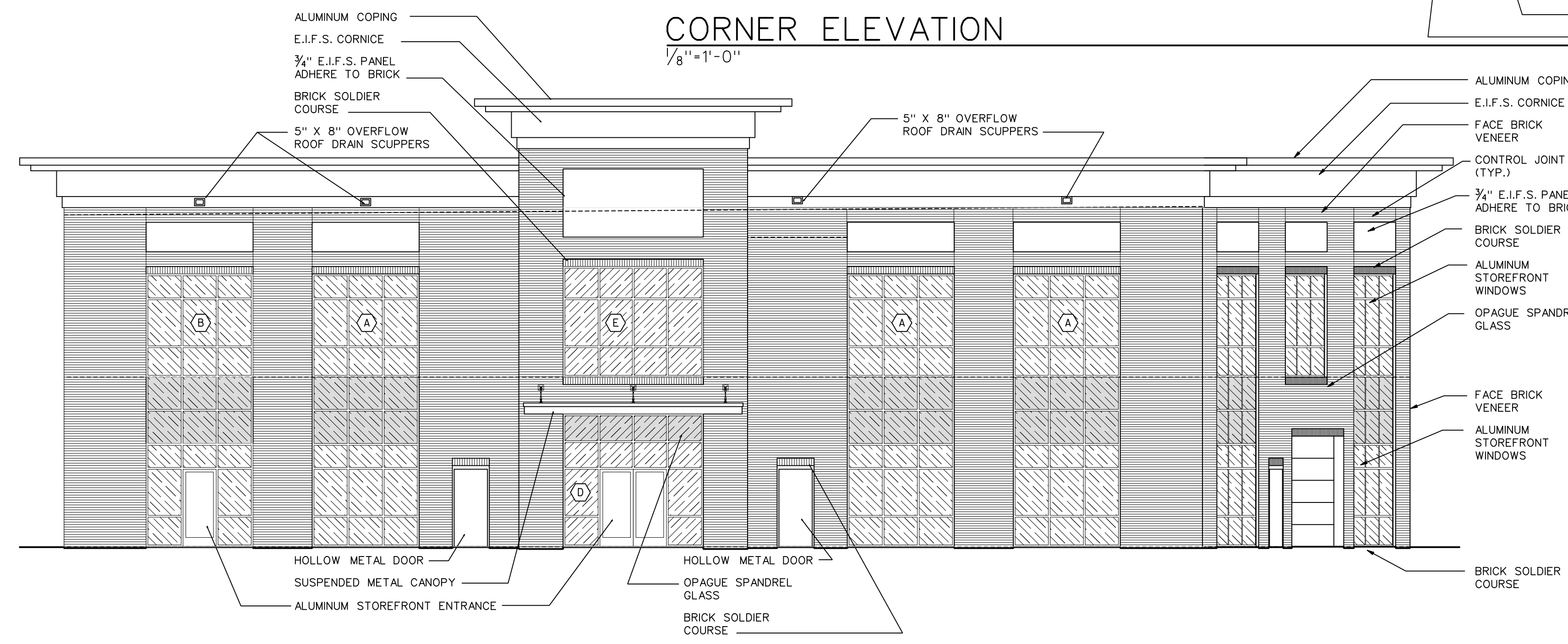
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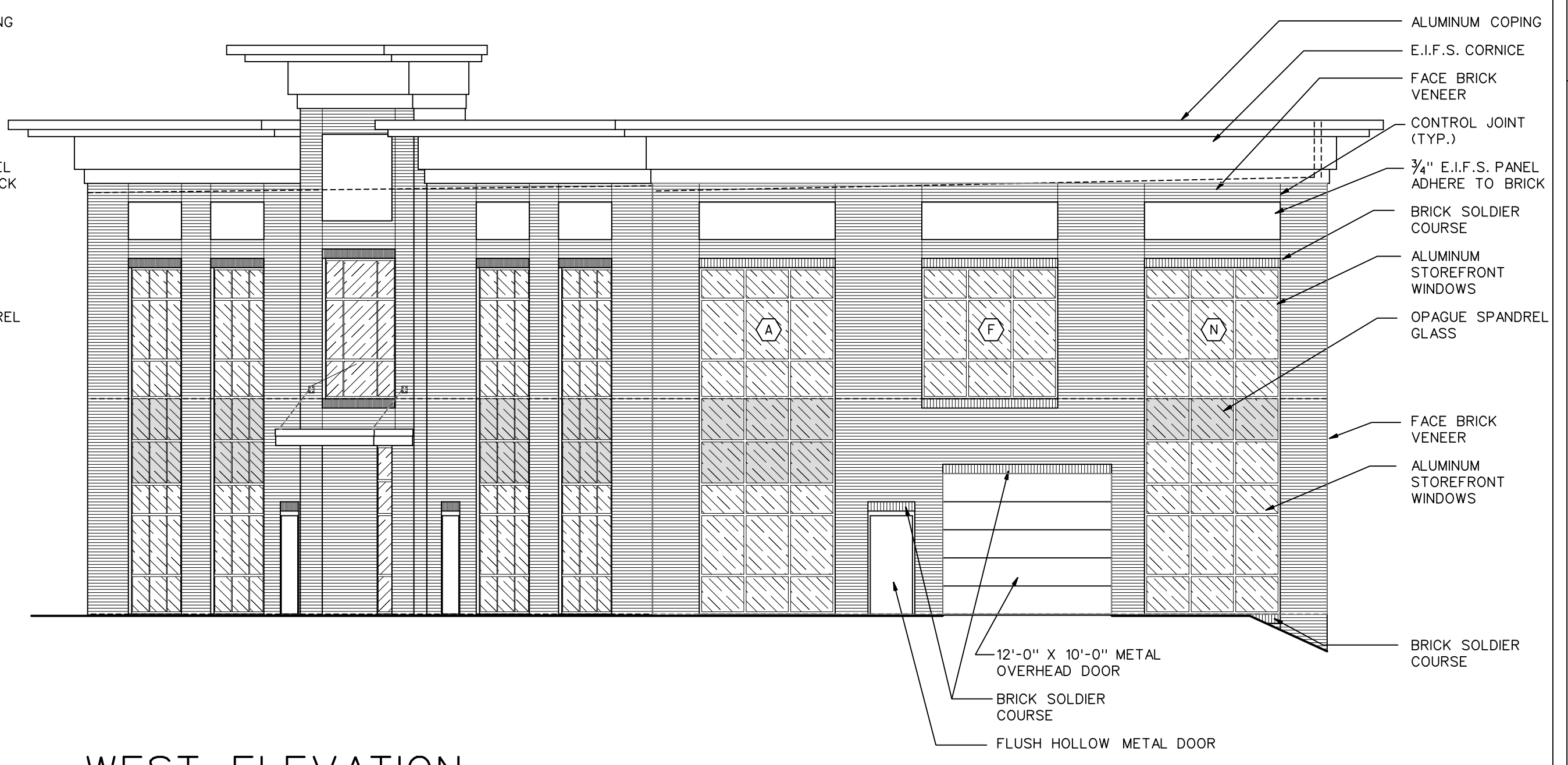
SHEET
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CORNER ELEVATION
1/8" = 1'-0"



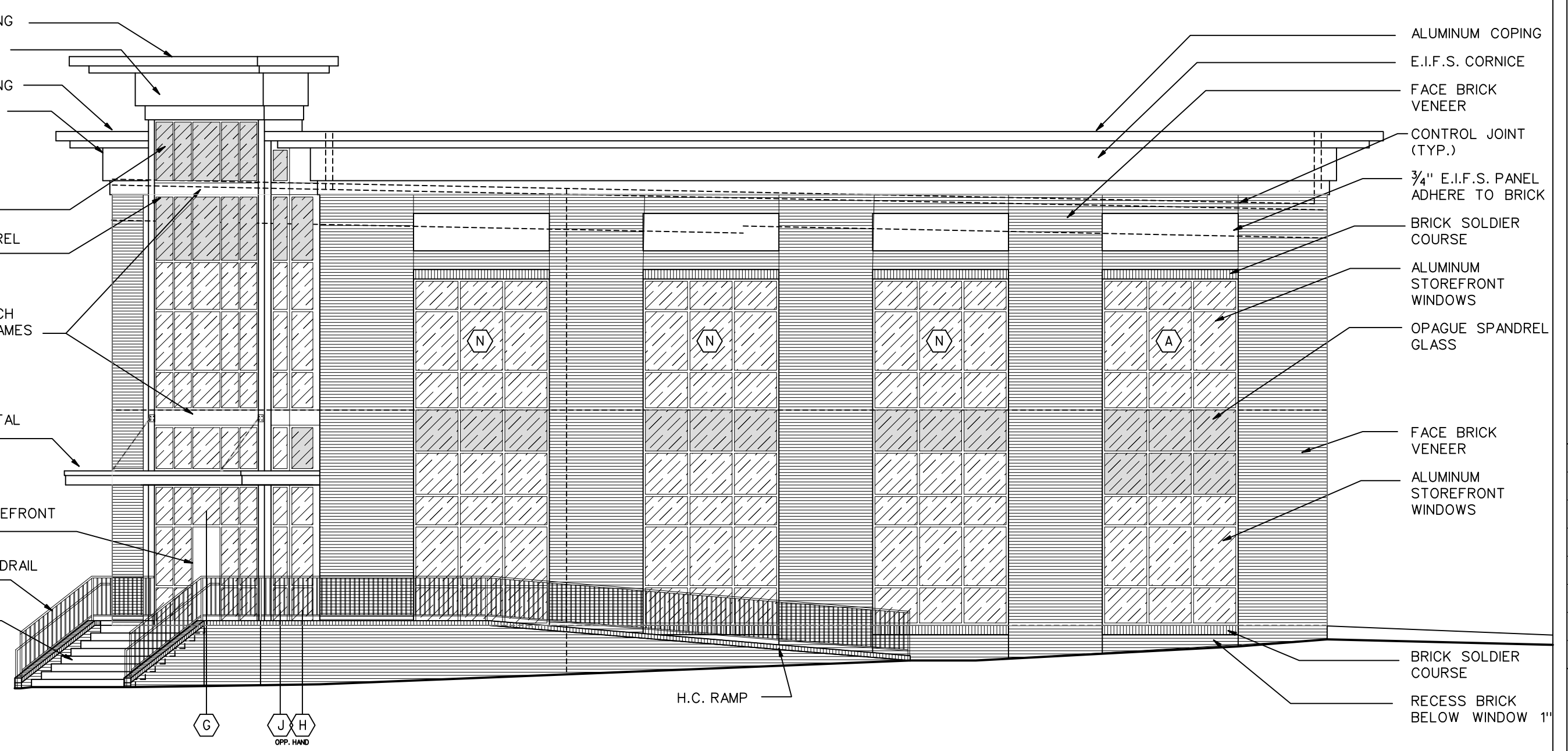
SOUTH ELEVATION
1/8" = 1'-0"



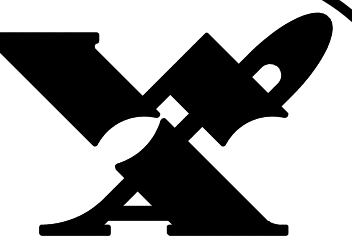
WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

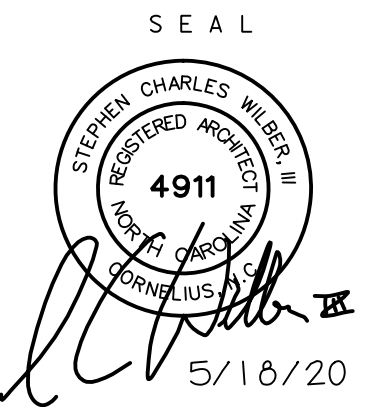


EAST ELEVATION
1/8" = 1'-0"



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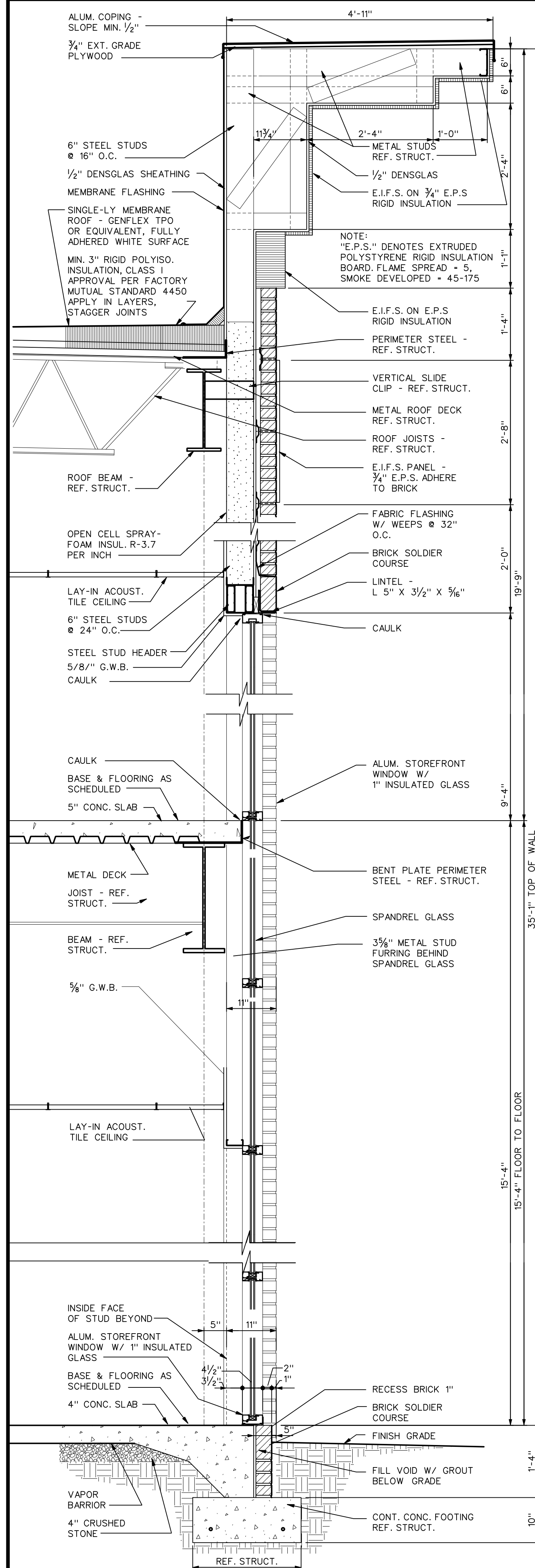


