

#### Town of Cornelius Architectural Review Board

#### Agenda June 26, 2020 12:00 PM Electronic Meeting via Zoom

- 1. Call To Order
- 2. Determination of Quorum

#### 3. Approval of Minutes

A. February 28, 2020 Minutes

#### 4. Review And Recommendation On Agenda Items

- A. Site 06-20 Watermark Office Building
- **B.** North Mecklenurg Regional Recreation Center Mural
- C. Boatyard Eats Mural

#### 5. Old Business

- 6. New Business
- 7. Next Meeting
- 8. Adjournment

### **REQUEST FOR BOARD ACTION**

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Date of Meeting:

June 26, 2020

То:	Chair and ARB Members
From:	Summer Smigelski, Planning Admin.
Action Requested:	
Review and Approve	
Manager's Recommendation:	
Approval	

ATTACHMENTS:		
Name:	Description:	Туре:
ARB_Minutes_02282020-           Draft.docx	February 28, 2020 Minutes	Backup Material

#### Minutes TOWN OF CORNELIUS ARCHITECTURAL REVIEW BOARD MEETING

February 28<sup>th</sup>, 2020 12:00 pm

#### Members Present

David Eve, Chairman Joe Harris, Vice Chair Megan Hoover Recah Harward Members Absent Teresa Hawkins Rick Kamakaris

#### Staff Present

Aaron Tucker, Assistant Planning Director Summer Smigelski, Administrative Assistant

#### **VISITORS**

See Sign in Sheet

#### **DETERMINATION OF QUORUM**

Chairman Eve called the meeting to order. The meeting of the Architectural Review Board began at 12:00 p.m. He stated that a quorum was present.

#### APPROVAL OF MINUTES

Mr. Harris made a motion to approve the minutes from January 24<sup>th</sup>, 2020 Minutes with. Ms. Hoover second. All in favor and motion approved.

In Favor: Mr. Harris, Mr. Eve, Ms. Hoover, Ms. Harward Opposed: None

#### REZ 02-20 Bailey Road Flex Site

Mr. Tucker presented REZ 02-20 Bailey Road Flex Site to the board. The property is located at 11140 Bailey Road. The tract is zoned conditional zoning district (CZ) on the zoning map. The Proposal is to develop the property with five buildings totaling 58,800 sq. ft. to be used as flex space.

See presentation

Mr. Tucker opened for discussion.

The board made the following comments:

- Address Bailey Road elevations by adding windows and a door that looks like the main entrance
- Show breakup of buildings
- Show what the rooftop looks like with regards to the HVAC equipment

After discussion the board asked to bring back for final approval.

#### Next Meeting

Friday, March 27, 2020

#### ADJOURNMENT

The meeting ended at 12:32 p.m.

### **REQUEST FOR BOARD ACTION**

#### 💻 Print

Date of Meeting:

June 26, 2020

Architectural Review Board

From:

To:

Aaron Tucker,

Planning Director

#### Action Requested:

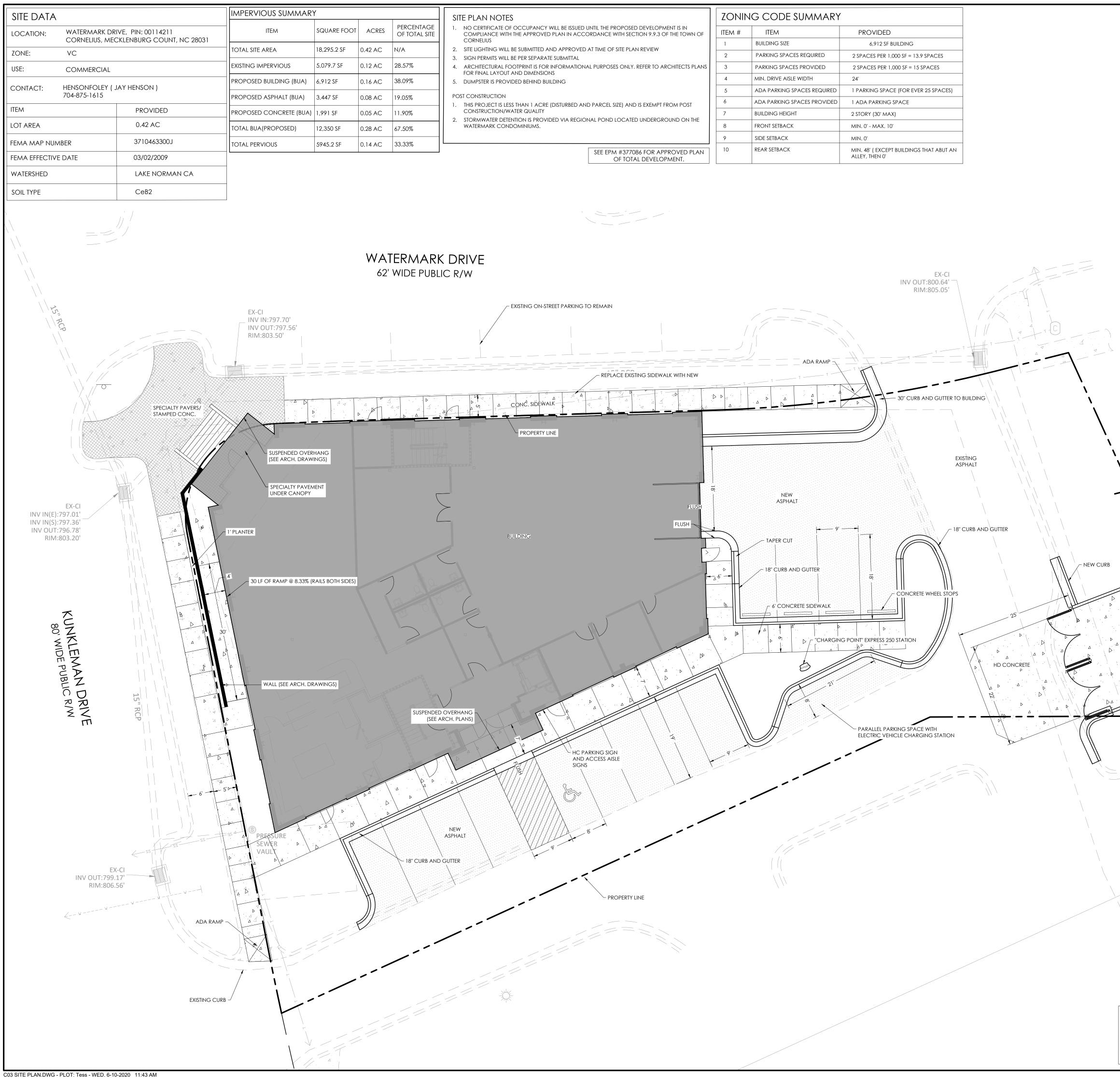
The applicant is proposing to develop the property at 19354 Watermark Drive with one building totaling 13,937 sq. ft. to be used as office space. The office will be located at PID#: 00114210.