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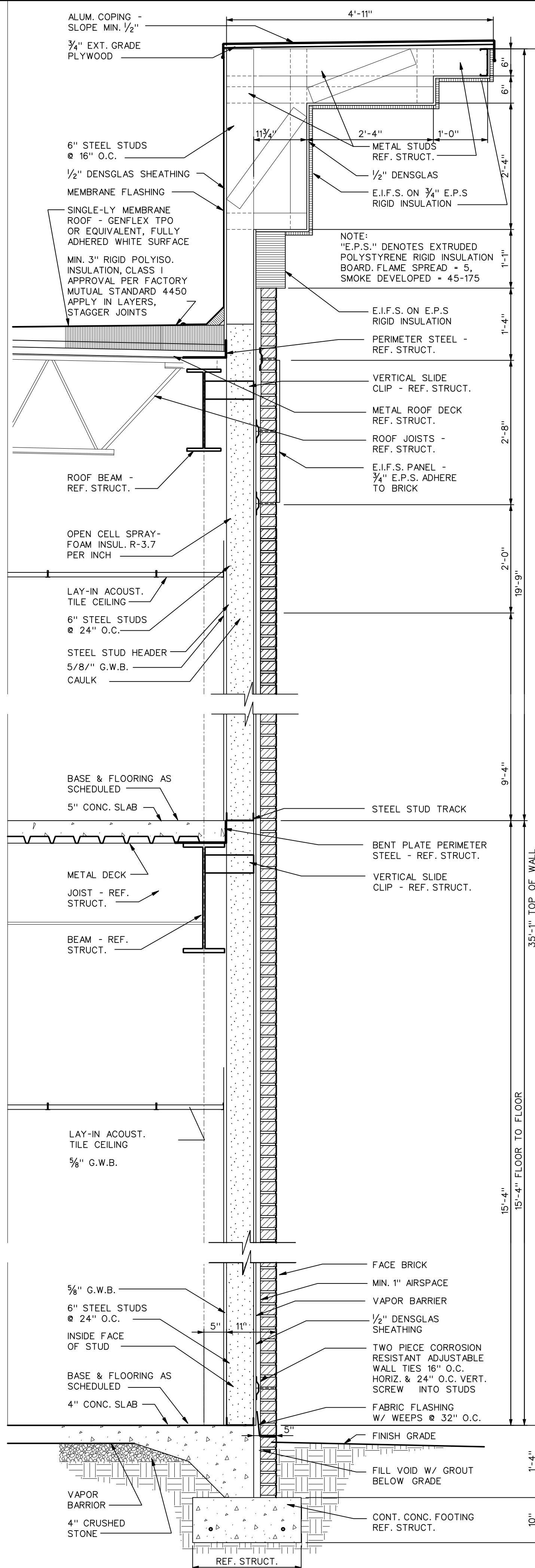
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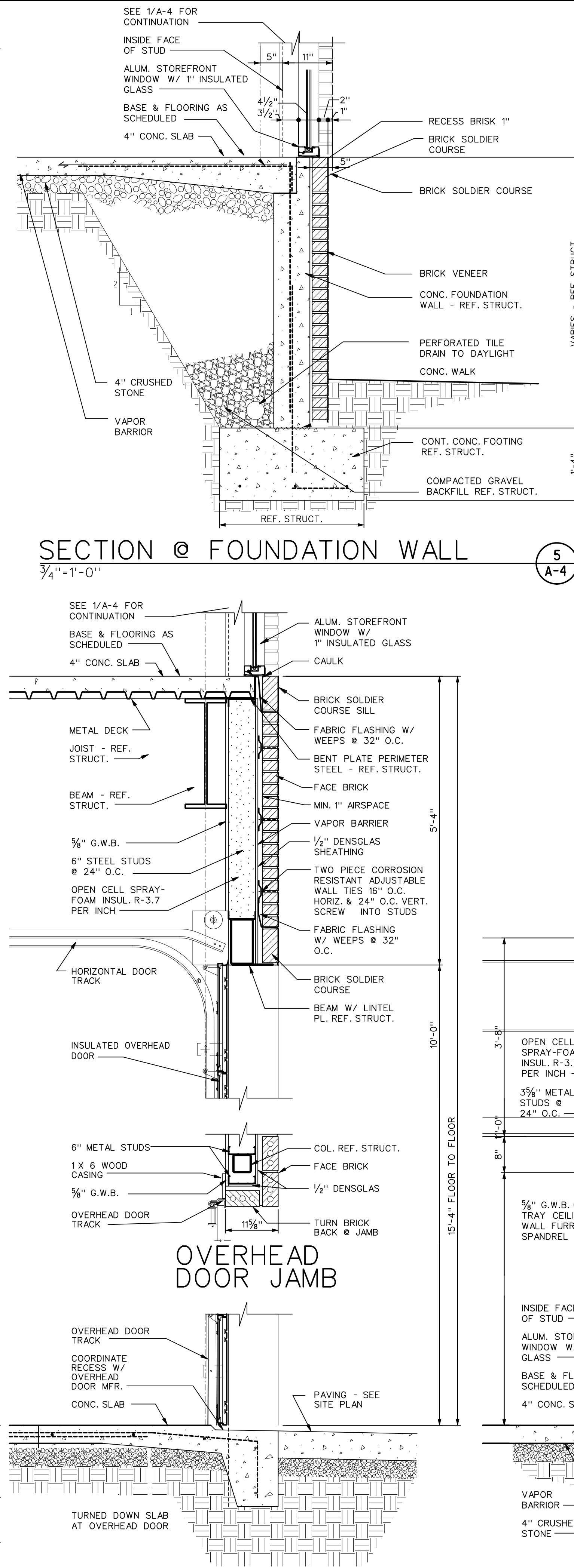
SHEET
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OF
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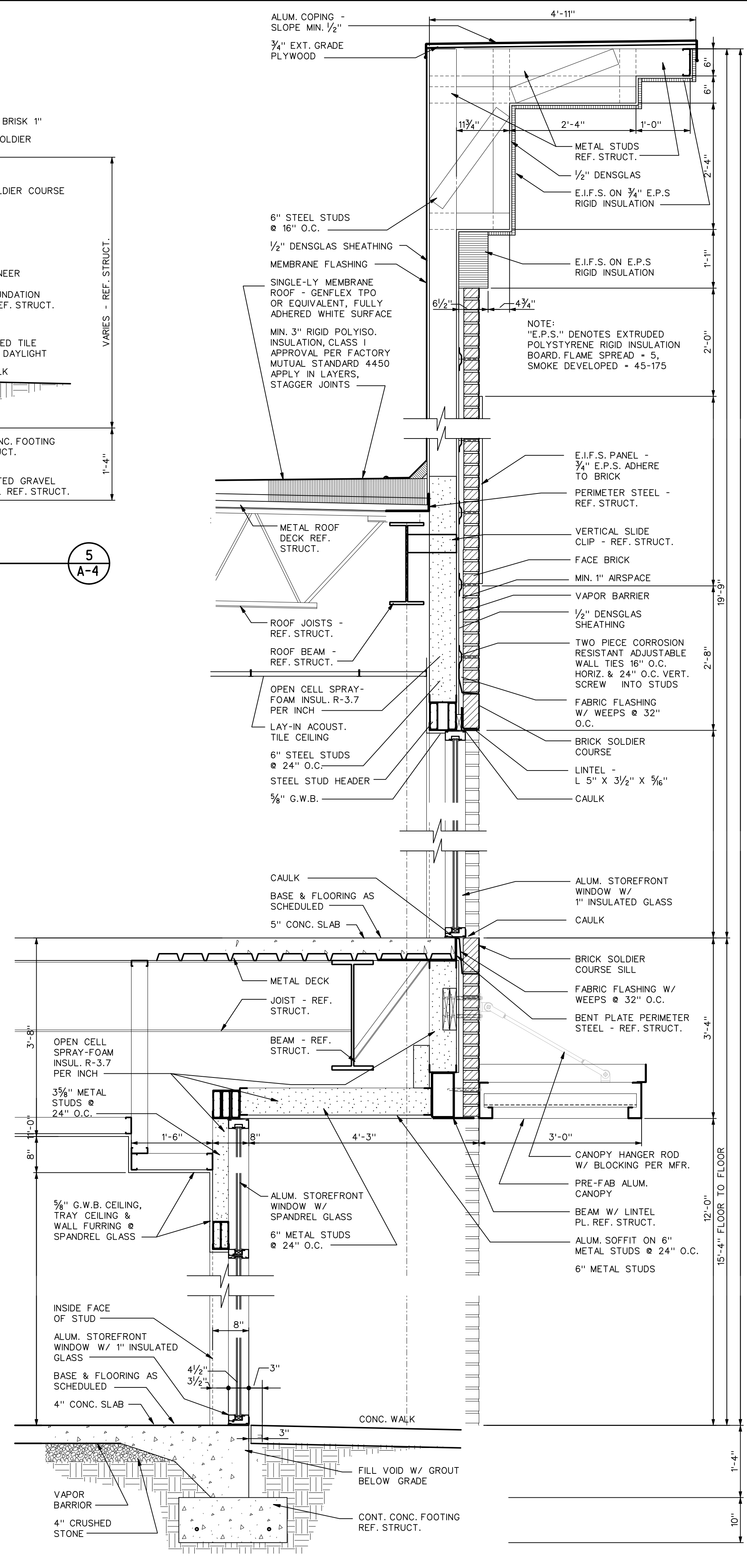
TYP. SECTION @ WINDOW
3/4"=1'-0"



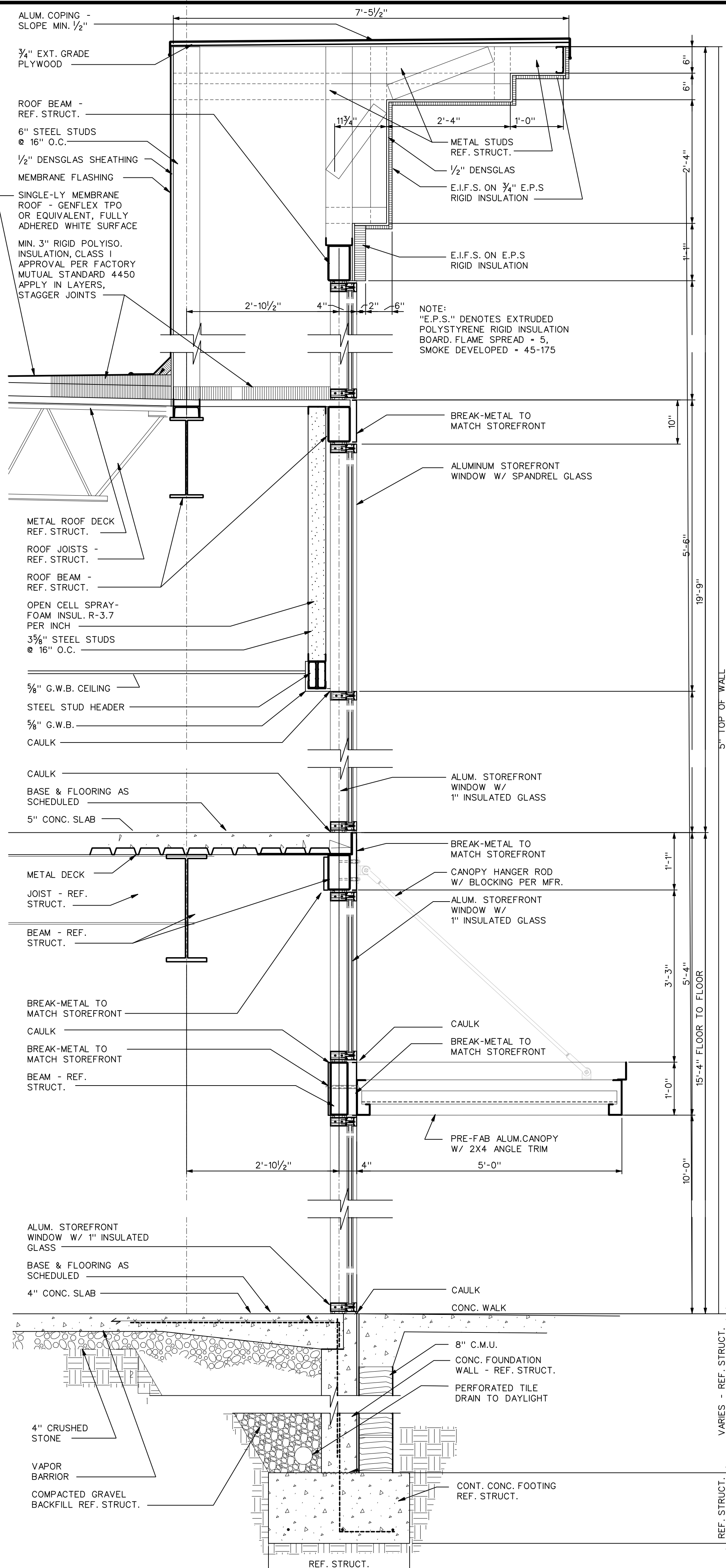
TYP. SECTION @ EXT. WALL
3/4"=1'-0"



SECTION @ OVERHEAD DOOR
3/4"=1'-0"



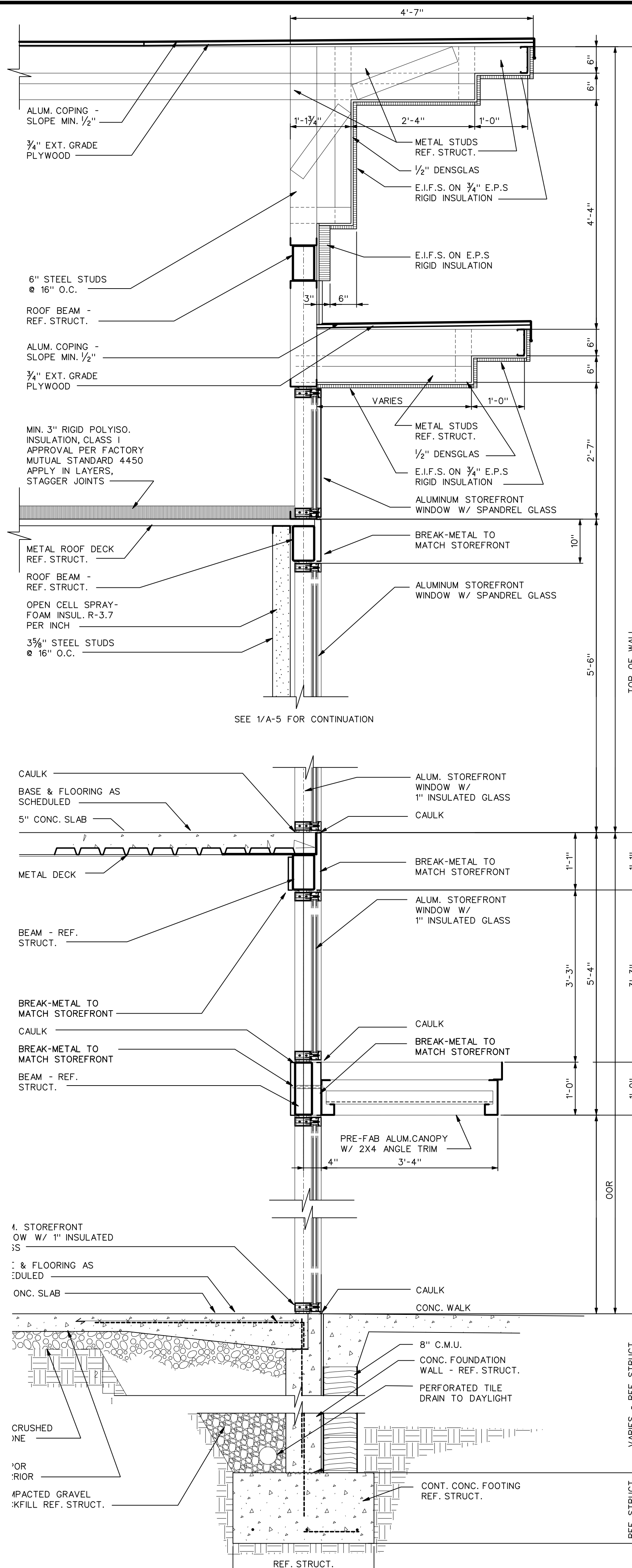
SECTION @ SOUTH ENTRANCE
3/4"=1'-0"



SECTION @ CORNER ENTRANCE

3/4"=1'-0"

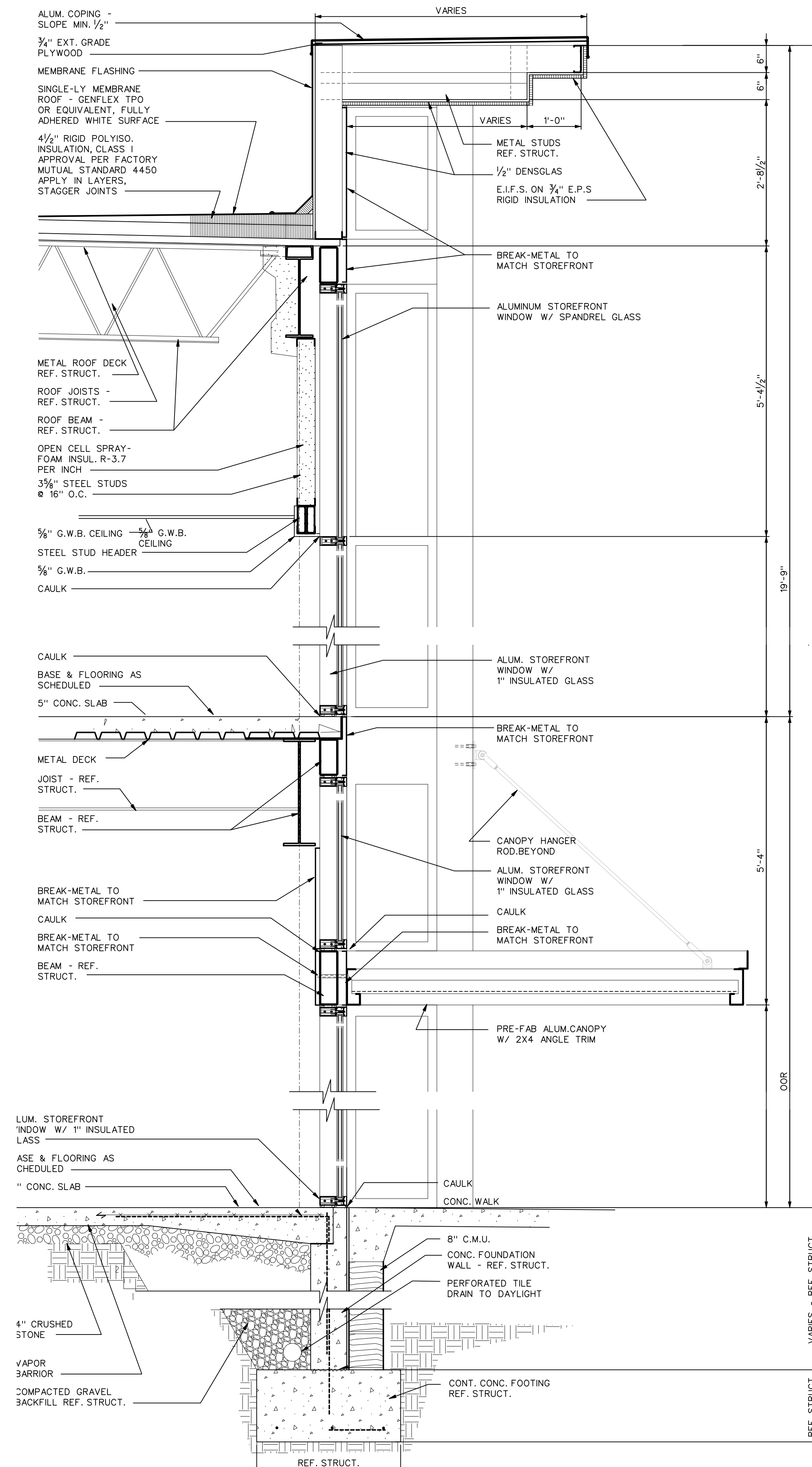
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SECTION @ CORNER ENTRANCE

3/4"=1'-0"


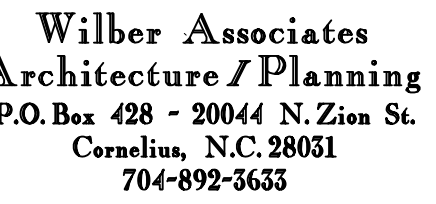
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SECTION @ CORNER ENTRANCE

3/4"=1'-0"

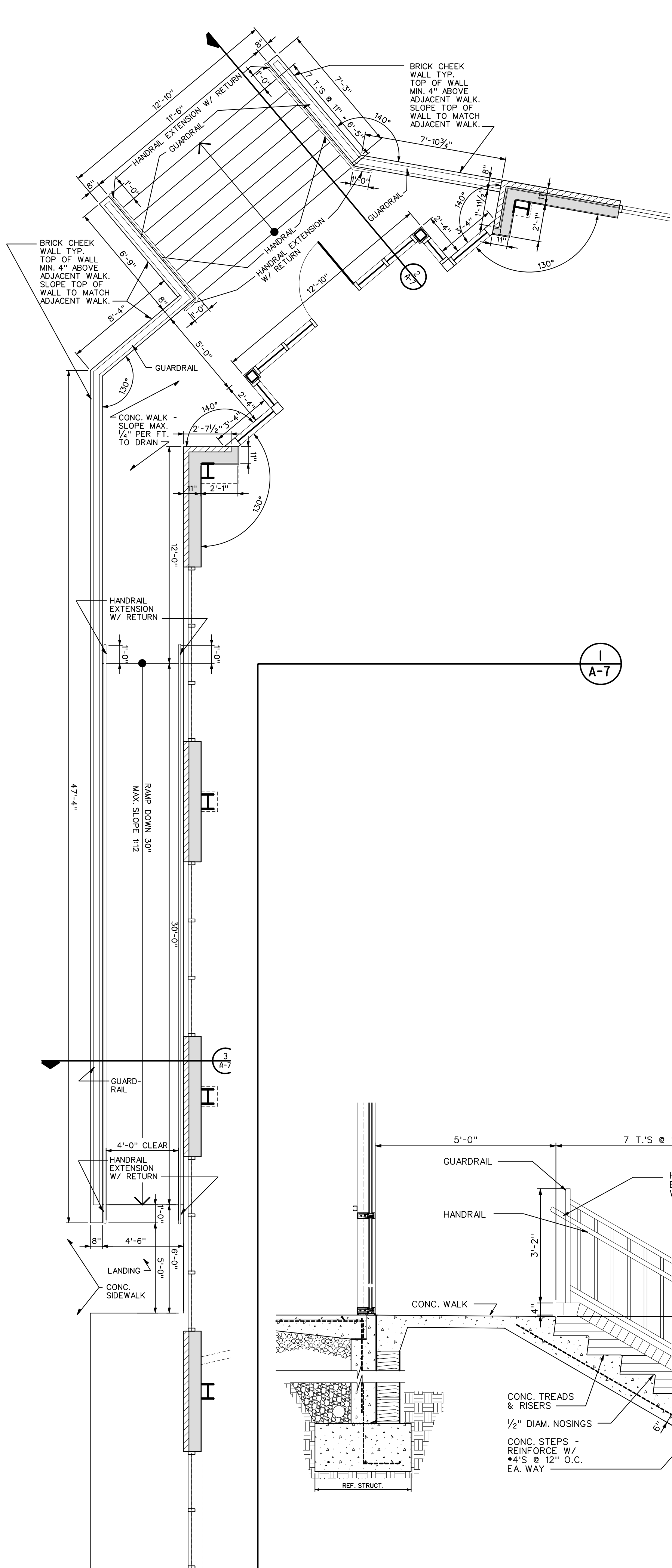
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A-5



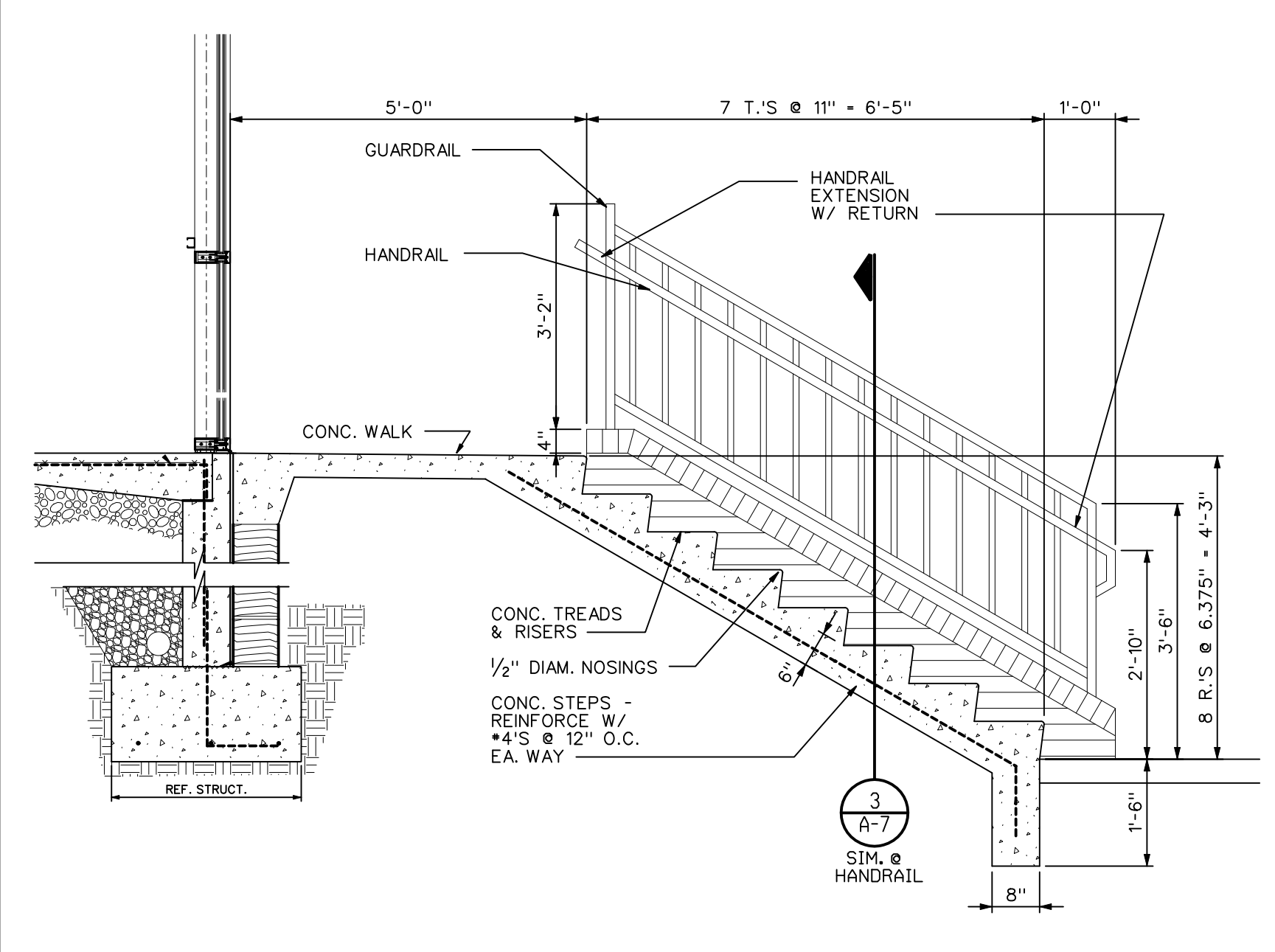
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OF
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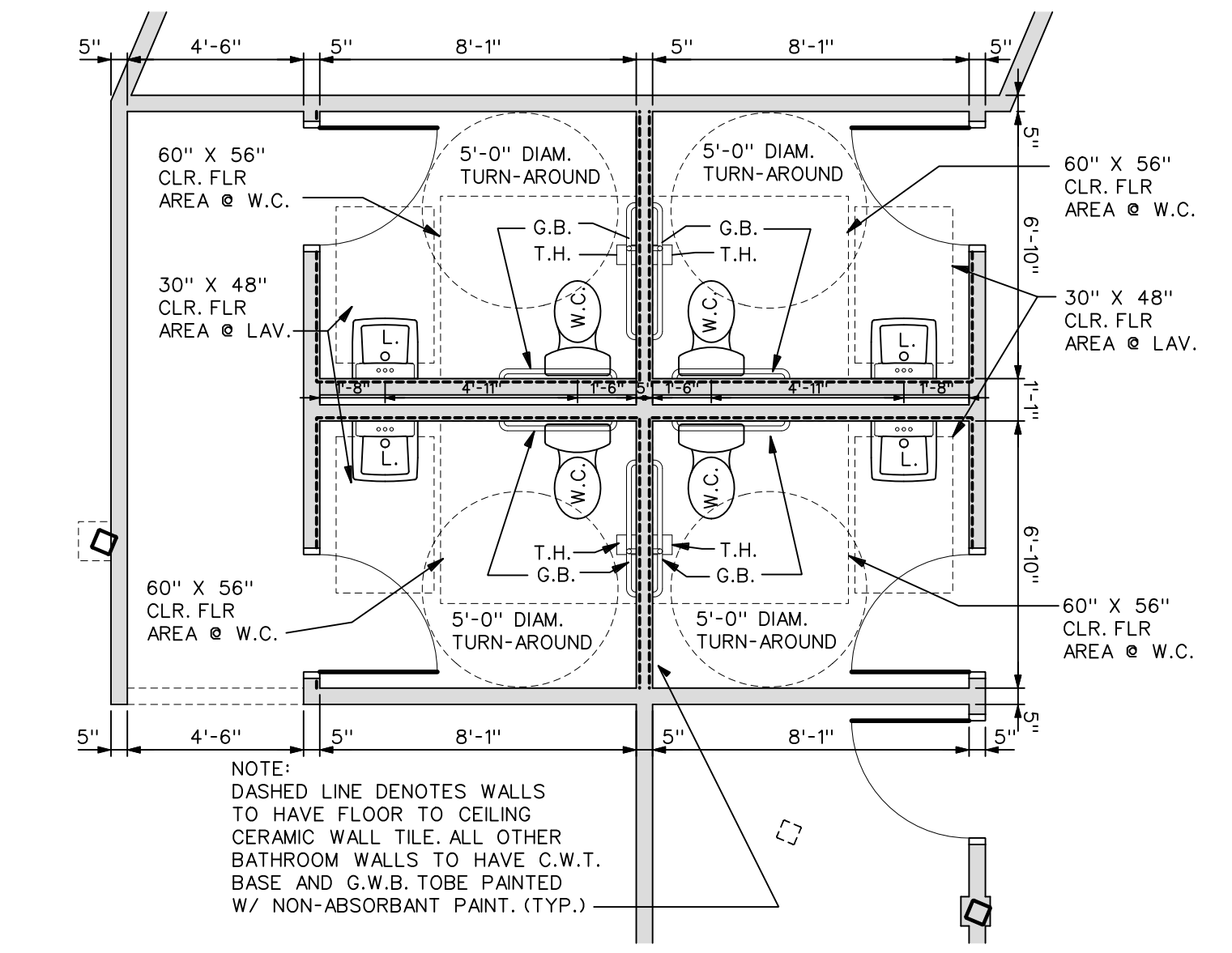
SECTION @ SOUTH STAIR (115)



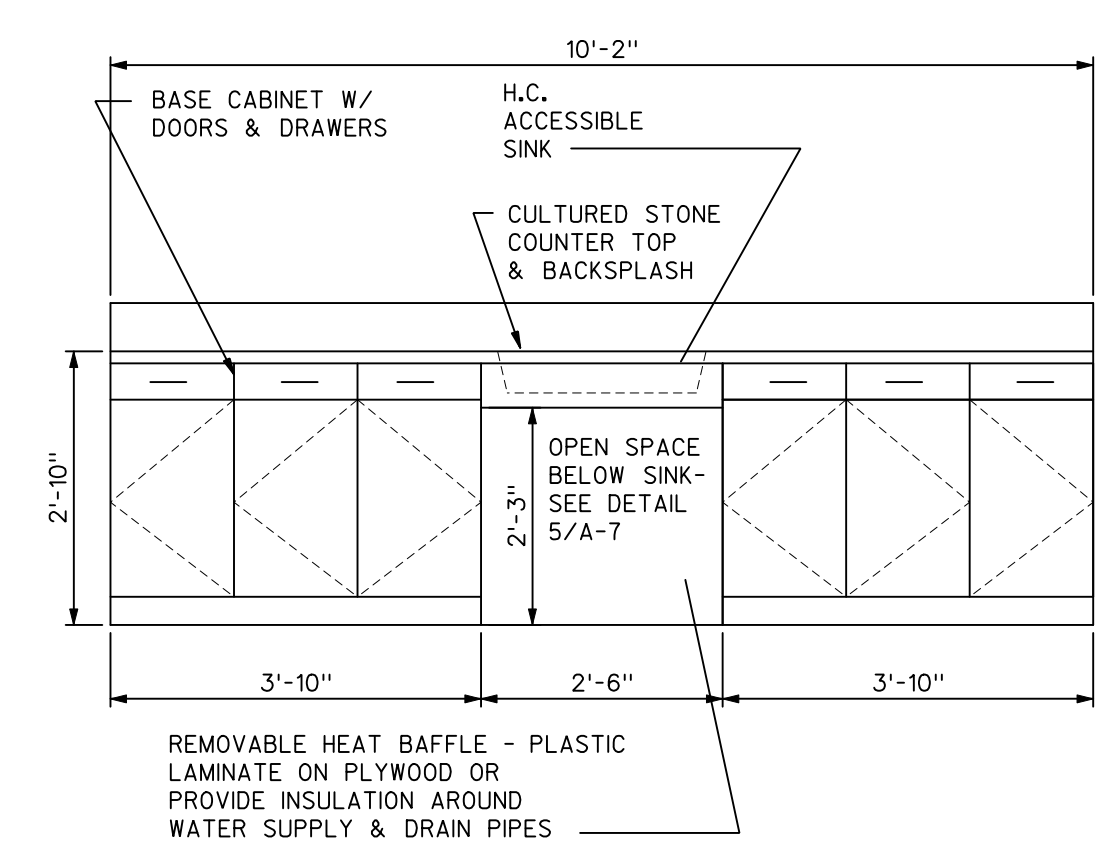
RAMP PLAN
1/4"=1'-0"



SECTION @ H.C. RAMP
1/2"=1'-0"