#### Manager's Recommendation:

Review proposed building elevations and provide feedback.

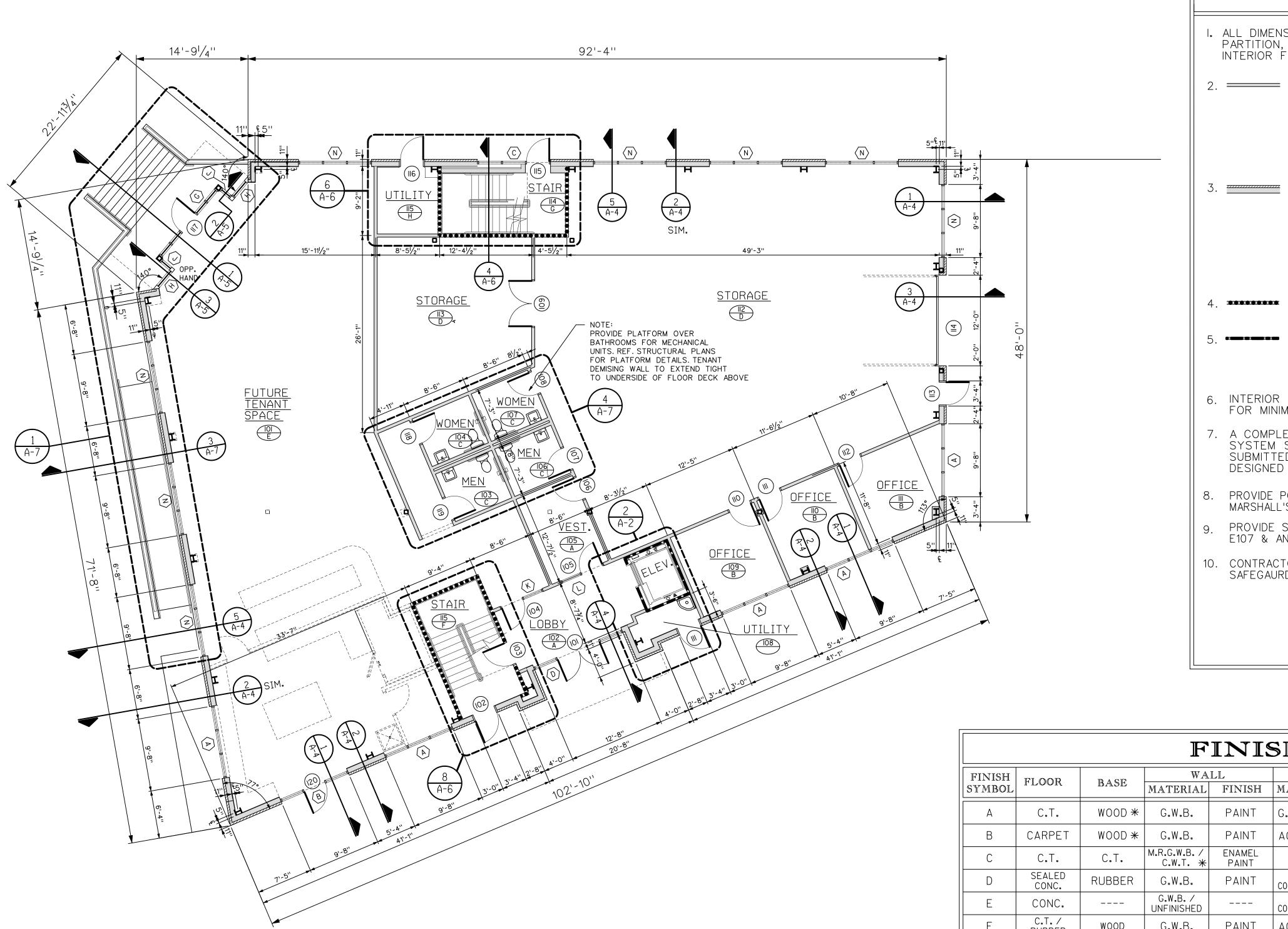
ATTACHMENTS:		
Name:	Description:	Туре:
<u>Watermark_Office_Property.pdf</u>	Property Map	Backup Material
Watermark_site_plan_(not_approved_yet).pdf	Site Plan	Backup Material
WMK_Office_First_Floor_Plan.pdf	First Floor Plan	Backup Material
<u>WMK_Office_Second_Floor_Plan.pdf</u>	Second Floor Plan	Backup Material
WDGWatermark_Mixed-           Use_North_Elevation-Study.pdf	Proposed North Elevation	Backup Material
WDGWatermark_Mixed-           Use_West_Elevation-Study.pdf	Proposed West Elevation	Backup Material
<u>WMK_Office_Architectural.pdf</u>	Full Plan Set	Cover Memo





		ZONIN	IG CODE SUMMARY	
	NTIL THE PROPOSED DEVELOPMENT IS IN DRDANCE WITH SECTION 9.9.3 OF THE TOWN OF	ITEM #	ITEM	PROVIDED
	AT TIME OF SITE PLAN REVIEW	1	BUILDING SIZE	6,912 SF BUILDING
ARATE SUBMITTAL		2	PARKING SPACES REQUIRED	2 SPACES PER 1,000 SF = 13.9 SPACES
FOR INFORMATIONA	L PURPOSES ONLY. REFER TO ARCHITECTS PLANS	3	PARKING SPACES PROVIDED	2 SPACES PER 1,000 SF = 15 SPACES
D BUILDING		4	MIN. DRIVE AISLE WIDTH	24'
		5	ADA PARKING SPACES REQUIRED	1 PARKING SPACE (FOR EVER 25 SPACES)
CRE (DISTURBED AND	D PARCEL SIZE) AND IS EXEMPT FROM POST	6	ADA PARKING SPACES PROVIDED	1 ADA PARKING SPACE
	IAL POND LOCATED UNDERGROUND ON THE	7	BUILDING HEIGHT	2 STORY (30' MAX)
S.		8	FRONT SETBACK	MIN. 0' - MAX. 10'
		9	SIDE SETBACK	MIN. 0'
	SEE EPM #377086 FOR APPROVED PLAN	10	REAR SETBACK	MIN. 48' ( EXCEPT BUILDINGS THAT ABUT AN ALLEY, THEN 0'