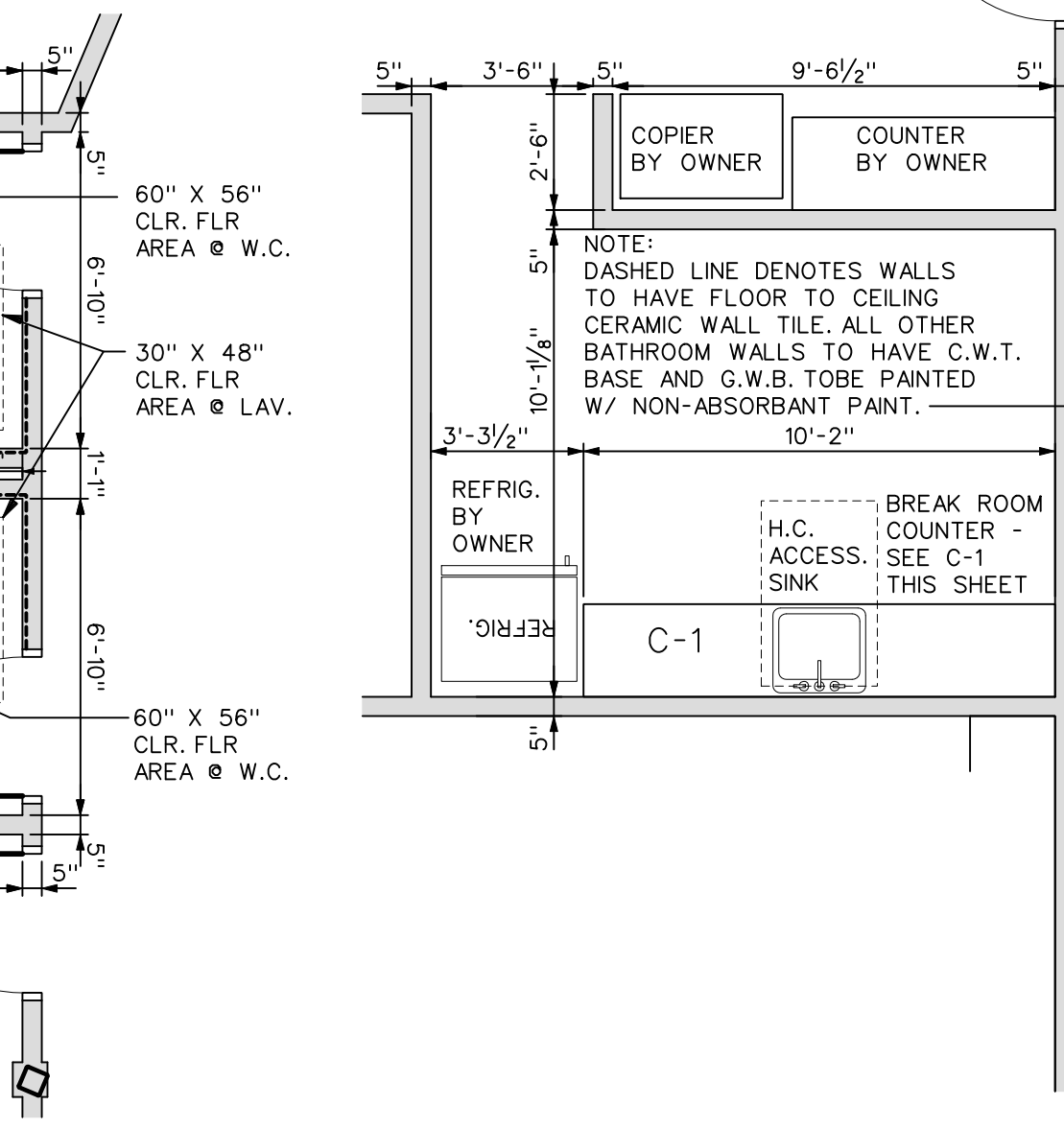


FIRST FLOOR BATHROOM PLANS
1/4"=1'-0"

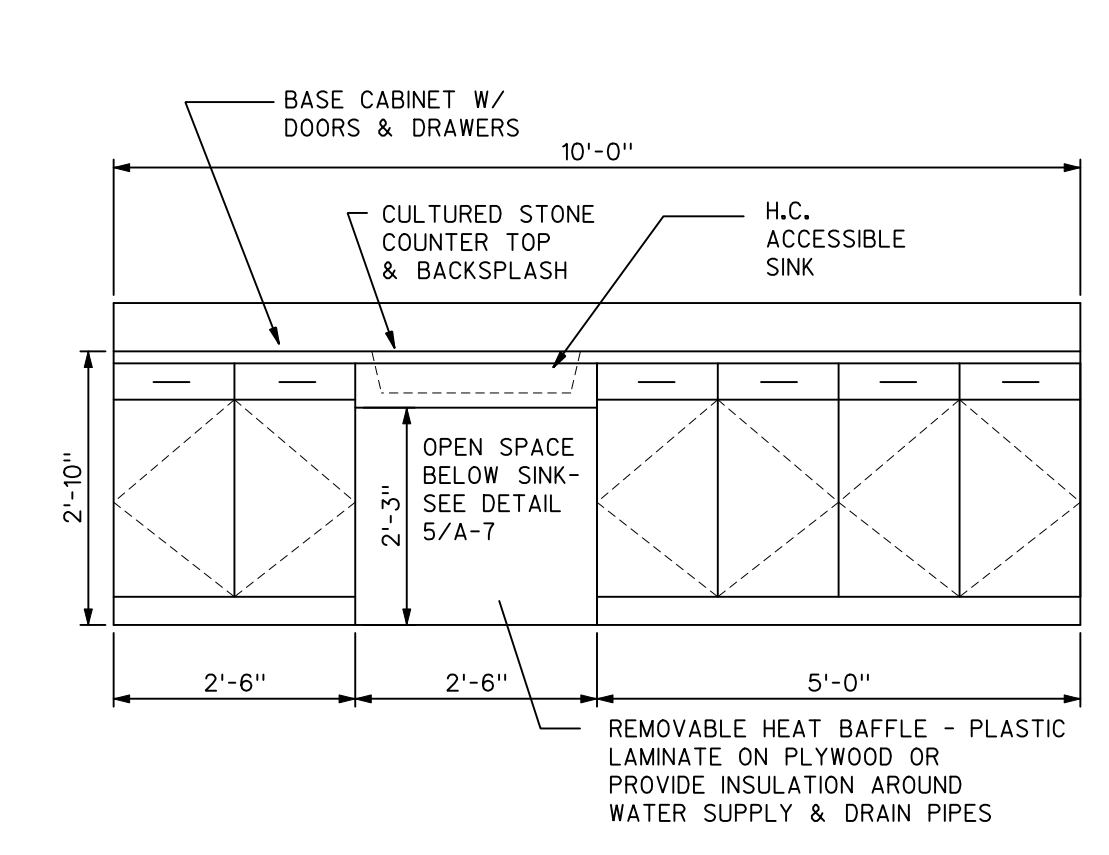


C-1 BREAK ROOM

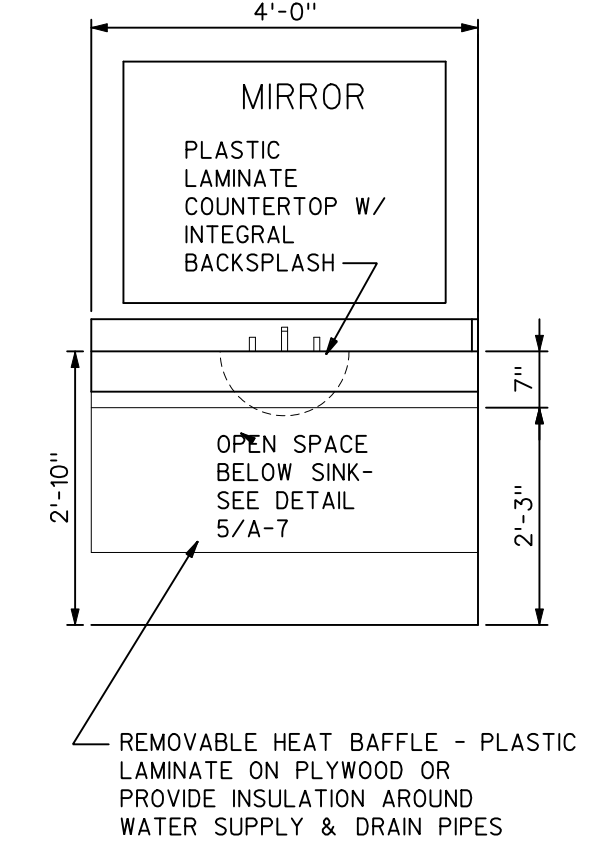
MILLWORK ELEVATIONS
1/2"=1'-0"



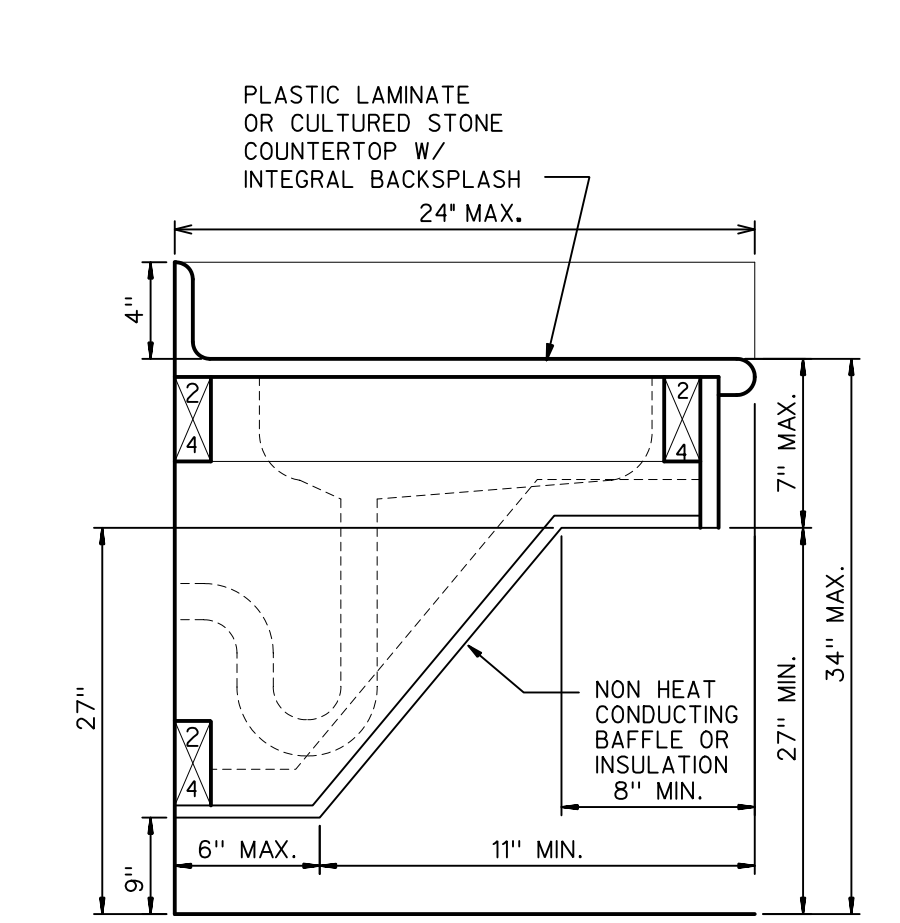
SECOND FLOOR BATHROOM PLAN
1/4"=1'-0"



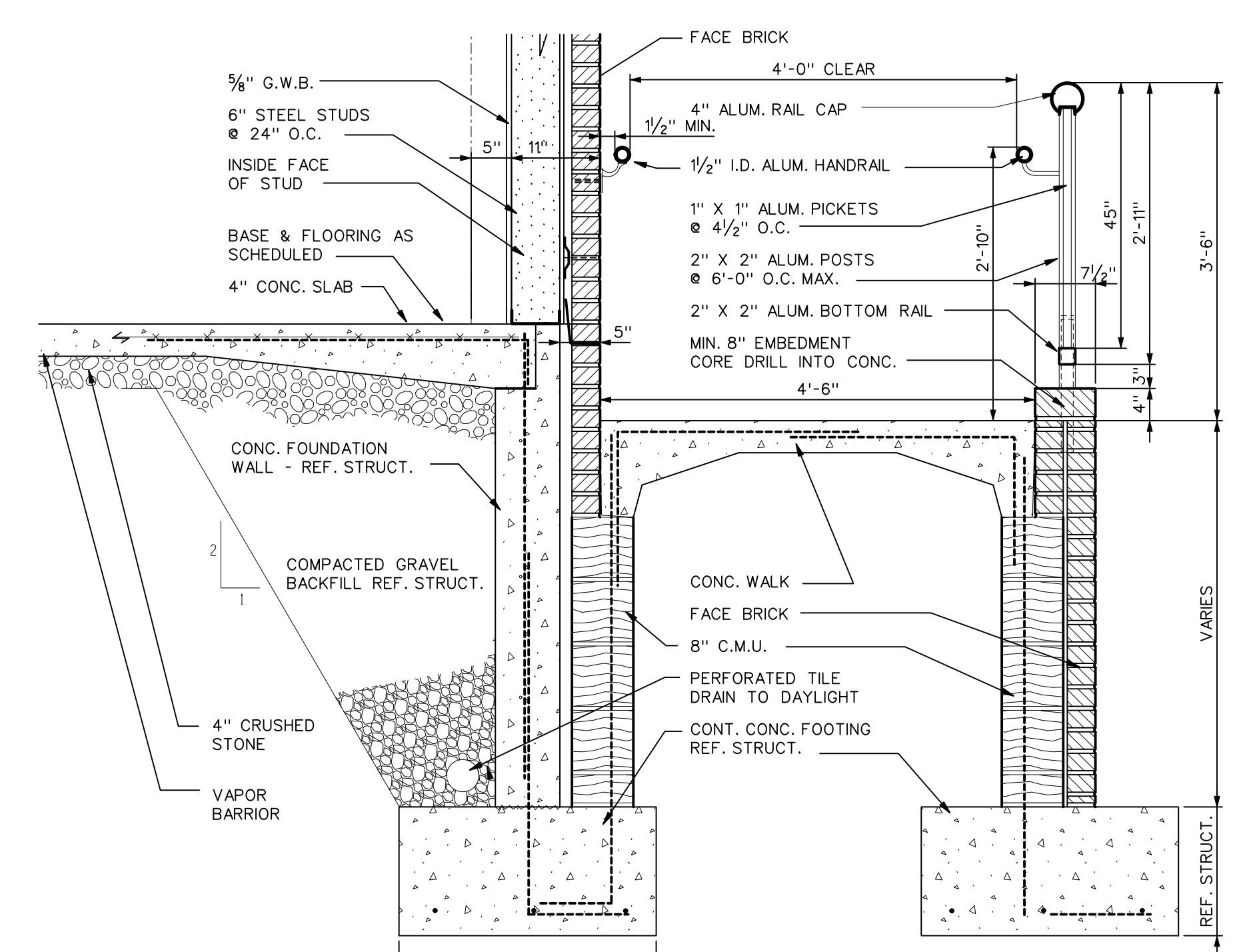
C-2 BREAK ROOM



C-3 VANITY ELEVATION
1/2"=1'-0"



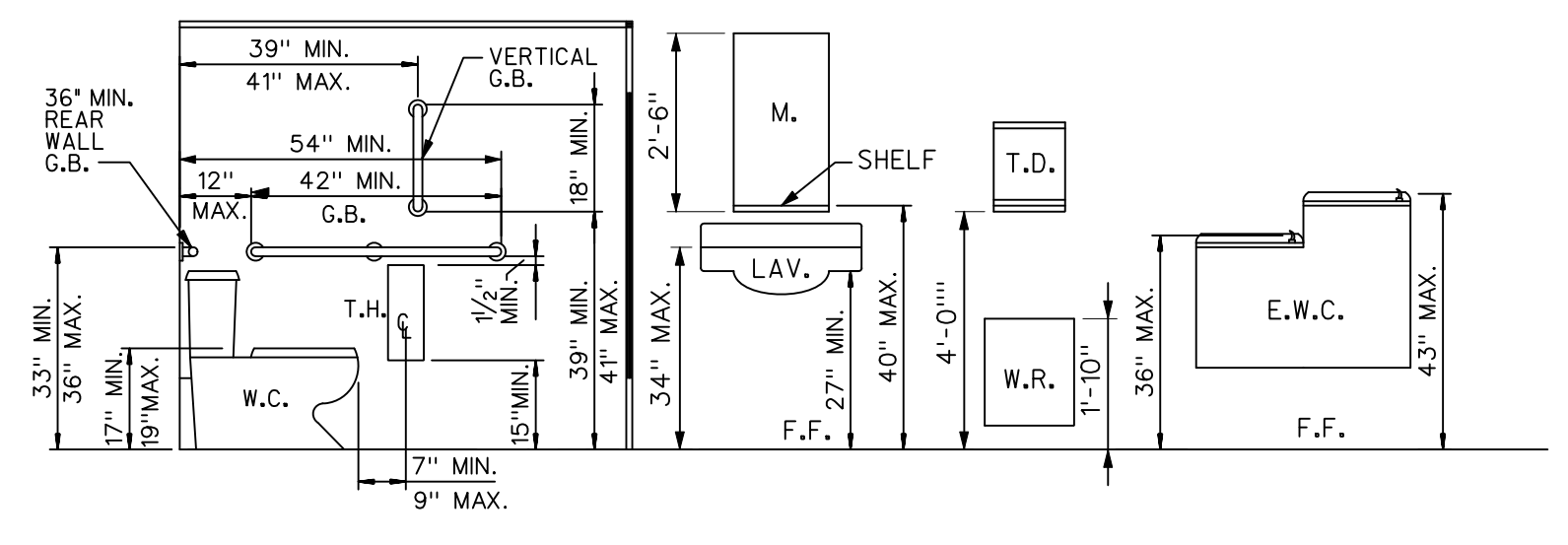
COUNTER SECTION
1/2"=1'-0"



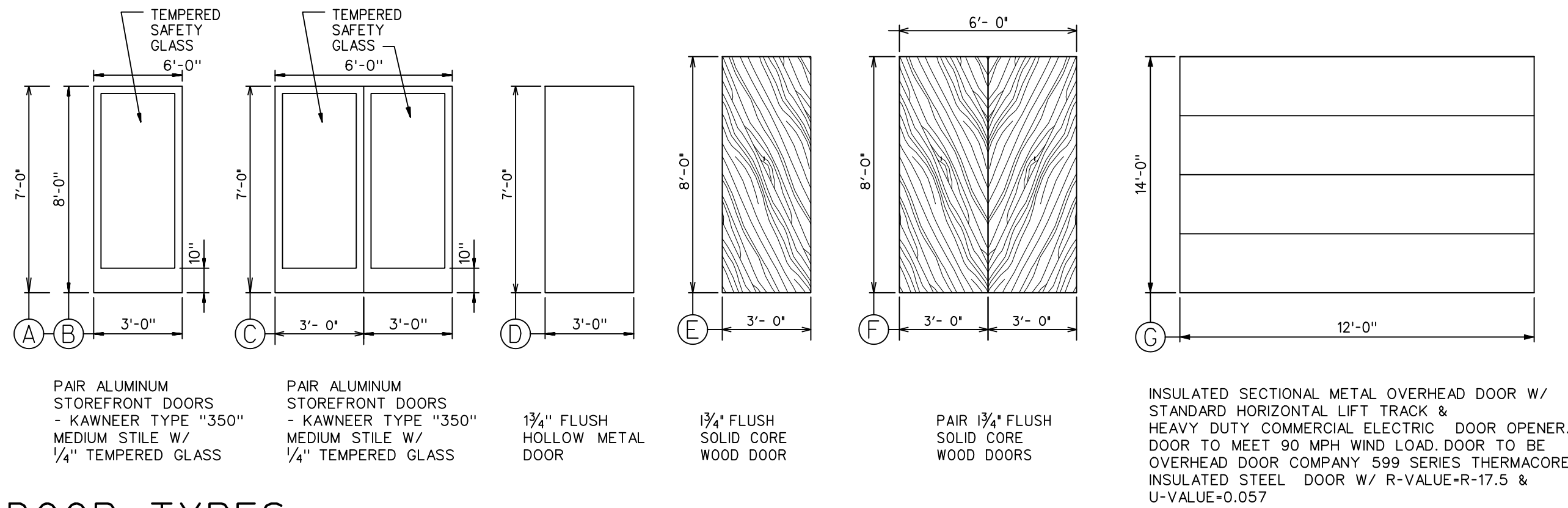
SECTION @ H.C. RAMP
3/4"=1'-0"

- NOTES:
1. LAVATORY RIM SHALL BE 34" MAX. A.F.F.
 2. WATER SUPPLY AND DRAIN LINES SHALL BE COVERED WITH EITHER PIPE INSULATION OR NON-HEAT CONDUCTING BAFFLE W/ TOE AND KNEE CLEARANCES PER ANSI A17.1 SECTION 306
 3. IF A SHELF IS PROVIDED UNDER MIRROR, MIRROR W/ SHELF SHALL BE INSTALLED SUCH THAT BOTTOM EDGE OF REFLECTIVE SURFACE SHALL BE PLACED AT 40" MAX. A.F.F.

FIXTURE LEGEND	
F.D.	FLOOR DRAIN (INSTALLATION ELEV.)
G.B.	GRAB BAR
L.	LAVATORY
M.	MIRROR
M.R.	MOP RECEPTOR (SEE DETAILS)
N.D.	SANITARY NAPKIN DISPENSER
S.N.D.	SANITARY NAPKIN DISPOSAL
T.D.	TOWEL DISPENSER
W.R.	WASTE RECEPTACLE
U.	URINAL
W.C.	WATER CLOSET
T.H.	TISSUE HOLDER
E.W.C.	ELECTRIC WATER COOLER
S.	HAND HELD SHOWER HEAD

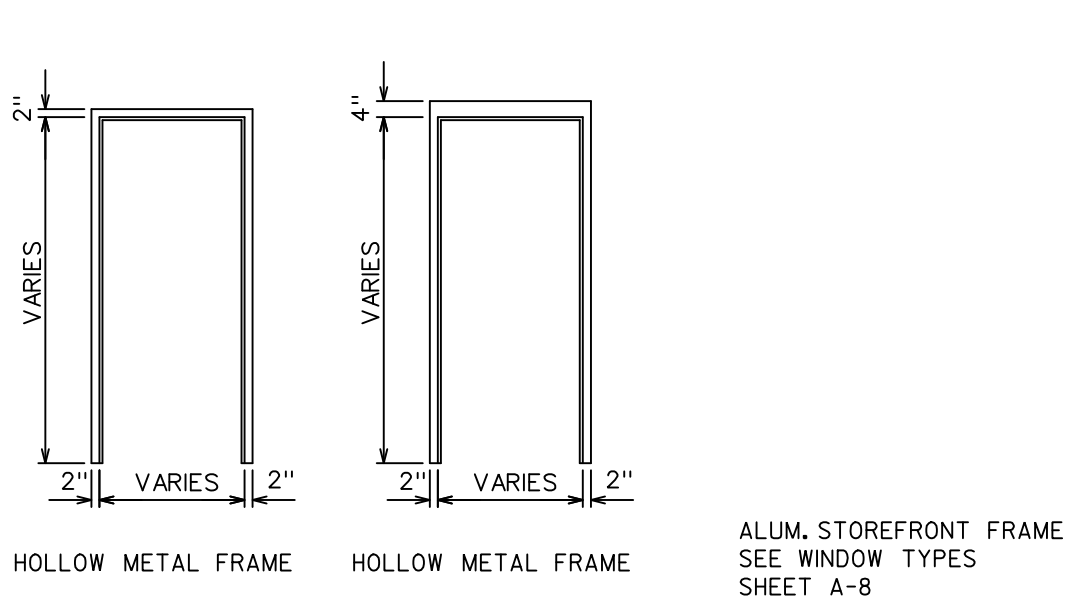


TOILET FIXTURE ELEVATIONS
3/8"=1'-0"



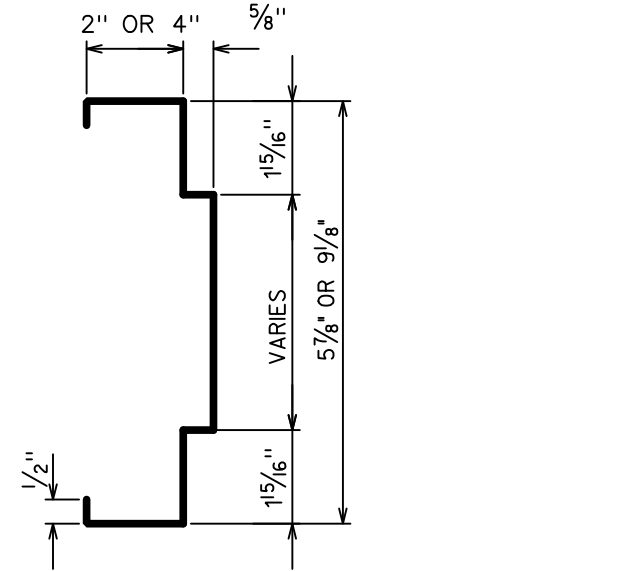
DOOR TYPES

1/4"=1'-0"



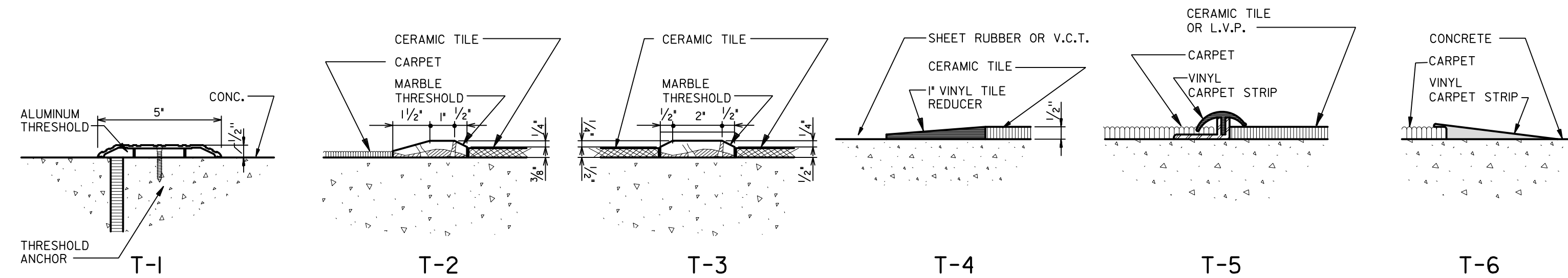
FRAME TYPES

1/4"=1'-0"



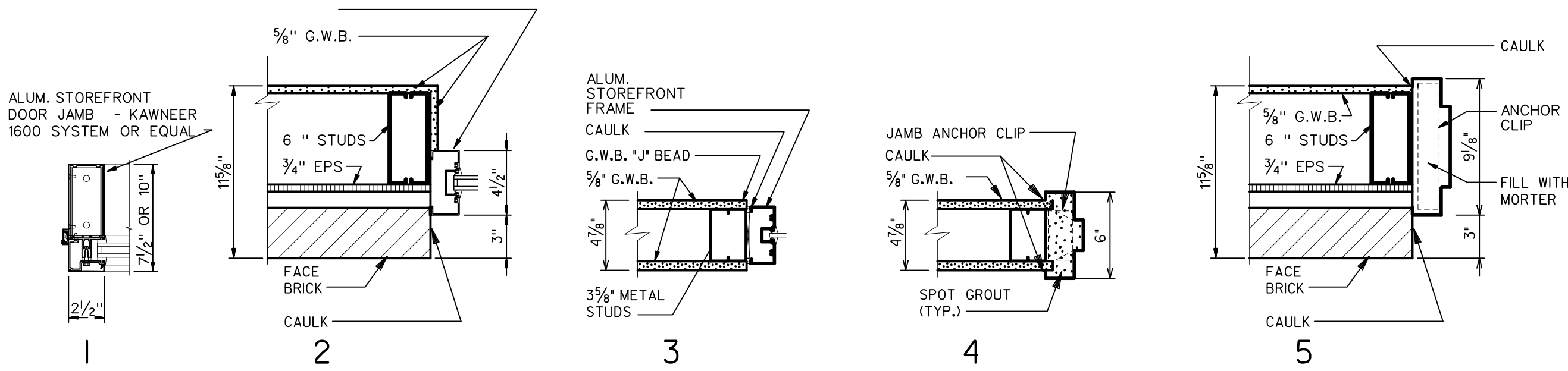
HOLLOW METAL FRAME DIMENSIONS

3"=1'-0"



THRESHOLD TYPES

3" OR 6"=1'-0"



BUCK DETAILS

1/2"=1'-0"

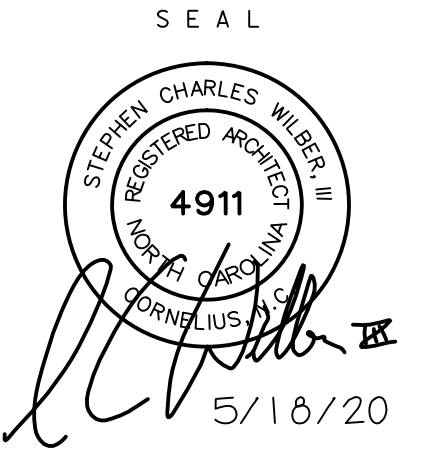
DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	FRAME TYPE	BUCK DETAIL	LINTEL TYPE	THRESHOLD TYPE	LABEL	REMARKS
101	C	SF-D*	2	----	T-1		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "D" SHEET A-8
102	D	F-2	5	L 4' X 4' X 1/4'	T-1		
103	E	F-1	4	----	T-1	1-HR.	
104	B	SF-K*	3	----	----		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "K" SHEET A-8
105	B	SF-L*	3	----	----		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "L" SHEET A-8
106	E	F-1	4	----	T-4		
107	E	F-1	4	----	T-2		
108	E	F-1	4	----	T-2		
109	F	F-1	4	----	----		
110	E	F-1	4	----	T-3		
111	E	F-1	4	----	----		
112	E	F-1	4	----	----		
113	D	F-2	5	L 4' X 4' X 1/4'	T-1		
114	G	----	6	REF. STRUCT.	----		
115	A	SF-C*	2	REF. STRUCT.	T-1		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "C" SHEET A-8
116	D	F-2	5	L 4' X 4' X 1/4'	T-1		
117	A	SF-G*	1	----	T-1		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "G" SHEET A-8
118	E	F-1	4	----	T-2		
119	E	F-1	4	----	T-2		
120	A	SF-B*	2	REF. STRUCT.	T-1		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "B" SHEET A-8
201	E	F-1	4	----	----	1-HR.	
202	E	SF-K*	3	----	T-5		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "K" SHEET A-8
203	E	SF-L*	3	----	T-5		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "L" SHEET A-8
204	E	F-1	4	----	----		
205	E	F-1	4	----	----		
206	E	F-1	4	----	----		
207	E	F-1	4	----	----		
208	E	F-1	4	----	----		
209	E	F-1	4	----	----		
210	E	F-1	4	----	----		
211	E	SF-M*	3	----	----		* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "M" SHEET A-8
212	E	F-1	4	----	----		
213	E	F-1	4	----	T-5		
214	E	F-1	4	----	----		
215	E	F-1	4	----	----		
216	E	F-1	4	----	T-5		
217	E	F-1	4	----	T-3		
218	E	F-1	4	----	T-3		
219	E	F-1	4	----	----	1-HR.	
220	E	F-1	4	----	T-5		
221	F	F-1	4	----	----		
222	E	F-1	4	----	----		
223	E	F-1	4	----	----		
224	E	F-1	4	----	----		
225	E	F-1	4	----	----		
226	E	F-1	4	----	----		
227	E	F-1	4	----	----		
228	E	F-1	4	----	----		
229	E	F-1	4	----	----		
230	E	F-1	4	----	----		

DOOR HARDWARE NOTES

1. CONTRACTOR TO PROVIDE ALLOWANCE FOR DOOR HARDWARE. ALL HARDWARE TO CONFORM TO APPLICABLE CODES. EGRESS DOOR HARDWARE TO CONFORM TO SECTIONS 1003.3.1.2 & 1003.3.1.8, N.C. BUILDING CODE. ALL LATCHSETS & LOCKSETS TO BE LEVER HANDLE TYPE.