	Image: State Stat
	RAPHIC SCALE 1"=10 FT.
DUMPSIR PICIOSUJE MASONEY SCREDI WALL WITH OPAQUE CATE	WATERMARK OFFICE BUILDING PIN: 00114210 19354 WATERMARK DRIVE, CORNELIUS NC 28031 LEMLEY TOWNSHIP, MECKLENBURG COUNTY SITE PLAN
	REVISIONS:         05/12/2020 - REV1. TOWN/COUNTY         06/09/2020 - REV2. TOWN/COUNTY
<ol> <li>CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.</li> <li>CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.</li> <li>ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE DEPARTMENT OF TRANSPORTATION.</li> <li>SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.</li> </ol>	C03 SITE PLAN.DWGPROJECT NUMBER:220013DATE:06/10/2020DRAWN BY:DATE:06/10/2020DRAWN BY:SHEETOF



GROSS BUILDING AREA FIRST FLOOR --- 6,943 SQ.FT SECOND FLOOR - 6,994 SQ.FT. TOTAL ----- 13,937 SQ.FT.



	FINISH SCHEDULE									
FINISH	FLOOR	BASE	WALL		CEIL		REMARKS			
SYMBOL			MATERIAL	FINISH	MATERIAL	FINISH				
А	C.T.	WOOD *	G.W.B.	PAINT	G.W.B.* *	PAINT	米 7¼" MASONITE SPEED BASE, PAINTED 米 米 CROWN MOLDING			
В	CARPET	WOOD *	G.W.B.	PAINT	ACOUS. T.		* 71/4" MASONITE SPEED BASE, PAINTED			
С	C.T.	C.T.	M.R.G.W.B. / C.W.T. <del>*</del>	ENAMEL PAINT	G.W.B.	PAINT	* SEE ENLARGED TOILET PLANS SHEET A-9 FOR LOCATION OF C.W.T. WALLS.			
D	SEALED CONC.	RUBBER	G.W.B.	PAINT	EXPOSED CONSTRUCTION	PAINT				
E	CONC.		G.W.B. / UNFINISHED		EXPOSED CONSTRUCTION		UNFINISHED FUTURE TENANT SPACE			
F	C.T./ RUBBER 米	WOOD * *	G.W.B.	PAINT	ACOUS. T.		* C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS 米米 71/4" MASONITE SPEED BASE, PAINTED			
G	V.C.T. / RUBBER 米	RUBBER	G.W.B.	PAINT	G.W.B.	PAINT	* V.C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS			
Н	SEALED CONC.		G.W.B. / CONC.		EXPOSED CONSTRUCTION					
J	C.T.	WOOD *	G.W.B.	PAINT	ACOUS.T.		₩ 7¼" MASONITE SPEED BASE, PAINTED			
К	CARPET	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	* 7 <sup>1</sup> /4" MASONITE SPEED BASE, PAINTED			
L	L.V.P.	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	7 <sup>1</sup> /4" MASONITE SPEED BASE, PAINTED			
	FINISH SCHEDULE ABBREVIATIONS									
C.T.		- VINYL COMF - CERAMIC TI - CERAMIC W/ - CONCRETE				L.V.P	CONCRETE MASONRY UNIT LINEAR VINYL PLANK FLOORING ACOUSTICAL CEILING TILE			

G.W.B. GYPSUM WALL BOARD

## GENERAL NOTES

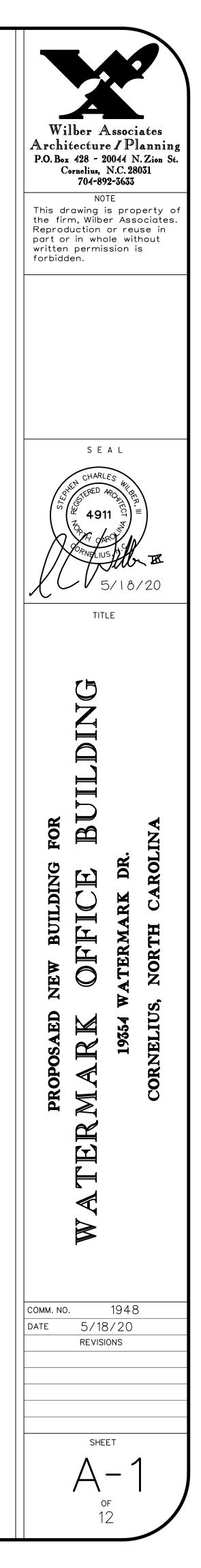
I. ALL DIMENSIONS GIVEN TO CENTERLINE OF INTERIOR STUD PARTITION, CENTERLINE OF STEEL, EXTERIOR FACE OF MASONRY & INTERIOR FACE OF STUD © EXTERIOR WALLS UNLESS OTHERWISE NOTED