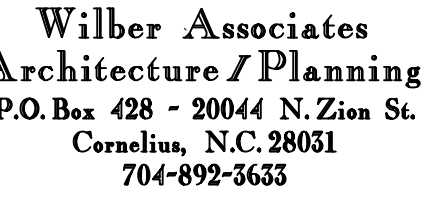
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TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO. 1948
DATE 5/18/20
REVISIONS

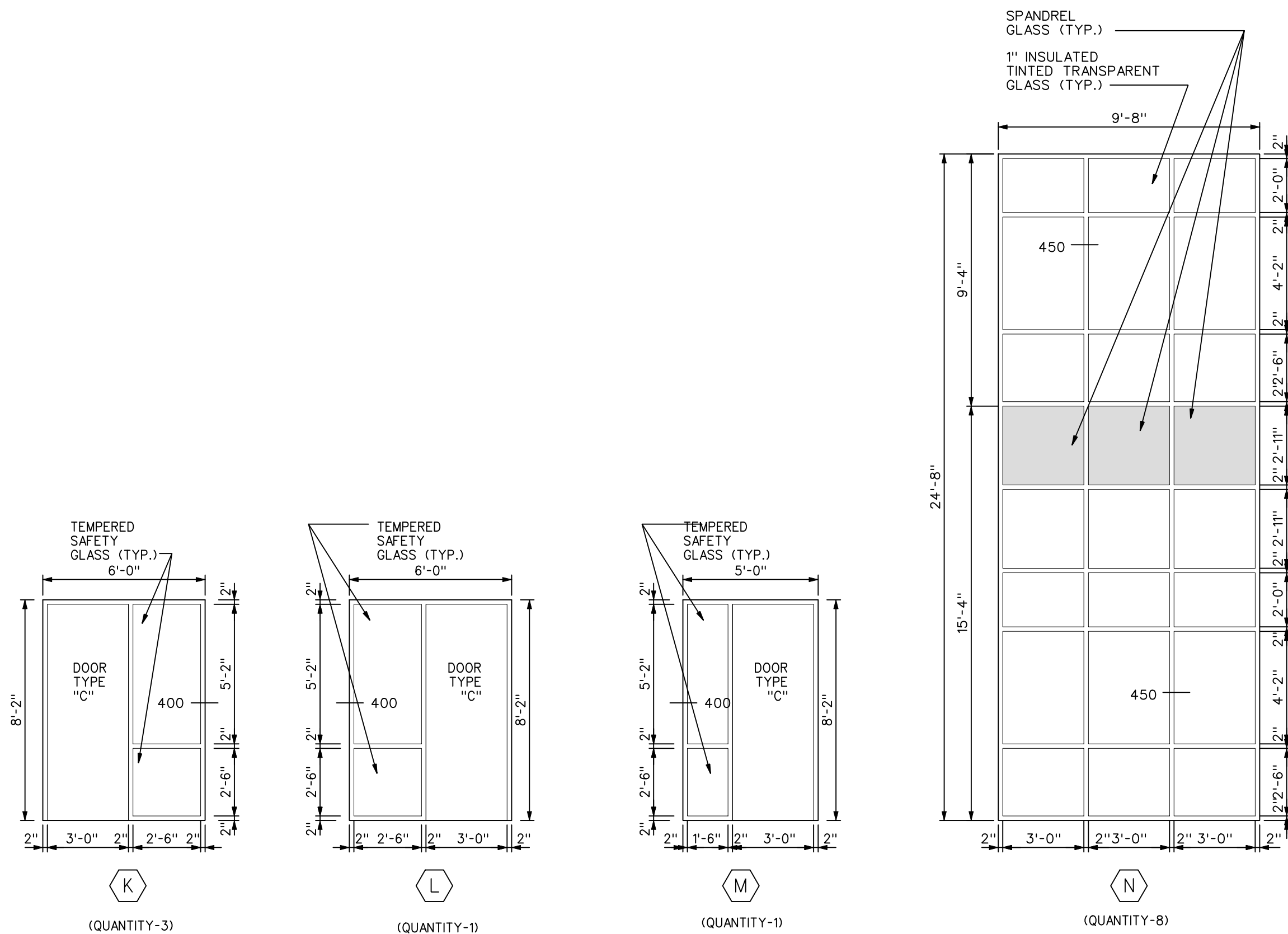


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STEPHEN CHARLES WILBER, III
REGISTERED ARCHITECT
4911
NORTH CAROLINA
CORNELIUS J. SMITH
5/18/20

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

SHEET
A-9
OF
12



Technical drawing of a 2x4x8 inch box. The drawing shows a cross-section of the box with dimensions 4 1/2 inch and 2 inch.

Technical drawing of a door lock assembly. The drawing shows a side view of the lock mechanism mounted on a door. The overall width is labeled as 6" and the depth is labeled as 2". The drawing includes labels for the door lock (DLO) and the door (DO).

KAWNEER 1600 SYSTEM
ALUMINUM STOREFRONT
CURTAIN WALL FRAMING
W/ 1" INSULATED GLASS
1600

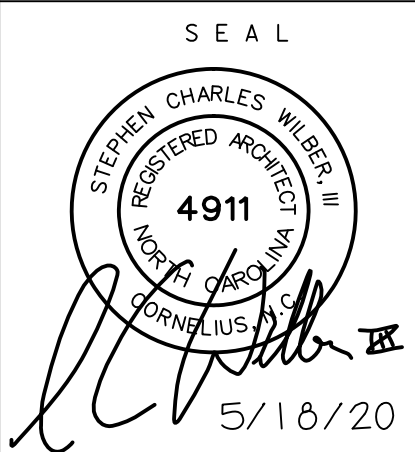
STOREFRONT WINDOW TYPES

$$1/4'' = 1' - 0''$$

STOREFRONT TYPES

$$3'' = 1' - 0''$$

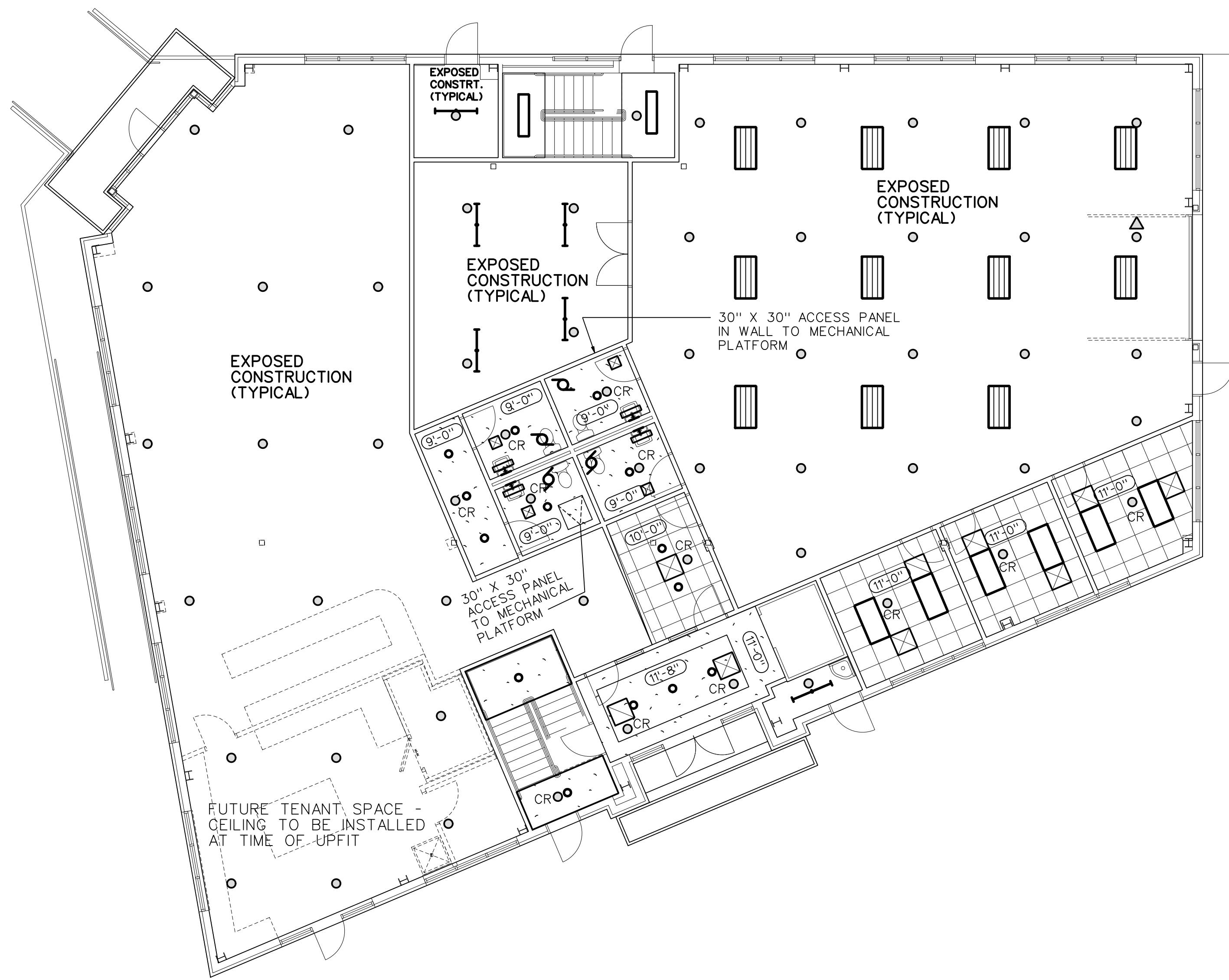
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TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19354 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO.	1948
DATE	5/18/20
REVISIONS	
SHEET	A-10
OF	12



REFLECTED CEILING
PLAN LEGEND

2 X 2 EXPOSED GRID
LAY-IN ACOUSTICAL TILE
CEILING - REGULAR EDGE
TILE

G.W.B. CEILING

EXPOSED
CONSTRUCTION
(TYPICAL)

NO CEILING -
EXPOSED CONSTRUCTION

SUSPENDED HIGH BAY
LED LIGHT FIXTURE

2 X 4 LAY-IN LED
LIGHT FIXTURE

PENDANT MOUNTED
LED STRIP LIGHT FIXTURE

SURFACE MOUNTED
LED LIGHT FIXTURE

WALL MOUNTED VANITY
LIGHT FIXTURE

EXHAUST FAN

CEILING HEIGHT (ALL CEILINGS ARE
10'-0" UNLESS OTHERWISE NOTED)

CEILING SPLY AIR DIFFUSER
(TYP.) SEE MECH. FOR SIZE

CEILING RETURN AIR GRILLE
(TYP.) SEE MECH. FOR SIZE

HVAC SUPPLY/RETURN
SEE MECH. FOR SIZE

RECESSED LED
LIGHT FIXTURE

SPRINKLER HEAD
TYP SPRINKLER HEAD IN SPACES
WITHOUT FINISHED CEILINGS ARE
TO BE BRASS UPRIGHT STANDARD
RESPONSE HEADS.

IN SPACES WITH A FINISHED CEILING,
HEADS MARKED "CR" ARE TO BE
CHROME RECESSED QUICK
RESPONSE HEADS.

STANDARD RESPONSE BRASS
HORIZONTAL SIDEWALL SPRINKLER
HEAD PROTECTING BELOW
OVERHEAD DOOR

FIRST FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"



SECOND FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"

REFLECTED CEILING
PLAN LEGEND

2 X 2 EXPOSED GRID
LAY-IN ACOUSTICAL TILE
CEILING - REGULAR EDGE
TILE

G.W.B. CEILING

EXPOSED
CONSTRUCTION
(TYPICAL)

NO CEILING -
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SUSPENDED HIGH BAY
LED LIGHT FIXTURE

2 X 4 LAY-IN LED
LIGHT FIXTURE

PENDANT MOUNTED
LED STRIP LIGHT FIXTURE

SURFACE MOUNTED
LED LIGHT FIXTURE

WALL MOUNTED VANITY
LIGHT FIXTURE

EXHAUST FAN

CEILING HEIGHT (ALL CEILINGS ARE
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CEILING SPLY AIR DIFFUSER
(TYP.) SEE MECH. FOR SIZE

CEILING RETURN AIR GRILLE
(TYP.) SEE MECH. FOR SIZE

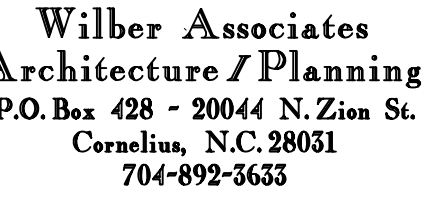
HVAC SUPPLY/RETURN
SEE MECH. FOR SIZE

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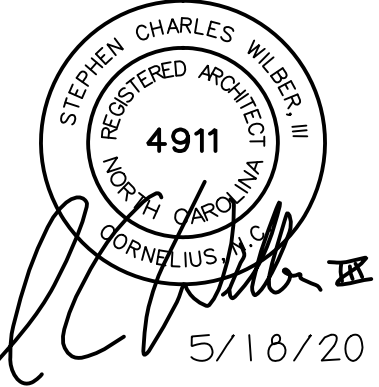
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HORIZONTAL SIDEWALL SPRINKLER
HEAD PROTECTING BELOW
OVERHEAD DOOR



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E A L



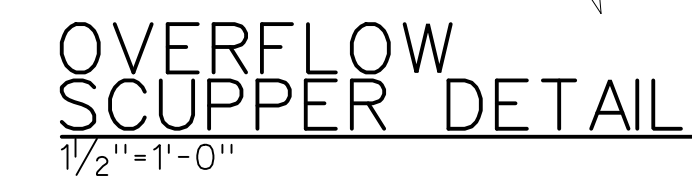
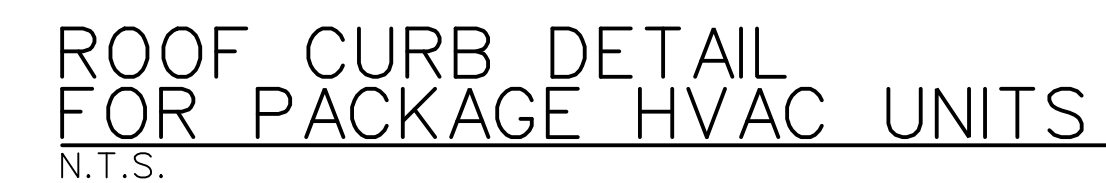
TITLE

PROPOSED NEW BUILDING FOR
WATERMARK OFFICE BUILDING
19654 WATERMARK DR.
CORNELIUS, NORTH CAROLINA

COMM. NO.	1948
DATE	5/18/20
REVISIONS	

SHEET

A-12
OF
12


$$\frac{3}{8}'' = 1' - 0''$$

$$1\frac{1}{2}'' = 1' - 0''$$


N.T.S.

REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: June 26, 2020

To: Architectural Review Board

From: Aaron Tucker,
Planning Director



Action Requested:

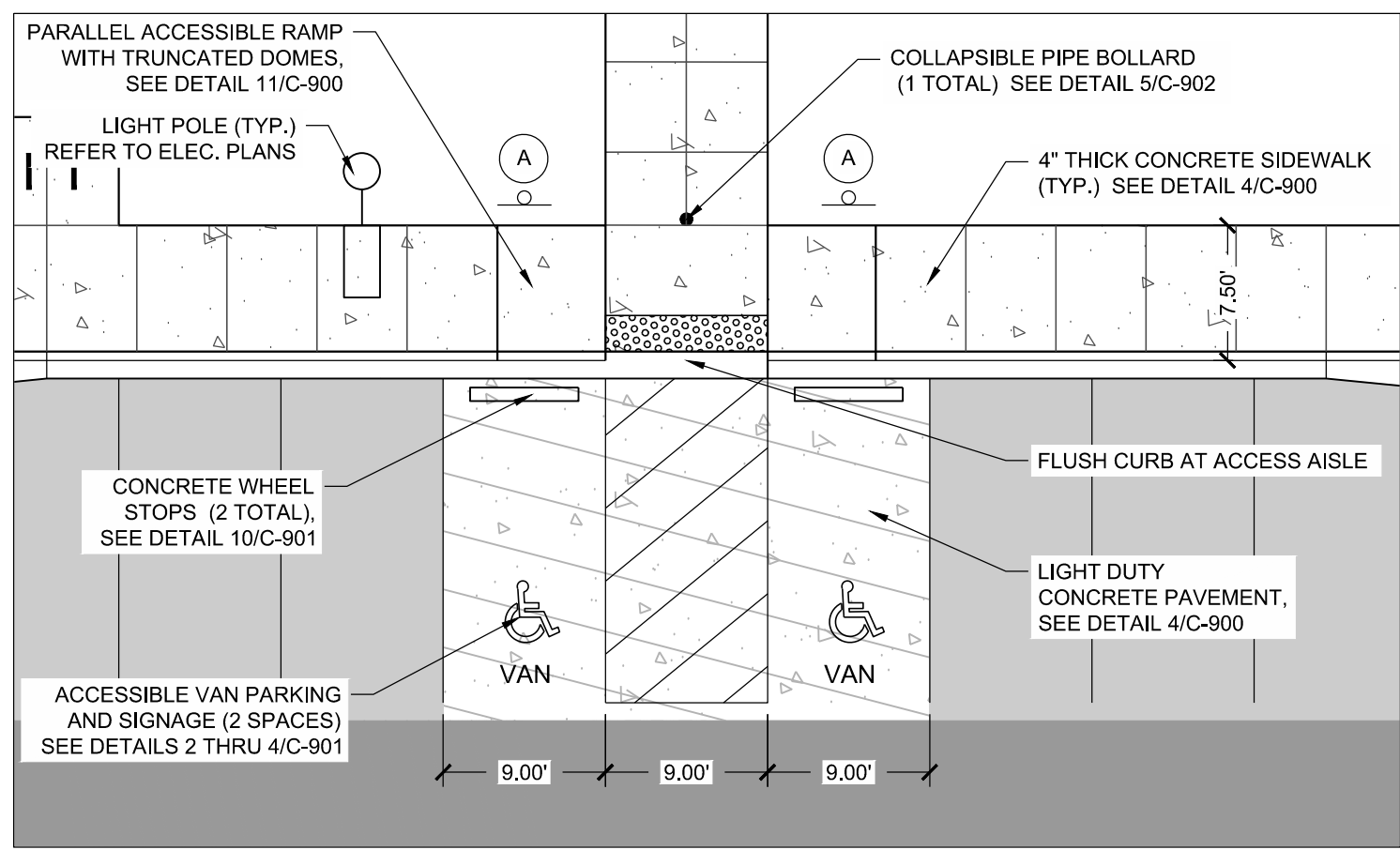
The Northern Regional Recreation Center is currently under construction. The County is proposing a mural on the facade facing the parking lot to the north. A conceptual drawing of the mural is included in your packet as well as a rendering showing how it would be seen on the parking lot wall.

Manager's Recommendation:

Review and provide feedback on the proposed mural.

ATTACHMENTS:

Name:	Description:	Type:
 5.pdf	Site Plan	Cover Memo
 Mecklenburg County NRRC Schematic Design Brief Godlewskamin.pdf	Proposed Mural	Cover Memo

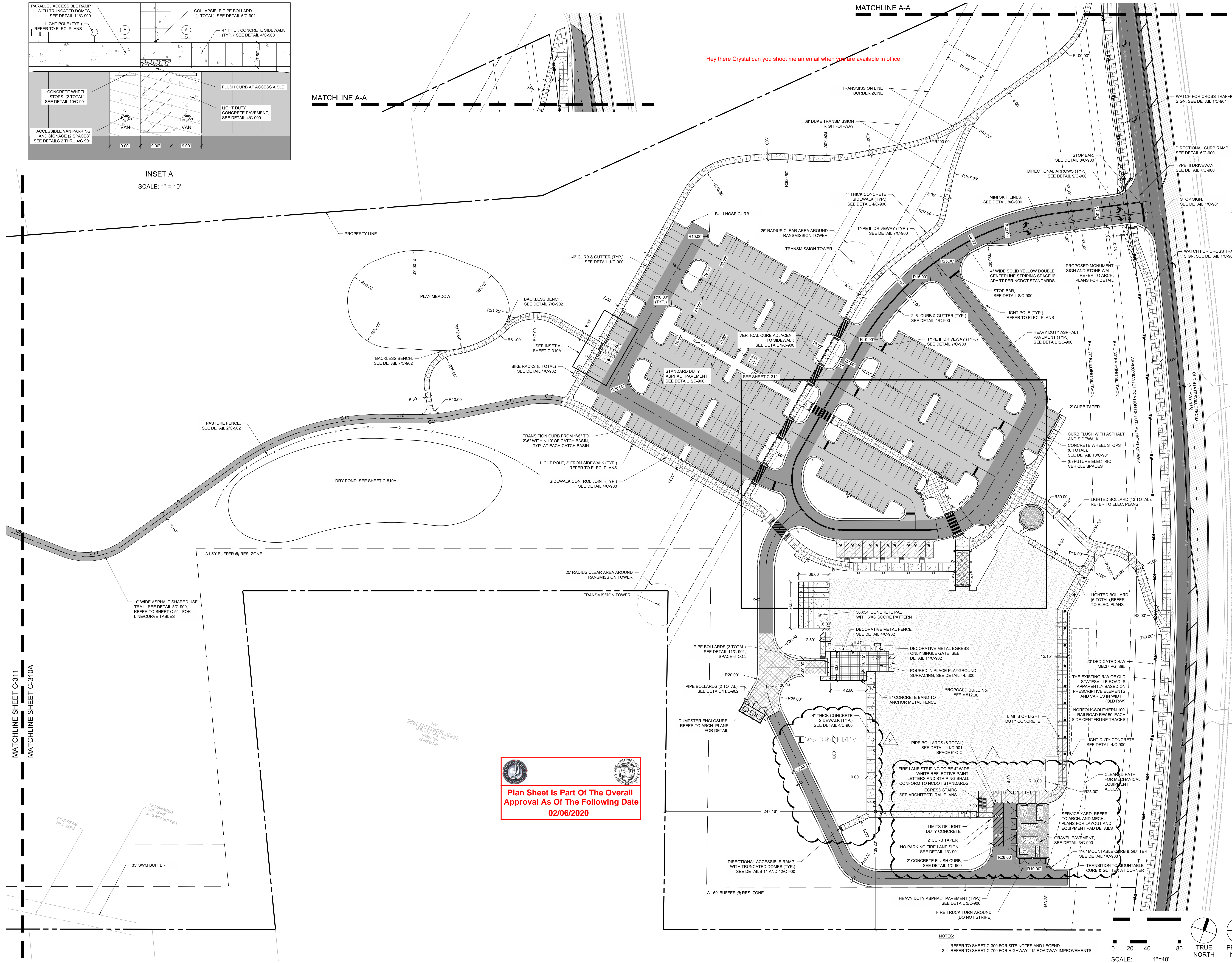


INSET A
SCALE: 1" = 10'

MATCHLINE A-A

MATCHLINE A-A

Hey there Crystal can you shoot me an email when you are available in office



Plan Sheet Is Part Of The Overall
Approval As Of The Following Date
02/06/2020

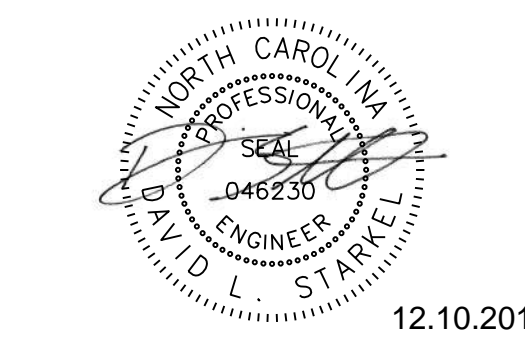


NORTHERN
REGIONAL
RECREATION
CENTER

STEWART
101 N. TRYON ST., #1400 FIRM LICENSE #: C-1051
CHARLOTTE, NC 28202 www.stewartinc.com
T 704.334.7925 PROJECT #: X17043

LS3P

227 WEST TRADE STREET SUITE 700
CHARLOTTE, NORTH CAROLINA 28202
TEL. 704.333.6686 FAX 704.333.2926
WWW.LS3P.COM



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FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
1	PERMIT COMMENTS	11.05.2019
2	ADDENDUM NO. 4	12.10.2019

PROJECT: 9600-175420
DATE: 10/03/2019
DRAWN BY: KB
CHECKED BY: DS

ENLARGED SITE
PLAN - EAST
(BASE BID)

C-310A

FOR CONSTRUCTION ONLY

North County Regional Recreation Center – Mural

Mecklenburg County

Concept Design

Artist: Maja Godlewska

Budget: \$70,119

Completion Date: Spring 2021

Previous PAC Approval:

Concept Design approved February 26, 2020.



Culture For All.

PAC Meeting on
05/27/2020

SCHEMATIC DESIGN CRITERIA

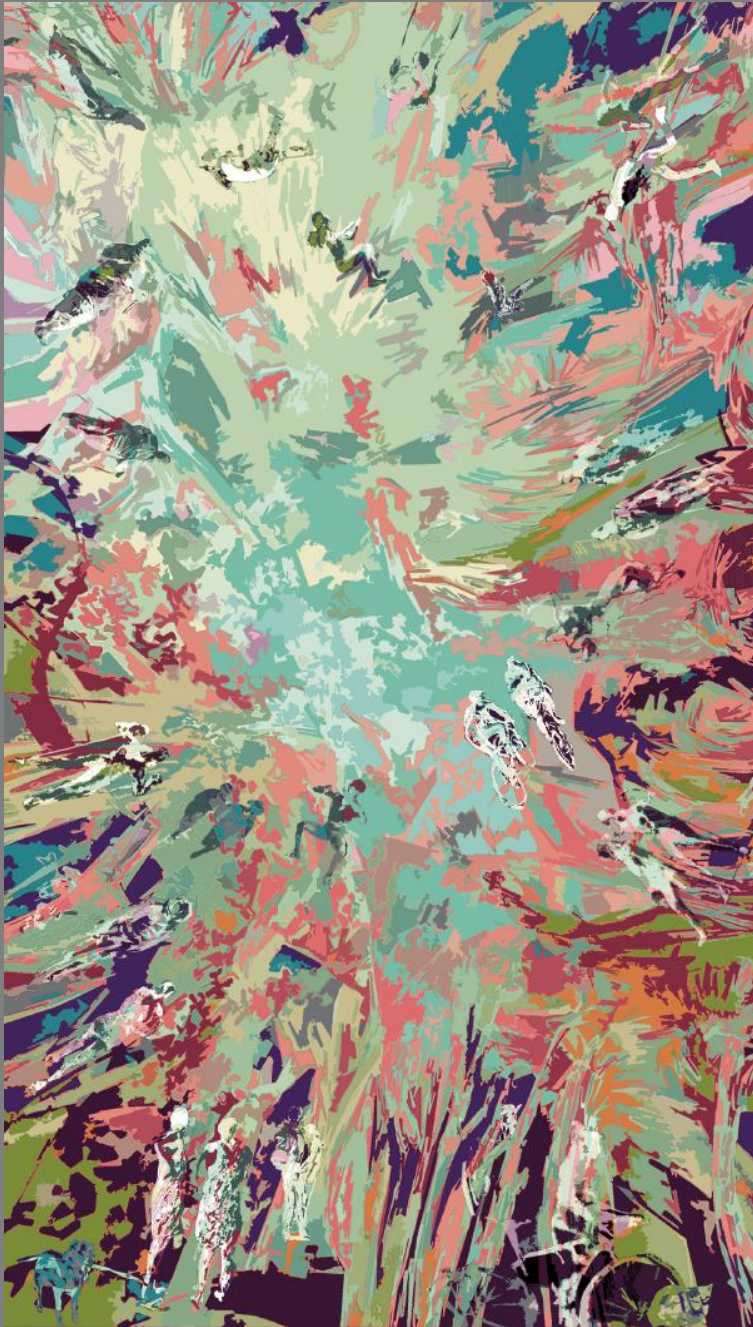
X	Budget
X	Schedule, including installation
X	Updated renderings based on community, PAC, and project team feedback
X	Materials, dimensions, weight, and finish
X	List of subcontractors
X	Installation Method, including equipment
X	Preliminary Maintenance



Maja Godlewska

Mural

Schematic Design for
Northern Regional Recreation
Center



After the Community Engagement Event, which included a short workshop, I further refined the design, mostly by including more figures (now there are 27 more or less visible figures in the mural, including 4 animals). I also slightly altered the color palette. My initial goals have not changed, and these were to evoke feelings that we associate with recreation and well-being, those positive feelings you get when you:

- are surrounded by enchanting nature
- play a game with friends
- have a sense of belonging, are part of a community
- learn something new
- go for a swim, a bike ride, a dance class
- spot a rare bird
- take a walk in the park in a morning dew
- work in a garden tending to living things
- observe a sunset

I think that recreation is about:

- being in a moment
- being relaxed and happy
- a sense of wonder and discovery
- joy and awe
- rebuilding internal balance

CONCEPT

Proposed colors combine warm and cool hues, to evoke positive emotions, playfulness.

I included areas of higher intensity, cheerful and “happy”, counterbalanced with neutral sections to provide the rest for the eye. Abstracted figures are engaged in activities broadly associated with recreation and leisure; they are partially visible, partially blended with the background to create a sense of belonging and interplay. My intention is for the viewer to discover them gradually. Shades of warm reddish or orangey brown will appear in some areas to tie the mural to the surrounding brick. Greenish and turquoise-bluish hues will complement the brick color.

Overall, through the use of form and color, I will strive to evoke a sense of cohesion, of an activity, of a space that invites us to enter and examine further. Directional, diagonal compositional elements are based on natural forms, on vegetation, and on the idea that we are looking up to the sky. They are also aimed at creating a sense of movement and activity, and are in conversation with the light design on the adjacent silo-like structure.

NIGHT LIGHTING

Lighting system will consist of three sconces installed above the mural, shooting downwards to provide night visibility of the mural without light spills, part of the construction budget.

Mural Materials:

Exterior acrylic latex Sherwin Williams Resilience or Superpaint (used by muralists for their durability and lightfastness) and/or Benjamin Moore Aura (depending on a color palette), Montana Gold Spray Paint, Sherwin Williams Primer

Subcontractors:

Holly Keogh
Blaine Hurdle
Michael Haag (potential)
Marek Ranis

Equipment:

Articulation boom lift(s)
Air compressor/painting gun, power wash

Installation Method:

The image will be transferred onto the wall with the projector and hand painted with brushes, rollers and sprays on primed brick wall (priming with painting gun)

Maintenance:

Trimming the bushes underneath the mural to ensure its visibility, maintaining the lights.



*Glissando, 12'x18',
NASCAR Plaza,
Charlotte, NC, 2009*

BUDGET

Artist Design and Project Management Fee	10,500.00
Production Onsite:	
Paints, sprays, primer and other miscellaneous materials (ie. tape, masking tape, tarp, plastic sheeting, rags, containers)	6,400.00
Tools (brushes, rollers etc.)	2,700.00
Painting the mural, including priming the wall, design transfer	21,200.00
Site preparation, daily onsite prep and cleanup, final cleanup	2,800.00
Daily onsite production supervision and logistics, including commute to the site	1,900.00
Equipment rental (including projector, lifts, certificates, air compressor, paint gun, power wash) and transportation to the site	5,500.00
Personal Protective Equipment and cleaning supplies	1,200.00
Professional Photo/Video documentation (including drone footage)	1,400.00
Pre-Production and Studio-Based Work:	
Project research and development, professional consultations, community workshop preparation, site visits	1,500.00
Preparation of final design and ready for the transfer detailed drawings and layouts, indexing colors, color swatches, large-scale printouts with grid	1,400.00
Materials and tools used in the design phase and material tests	1,000.00
Art/Design studio expenses	1,900.00
Insurance	3,600.00
Contingency	7,119.00

Total:	70, 119.00

LOCATION

The mural will be seated at the wall facing the parking lot.



The mural will be visible on approach to the facility, from the parking lot and from the adjacent sidewalk.

NIGHT VISIBILITY

Lighting system will consist of three sconces installed above the mural, shooting downwards to provide night visibility of the mural without light spills, part of the construction budget.

Mural, 29'4"x16'8"



REQUEST FOR BOARD ACTION

 [Print](#)

Date of Meeting: June 26, 2020

To: Architectural Review Board
From: Aaron Tucker,
Planning Director




Action Requested:

Boatyard Eats is looking to paint a mural on the south facade of the building (facing Westmoreland Road). There are two artists renderings of the proposed mural included in your packet.

Manager's Recommendation:

Review and provide feedback on the proposed mural.

ATTACHMENTS:

Name:	Description:	Type:
 Site_Plan_only_Boatyard_Eats_REZ_(2.23.17).pdf	Site Plan	Cover Memo
 BYE_Background.JPG	Mural Example 1	Cover Memo
 Untitled_Artwork.JPG	Mural Example 2	Cover Memo

Lot or Parking Area	ACCESSIBLE PARKING (FROM APPENDIX B)		# of Accessible Spaces Provided		Total = Accessible Provided
	Required	Provided	Regular with 5' Access Aisle	Regular with 8' Access Aisle	
Microbrewery & Restaurant/ Brewpub	59	60	0	1	3

- a. Required number of parking spaces based on Cornelius Land Development Code.
b. MINIMUM (1 space per 3 seats) (175 seats)(3) = 59 parking spaces required.
c. Required number of accessible spaces based on City of Charlotte Land Development Standards Manual Detail #50.10A.
d. 51-75 parking spaces requires 3 accessible spaces with 1 of the 3 being van accessible.

PRE-CONSTRUCTION NOTES:

1. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
2. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
3. SURVEYOR TO VERIFY RIGHT-OF-WAY LOCATION PRIOR TO CONSTRUCTION. ALL PROPOSED IMPROVEMENTS AND CONSTRUCTION WITHIN A MAINTAINED RIGHT-OF-WAY IS DONE IN ACCORDANCE WITH MECKLENBURG COUNTY DEVELOPMENT STANDARDS.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL

CENTER AT 811.

IT'S THE LAW.