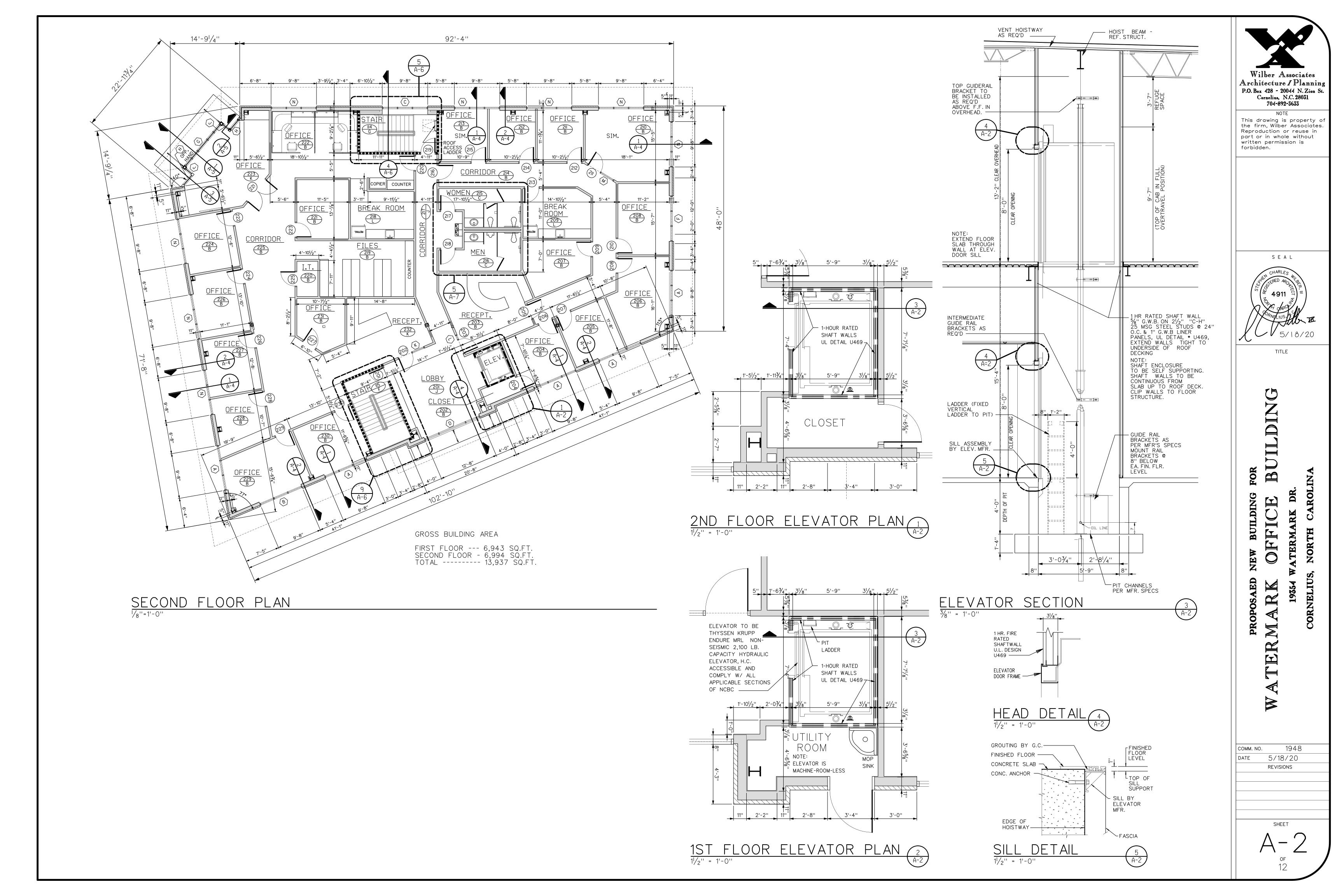
- 2. DENOTES TYP. INTERIOR PARTITION -5%" G.W.B. ON 35%" 25 GA. STEEL STUDS (UNLESS OTHERWISE NOTED ON PLAN) @ 24" O.C. PARTITION TO EXTEND 6" ABOVE CEILING IN AREAS WITH FINISHED CEILINGS, EXCEPT TENANT DEMISING WALLS AND PARTITIONS IN AREAS WITHOUT CEILING TO EXTEND TIGHT TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
  - DENOTES TYP. BRICK VENEER EXTERIOR WALL  $-\frac{5}{8}$ " G.W.B. (TO BE INSTALLED AT TIME OF UPFIT IN UNFINISHED SPACES) ON 6" STEEL STEEL STUDS (UNLESS OTHERWISE NOTED) @ 24" O.C.,  $\frac{1}{2}$ " DENSGLAS EXTERIOR SHEATHING, LIQUID APPLIED VAPOR BARRIER & BRICK VENEER. STUD CAVITY TO BE FILLED W/ OPEN-CELL FOAM INSULATION. WALL THICKNESS TO INSIDE FACE OF STUD + 11" UNLESS OTHERWISE NOTED.
  - DENOTES ONE HOUR RATED STUD PARTITION -5%'' G.W.B. ON 35%'' STEEL STUDS 362ST25 @ 16'' O.C., UL DETAIL # U465. EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY ABOVE.
  - DENOTES ONE HOUR RATED SHAFT WALL PARTITION  $-\frac{5}{8}$ " G.W.B. ON 2<sup>1</sup>/<sub>2</sub>" "C-H" 25 MSG STEEL STUDS @ 24" O.C. & 1" G.W.B LINER PANELS, UL DETAIL # U469, EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY OR ROOF DECK ABOVE.

6. INTERIOR WALLS PARTITIONS MUST COMPLY WITH NCSBC SECTION 1607.13 FOR MINIMUM LATERAL LOAD RESISTANCE OF 5 PSF.

7. A COMPLETE, HYDRAULICALLY CALCULATED FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PROVIDED BY OWNER. SHOP DRAWINGS WILL BE SUBMITTED WITHIN 90 DAYS OF PERMIT ISSUANCE. SYSTEM SHALL BE DESIGNED FOR LIGHT HAZARD OCCUPANCY PER NFPA 13

- 8. PROVIDE PORTABLE FIRE EXTINGUISHERS PER FIRE MARSHALL'S INSTRUCTIONS IN ACCORDANCE WITH NCBC 906. 9. PROVIDE SIGNAGE IN COMPLIANCE WITH NCBC 1011.3, 1110, E107 & ANSI A117.1 703
- 10. CONTRACTOR SHALL COMPLY WITH NCBC CHAPTER 33 SAFEGAURDS DURING CONSTRUCTION.