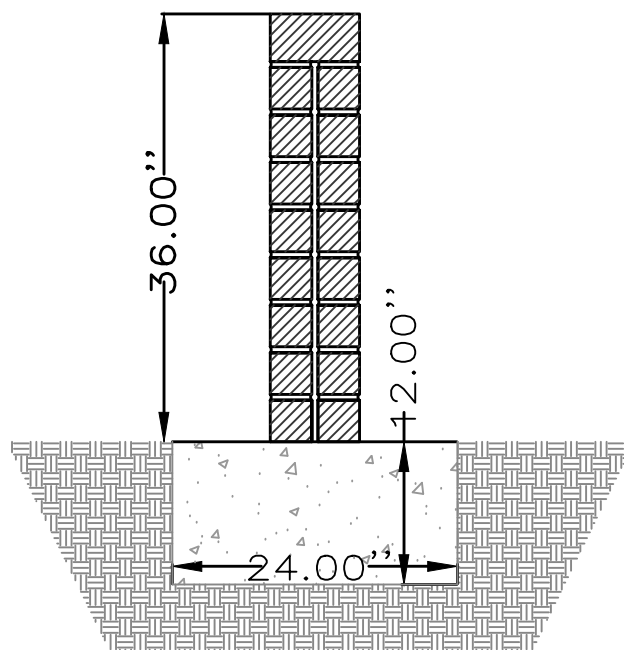
GENERAL SITE PLAN NOTES:

1. ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY. ALL SIGNS MUST MEET THE REQUIREMENTS SET FORTH BY THE TOWN OF CORNELIUS ZONING ORDINANCE AND ANY COVENANCE THAT MAY APPLY FOR THE AREA.
2. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,600 PSI CONCRETE AND SHALL BE 4 INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE 6 INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISH AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN 5 FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF (1/4) INCH PER FOOT.
3. ALL PARKING SPACES SHALL BE AT LEAST 9 FT WIDE AND 19 FT DEEP. SUBGRADE FOR PARKING LOT AND LOADING AREAS TO BE COMPACTED TO 100% MAXIMUM DENSITY OBTAINABLE WITH A STANDARD PROCTOR TEST. SEE DETAILS SHEET FOR PAVEMENT REQUIREMENTS IN LOADING AND PARKING AREAS.
4. ADDRESS MUST BE POSTED IN VISIBLE LOCATION WITH 6-INCH NUMBERS.
5. HVAC AND SIMILAR TYPES OF INCIDENTAL MACHINERY OR EQUIPMENT SHALL BE SCREENED FROM VIEW OR LOCATED IN SUCH A MANNER AS TO NOT BE VISIBLE FROM THE STREET. TRASH RECEPTACLES, DUMPSTERS, UTILITY METERS, ABOVE-GROUND TANKS, SATELLITE DISHES, AND ANTENNAS SHALL BE SIMILARLY SCREENED.
6. ALL MEASUREMENTS ARE TAKEN FROM BACK OF CURB, UNLESS OTHERWISE NOTED.

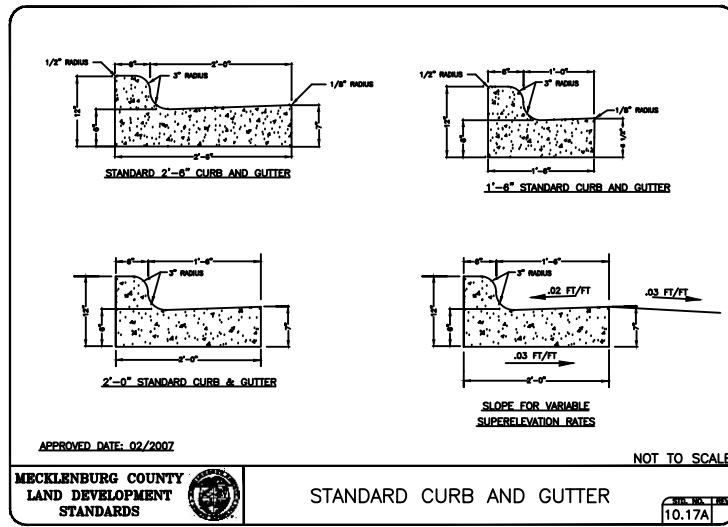
ADDITIONAL SITE PLAN AND LAYOUT NOTES:

THESE NOTES ARE STANDARD SITE DEVELOPMENT NOTES AND SOME OF THESE NOTES MAY NOT APPLY TO THIS SPECIFIC SITE.

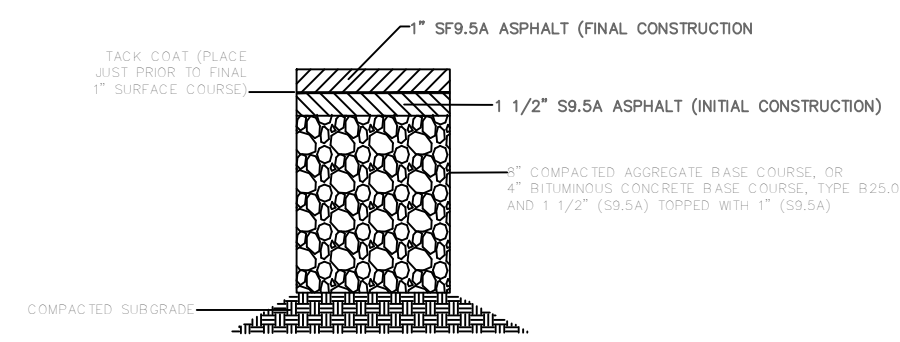
1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. ALL ROAD IMPROVEMENTS AT STATESVILLE ROAD AND WESTMORELAND ROAD TO BE COORDINATED WITH JURISDICTIONAL INSPECTIONS DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS (IF REQUIRED) IN CONJUNCTION WITH STATE AND LOCAL REQUIREMENTS.
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STORM BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE LOCAL INSPECTOR.
9. CURB AND GUTTER ON PLANS ALONG STATESVILLE ROAD AND WESTMORELAND ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY/COUNTY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
10. THE PURPOSE OF A STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
11. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
12. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
13. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF LOCAL FLOODPLAIN REQUIREMENTS AND RESTRICTIONS.
14. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURE BUILT ON LOT SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS).
15. F.E. SEALED SHOP DRAWINGS FOR ANY RETAINING WALLS MUST BE SUBMITTED TO CITY/COUNTY ENGINEER PRIOR TO CONSTRUCTION.
16. "AS BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY ZONING ORDINANCE.
17. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED FOR APPROVAL (IF APPLICABLE).
18. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED (IF APPLICABLE).
19. NON-STANDARD TERMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
20. PER CHAPTER 6 OF CORNELIUS LAND DEVELOPMENT CODE: DRIVE-THROUGH FACILITIES LOCATED ON THE SIDE OF A BUILDING, WITH THE EXCEPTION OF BANKS, SHALL BE LIMITED TO ONE-LANE ONLY, AND SHALL BE SCREENED FROM OFF-SITE VIEW WITH A TYPE 'A' LANDSCAPED BUFFER PER CHAPTER 9.
21. ALL MENU BOARDS, DRIVE THROUGH SERVICE WINDOWS, OR OTHER DRIVE-THROUGH STRUCTURES MUST BE LOCATED ON THE REAR OR SIDE OF THE PRINCIPAL STRUCTURE, SHALL NOT CONFLICT WITH THE PRIMARY PUBLIC ENTRANCE, AND MUST BE SCREENED FROM OFF-SITE VIEW WITH A TYPE 'A' LANDSCAPED BUFFER PER CHAPTER 9.
22. BUILDINGS THAT INCLUDE DRIVE THROUGH FACILITIES SHALL STILL CONFORM TO FRONTAGE BUILD OUT REQUIREMENTS. HOWEVER, THE BUILDING MAY BE SETBACK IN ORDER TO ALLOW ONE DRIVE-THROUGH EXIT LANE IN FRONT OF THE PRINCIPAL BUILDING IN ORDER FOR THE DRIVE THROUGH FACILITY TO BE PHYSICALLY SEPARATED FROM OTHER VEHICULAR TRAFFIC AND PEDESTRIANS. DRIVE-THROUGH EXIT LANES MAY BE WITHIN THE FRONT YARD AREA BUT CANNOT BE WITHIN THE STREET RIGHT-OF-WAY, AND MUST BE SCREENED FROM THE RIGHT-OF-WAY BY A WALL A MINIMUM OF 3-FEET IN HEIGHT. A HEDGEROW SHALL BE PROVIDED BETWEEN THE RIGHT-OF-WAY AND THE WALL. THE WALL MUST CONTAIN MATERIALS THAT MATCH THE PRINCIPAL BUILDING.
23. THE DRIVE-THROUGH LANE(S) MUST BE DISTINCTLY MARKED BY SPECIAL STRIPING, PAVEMENT MARKINGS, OR TRAFFIC ISLANDS AND PHYSICALLY SEPARATED FROM ON-SITE PARKING AREAS.



3' HIGH WALL DETAIL
NOT TO SCALE

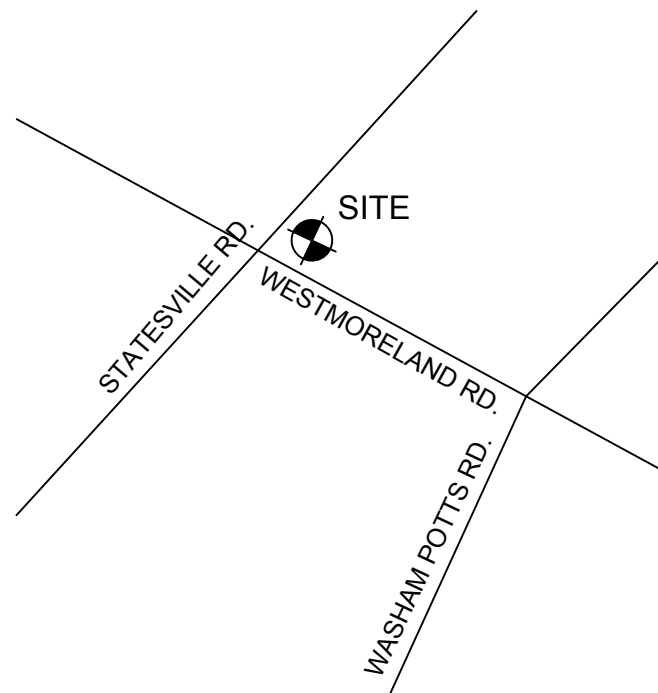


STANDARD CURB AND GUTTER



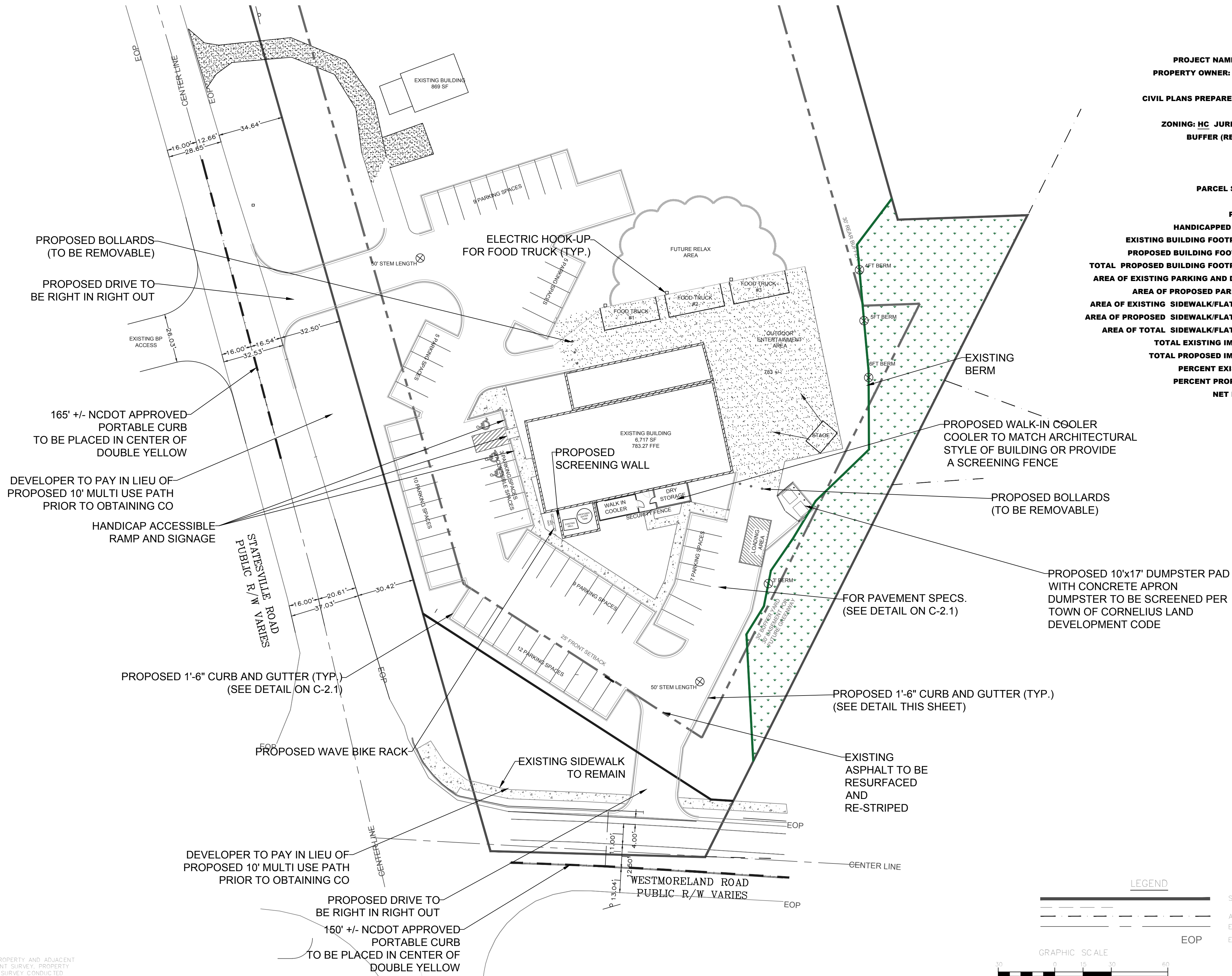
PAVEMENT SECTION DETAIL

SCALE: N.T.S. [REF: MCLD STD]

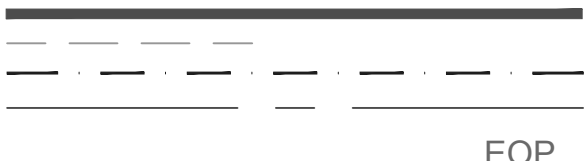


VICINITY MAP N.T.S.

ZONING CODE SUMMARY
PROJECT NAME: BOATYARD EATS CORNELIUS
PROPERTY OWNER: OLD SWAN DEVELOPMENT, LLC
PARCEL P.I.N. 00514108
CIVIL PLANS PREPARED BY: AMICUS PARTNERS, PLLC
PHONE: 704-573-1621
ZONING: HC JURISDICTION: CITY OF CORNELIUS
BUFFER (REAR AT RC ZONED PROP.): 30 FT
MIN. FRONT YARD (S): 25 FT
MIN. SIDE YARD (S): 15 FT
MIN. REAR YARD: 30 FT
PARCEL SIZE: 158,581/3.64SQ. FT/ACRES
PROPOSED USE: RESTAURANT
PARKING PROVIDED: 60 SPACES
HANDICAPPED PARKING PROVIDED: 3 SPACES
EXISTING BUILDING FOOTPRINT COVERAGE: 7,586 SQ. FT
PROPOSED BUILDING FOOTPRINT COVERAGE: 505 SQ. FT
TOTAL PROPOSED BUILDING FOOTPRINT COVERAGE: 8,091 SQ. FT
AREA OF EXISTING PARKING AND DRIVE COVERAGE: 35,779 SQ.FT
AREA OF PROPOSED PARKING AND DRIVE: 32,370 SQ. FT
AREA OF EXISTING SIDEWALK/FLATWORK COVERAGE: 1,217 SQ.FT
AREA OF PROPOSED SIDEWALK/FLATWORK COVERAGE: 1,451 SQ.FT
AREA OF TOTAL SIDEWALK/FLATWORK COVERAGE: 2,668 SQ.FT
TOTAL EXISTING IMPERVIOUS AREA: 44,582 SQ.FT
TOTAL PROPOSED IMPERVIOUS AREA: 43,129 SQ.FT
PERCENT EXISTING IMPERVIOUS AREA: 28%
PERCENT PROPOSED IMPERVIOUS AREA: 27%
NET INCREASE IN IMPERVIOUS: -1%



LEGEND



SUBJECT PROPERTY BOUNDARY
ADJACENT / EXISTING PARCELS
EXISTING ROAD CENTERLINE
EDGE OF PAVEMENT



Firm License # P-1191
331 Coddle Market Drive
Suite 110
Concord, NC 28027

Civil Site Design
Low Impact Development
Small-Scale Building Design

Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:

PROPOSED BOATYARD EATS
CORNELIUS, NORTH CAROLINA
FOR:
OLD SWAN DEVELOPMENT

Project Number: 17.16.121

Date: 02/23/2017

Drawn By: CM

Checked By: NRP

Revisions:

02/23/17	ORIGINAL SUBMITTAL

Sheet Title:

SITE
PLAN
(WORK
EXTENTS)

Sheet No:

C-2.1

Welcome to



Lake Norman, NC

Welcome to

CORNELLUS

Lake Norman, NC