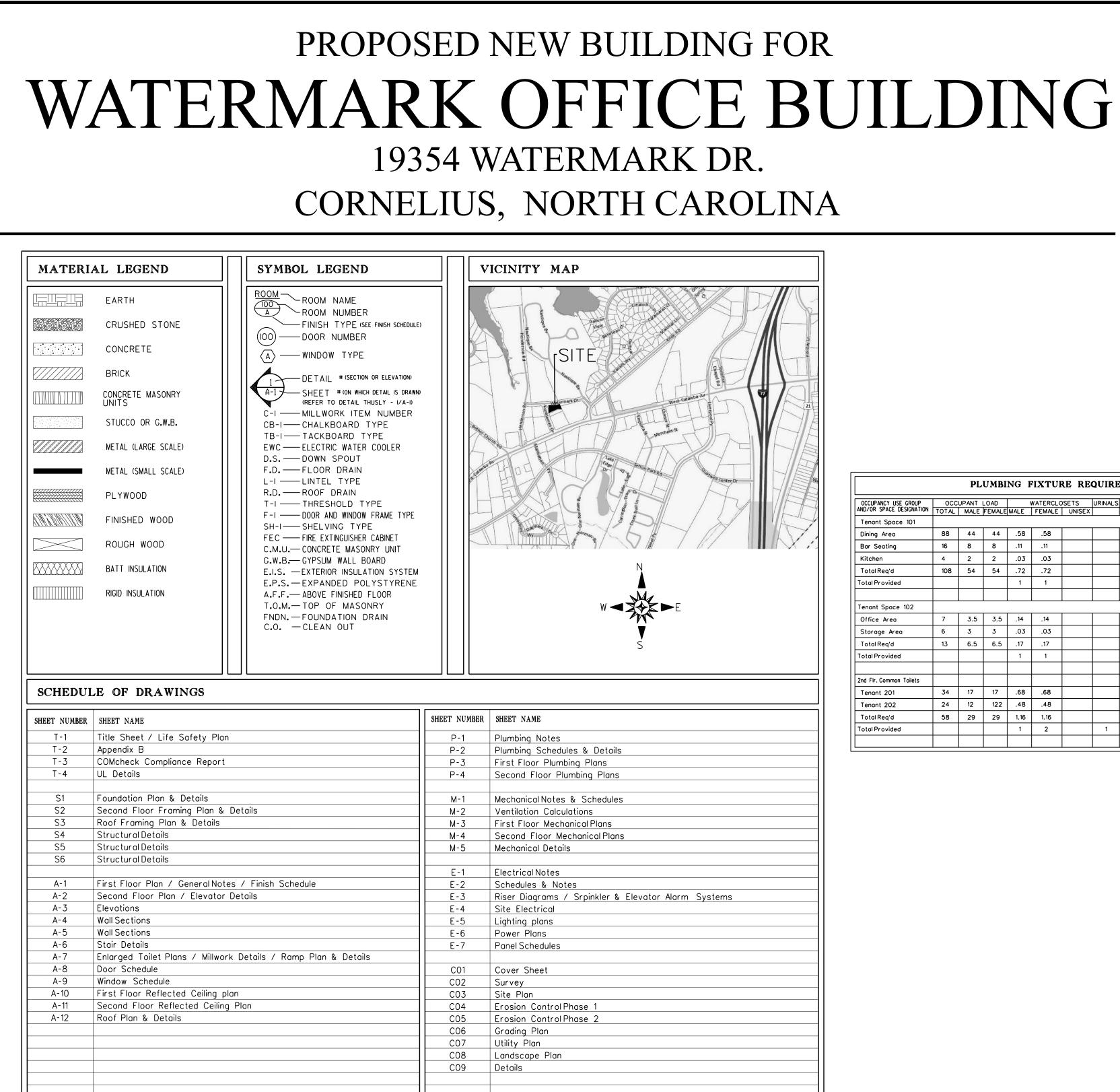
RCHITECTURE LANNING + INTERIOF

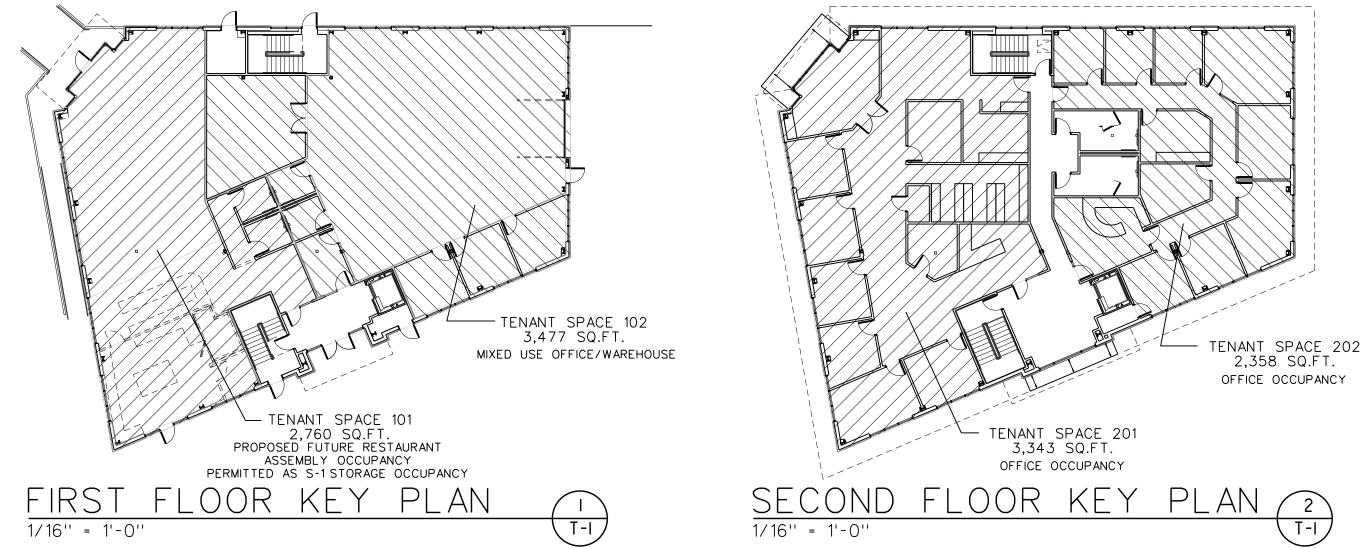
NORTH ELEVATION - WATERMARK MIXED-USE BUILDING (INMERNARK DRIVE VIEW) WDG







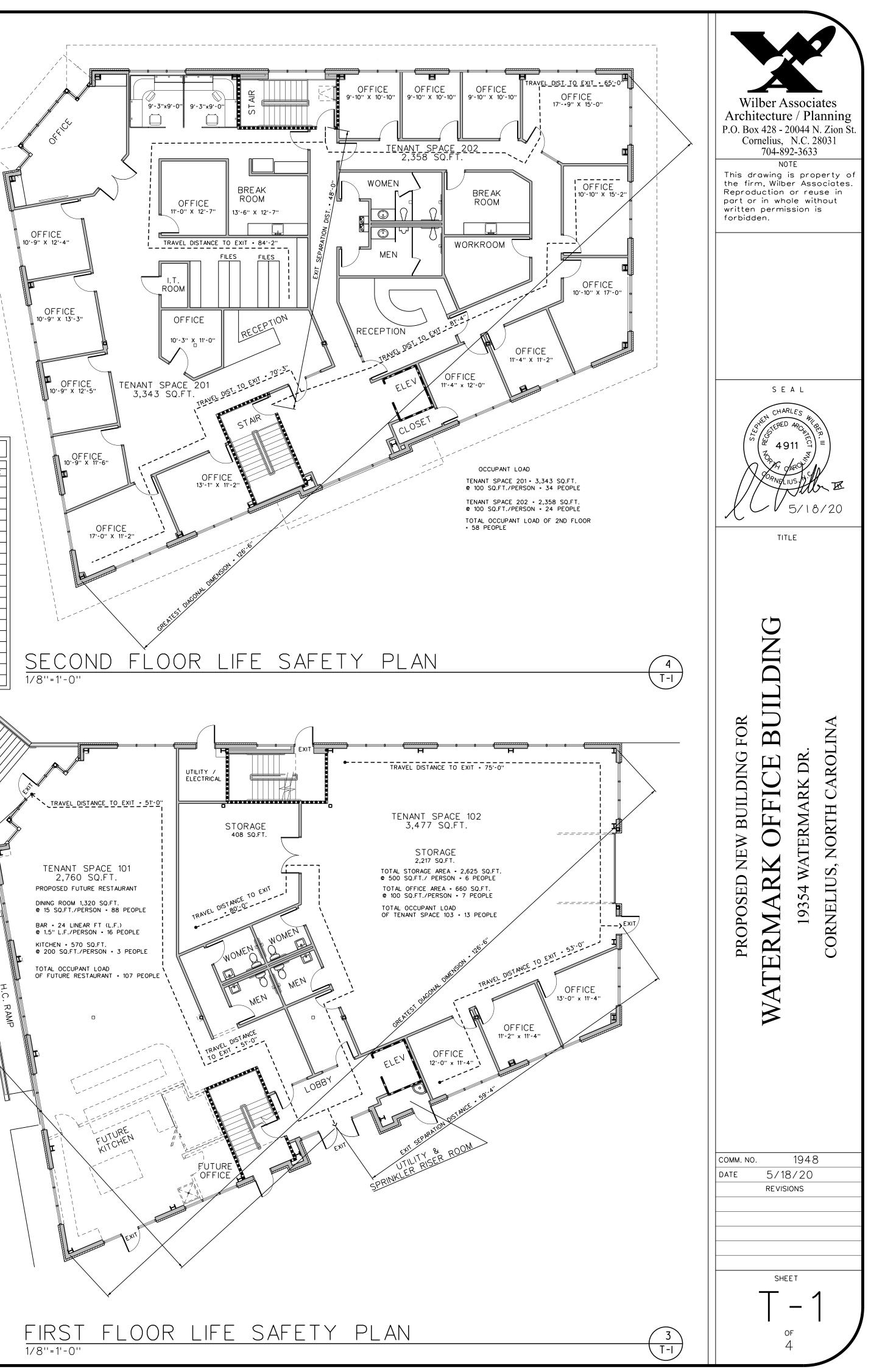


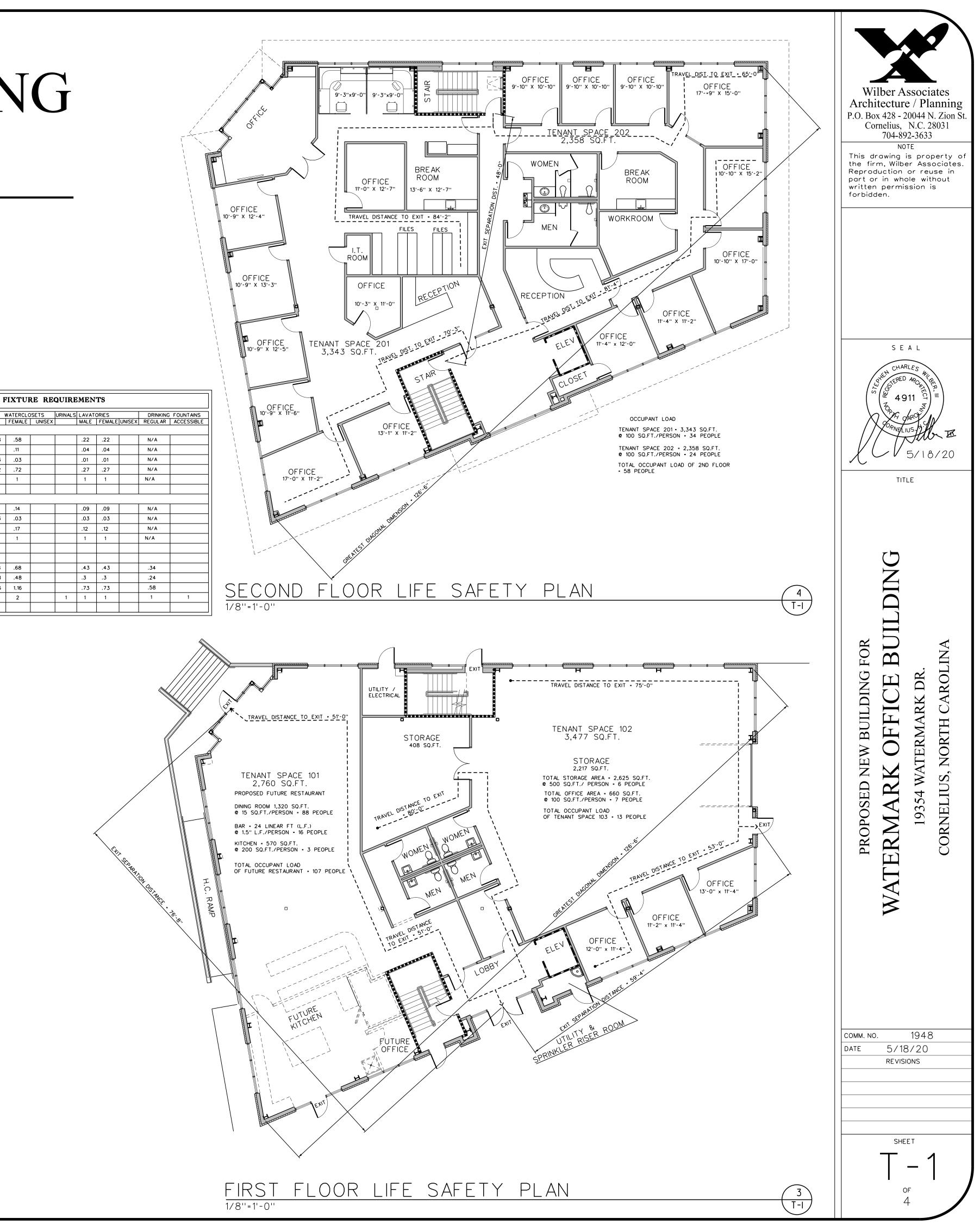


OCCUPANCY USE GROUP OCCUPANT LOAD

	PLUMBING	FIXTURE	REQUIREMENTS
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							0					
AND/OR SPACE DESIGNATION	TOTAL	MALE	FEMALE	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE
Tenant Space 101												
Dining Area	88	44	44	.58	.58			.22	.22		N/A	
Bar Seating	16	8	8	.11	.11			.04	.04		N/A	
Kitchen	4	2	2	.03	.03			.01	.01		N/A	
Total Req'd	108	54	54	.72	.72			.27	.27		N/A	
Total Provided				1	1			1	1		N/A	
Tenant Space 102		•		•	•				•			
Office Area	7	3.5	3.5	.14	.14			.09	.09		N/A	
Storage Area	6	3	3	.03	.03			.03	.03		N/A	
Total Req'd	13	6.5	6.5	.17	.17			.12	.12		N/A	
Total Provided				1	1			1	1		N/A	
2nd Flr. Common Toilets												
Tenant 201	34	17	17	.68	.68			.43	.43		.34	
Tenant 202	24	12	122	.48	.48			.3	.3		.24	
Total Req'd	58	29	29	1.16	1.16			.73	.73		.58	
Total Provided				1	2		1	1	1		1	1
	1											





BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS	Gross Building Area Table
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans sheet 1 or 2)	FLOOR         EXISTING (SQ FT)         NEW (SQ FT)         SUB-           3 <sup>rd</sup> Floor         2 <sup>nd</sup> Floor         6,994         6,9
New Obside Watermark Office Building	2 <sup>m</sup> Floor         6,994         6,9           Mezzanine         1 <sup>st</sup> Floor         6,943         6,9
Name of Project:       Watermark Office Building         Address:       19354       Watermark Dr., Cornelius NC       Zip Code       28031	Basement TOTAL <b>13,937 13,</b>
Owner/Authorized Agent Jamie Rolewic zPhone # ( 704 ) 905 -0335       E-Mail jamie@rolewic z.com         Owned By:       City/County       Private       State	ALLOWABLE AREA
Code Enforcement Jurisdiction: City Cornelius County Meck State NC	Primary Occupancy Classification(s): Select one Select one Select one Select one Select one
<u>CONTACT:</u>	Assembly $\square$ A-1 $\square$ A-2 $\square$ A-3 $\square$ A-4 $\square$ A-5 Business $\square$
DESIGNER FIRM NAME LICENSE# TELEPHONE# E-MAIL Architectural Wilber Associates Charles wilber 4911 704)892-3633 cwilber 303@aol.com	Educational Factory F-1 Moderate F-2 Low
Civil Henson/Foley Jay Henson 700 704/875-1615 jay@hensonfoley.com Electrical Allied Engineers Dean Belk 20607 704/399-3943 dbelk@allied-engineers.com	Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 Institutional I-1 Condition 1 2
Plumbing Allied Engineers David Hood 30549 704,399-394,3 dhood@allied-engineers.com Mechanical Allied Engineers David Hood 30549 704,399-394,3 dhood@allied-engineers.com	$ \begin{array}{c c c c c c c c c c c c c c c c c c c $
Sprinkler-Standpipe n/a Structural David Binkley PE David Binkley 20064 704)585-6305 davebic1@gmail.com	L-4 Mercantile
Retaining Walls >5' High       n/o         Other       n/o         ("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)	Residential $\square$ R-1 $\square$ R-2 $\square$ R-3 $\square$ R-4Storage $\blacksquare$ S-1 Moderate $\square$ S-2 Low $\square$ High-piled
2018 NC BUILDING CODE: X New Building Addition Renovation	□ Parking Garage □ Open □ Enclosed □ Repair Garage Utility and Miscellaneous □
<ul> <li>Ist Time Interior Completion</li> <li>Shell/Core - Contact the local inspection jurisdiction for possible additional</li> </ul>	Accessory Occupancy Classification(s): Incidental Uses (Table 509):
procedures and requirements Phased Construction - Shell/Core- Contact the local inspection jurisdiction for	Special Uses (Chapter 4 – List Code Sections):
2018 NC EXISTING BUILDING CODE: EXISTING: Prescriptive Repair Chapter 14	Mixed Occupancy: 🗌 No 🛛 Yes Separation: <u>0</u> Hr. Exception: <u>508</u>
2018 NC EXISTING BUILDING CODE: EXISTING:       Prescriptive       Repair       Chapter 14         Alteration:       Level I       Level II       Level III         Historic Property       Change of Use       Change of Use	Non-Separated Use (508.3) - The required type of construction for the building shall applying the height and area limitations for each of the a occumancies to the entire building. The most restrictive
CONSTRUCTED: (date) CURRENT OCCUPANCY(S) (Ch. 3):	occupancies to the entire building. The most restrictive construction, so determined, shall apply to the entire bu
RENOVATED:         (date)         PROPOSED OCCUPANCY(S) (Ch. 3):           OCCUPANCY CATEGORY (Table 1604.5):         Current:         I         III         IV	Separated Use (508.4) - See below for area calculations for each story, the area of the be such that the sum of the ratios of the actual floor area of each the allowable floor area for each use shall not exceed 1.
Proposed: I I II II IV	<u>Actual Area of Occupancy A</u> + <u>Actual Area of Occupancy B</u> $\leq 1$
BASIC BUILDING DATA Construction Type: I-A II-A III-A IV V-A	Allowable Area of Occupancy A Allowable Area of Occupancy B + + + =
(check all that apply) I-B II-B III-B V-B Sprinklers: No Partial X Yes NFPA 13 NFPA 13R NFPA 13D	' + =
Standpipes:     X     No     Yes     Class     I     II     III     Wet     Dry       Fire District:     X     No     Yes     Flood Hazard Area:     X     No     Yes	
Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)	
· · · · · · · · · · · · · · · · · · ·	
2018 NC Administrative Code and Policies	2018 NC Administrative Code and Policies
ACCESSIBLE DWELLING UNITS (SECTION 1107)	ENERGY SIMMARY
(SECTION 1107)           Total         Accessible         Accessible         Type A         Type B         Type B         total	ENERGY SUMMARY ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the b
(SECTION 1107)	<b>ENERGY REQUIREMENTS:</b> The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual
(SECTION 1107)       Total     Accessible     Accessible     Type A     Type B     Type B     Total       Units     Units     Units     Units     Units     Units     Accessible Units       Required     Provided     Required     Provided     Required     Provided	<b>ENERGY REQUIREMENTS:</b> The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.
(SECTION 1107)       Total     Accessible     Accessible     Type A     Type B     Type B     Total       Units     Units     Units     Units     Units     Units     Accessible Units       Required     Provided     Required     Provided     Required     Provided	<ul> <li>ENERGY REQUIREMENTS:</li> <li>The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.</li> <li>Existing building envelope complies with code: X No Yes (The remainder of this sect)</li> </ul>
(SECTION 1107)          Total Units       Accessible Units       Type A       Type B       Type B       Total Accessible Units         Units       Units       Units       Units       Units       Units       Accessible Units         Provided       Provided       Provided       Required       Provided       Provided         n/ 0       Image: Comparison of the temperature of temperat	<b>ENERGY REQUIREMENTS:</b> The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.
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(SECTION 1107)	<ul> <li>ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.</li> <li>Existing building envelope complies with code: No Yes (The remainder of this sected exampt Building: No Yes (Provide code or statutory reference):</li></ul>
(SECTION 1107)         Total       Accessible       Accessible       Type A       Type A       Type B       Type B       Total         Units       Units       Units       Units       Units       Units       Units       Units       Equired       Provided       Pr	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Exempt Building:       No       Yes (Provide code or statutory reference):         Climate Zone:       X 3A       4A       5A         Method of Compliance:       Energy Code       Performance       Prescriptive         ASHRAE 90.1       Yeroformance       Prescriptive       (If "Other" specify source here)       COMcheck - See       Co         THERMAL ENVELOPE (Prescriptive method only)       THERMAL ENVELOPE (Prescriptive method only)       Source       <
(SECTION 1107)         TOTAL       Accessible       Accessible       Type A       Type A       Type A       Type B       Type B       Total         UNITS       UNITS       UNITS       UNITS       UNITS       UNITS       UNITS       Equired       Provided       P	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Exempt Building:       No       Yes (Provide code or statutory reference):
(SECTION 1107)         Total       Accessible       Type A       Type A       Type B       Type B       Total         Units       Units       Units       Units       Units       Units       Units       Accessible Units         n/a	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Exempt Building:       No       Yes (Provide code or statutory reference):
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(SECTION 1107)         Total       Accessible       Accessible       Type A       Type A       Type A       Type B	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the 1 also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Exempt Building:       No       Yes (Provide code or statutory reference):         Climate Zone:       Xa       4A       5A         Method of Compliance:       Energy Code       Performance       Prescriptive         ASHRAE 90.1       Performance       Prescriptive       (If "Other" specify source here)COMcheck-See       Co         THERMAL ENVELOPE (Prescriptive method only)       Bost/ceiling Assembly (each assembly)       Description of assembly:       .057       .057         R-Value of insulation:       16.8             U-Value of skylight:       n/o             Exterior Walls (each assembly:               Description of assembly:              Description of assembly:
(SECTION 1107)         Total       Accessible       Accessible       Type A       Type A       Type A       Type B	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Existing building:       No       Yes (Provide code or statutory reference):
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the dalso be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Exempt Building:       No       Yes (Provide code or statutory reference):         Climate Zone:       Xiii A       A         Method of Compliance:       Energy Code       Performance       Prescriptive         ASHRAE 90.1       Xiii Performance       Prescriptive         (If "Other" specify source here)       COMCheck - See       Co         THERMAL ENVELOPE (Prescriptive method only)       Roof/ceiling Assembly (each assembly)       Description of assembly:       Cost.       Polyiso Rigid insulation on r         U-Value of total assembly:       .057             Klights in each assembly:       .04             U-Value of total assembly:              Method of Compliance:              If "Other" specify source here)
Image: Control of the state of the stat	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the daso be provided. Each Designer shall furnish the required portions of the project information for friperformance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this seet         Exempt Building:       No       Yes (Provide code or statutory reference):
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       \[\begin{bmatrix}{ll No \begin{bmatrix}{ll Ves}{ll Ve
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the daso be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this sect         Exempt Building:       No       Yes (Provide code or statutory reference):
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:         No       Yes (The remainder of this seet         Existing building envelope complies with code:         No       Yes (The remainder of this seet         Climate Zone:         All       All         Method of Compliance:       Energy Code         Performance       Prescriptive         Alf "Other" specify source here)       COMCheck - See         Co       THERMAL ENVELOPE (Prescriptive method only)         Roof/ceiling Assembly (each assembly:       057         R-Value of total assembly:       057         R-Value of total assembly:       057         R-Value of total assembly:       026         Description of assembly:       026         Description of assembly:       026         R-Value of total assembly:       0286         R-Value of insulation:       22         Openings (windows or doors with glazing)       024         U-Value of assembly:       2
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code: $\square$ No $\square$ Yes (The remainder of this seet         Exempt Building: $\square$ No $\square$ Yes (Provide code or statutory reference):
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code: $\square$ No $\square$ Yes (The remainder of this seet         Exempt Building: $\square$ No $\square$ Yes (Provide code or statutory reference):
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       \[\begin{bmatrix}{llow}{llo
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this set         Exempt Building:       No       Yes (Provide code or statutory reference):         Climate Zone:       Mo       A da         A det A       SA       Method of Compliance:       Energy Code         Climate Zone:       Mo       A da       SA         Method of Compliance:       Energy Code       Performance       Prescriptive (If "Other" specify source here)         Climate Zone:       Mo       Os assembly:       Cont. Polyiso Rigid insulation on rescription of assembly:         Description of assembly:       0.01       Performance       Prescriptive (If "Other" specify source here)         Collar det assembly:       0.70       Notalue of insulation:       16.8         Skylights in each assembly:       0.70       Notalue of insulation:       16.8         U-Value of insulation:       16.8       Stud frome w/ Open Cell Spr         U-Value of insulation:       .22.5       .25       .25         Openings (windowso
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for If performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this set         Exempt Building:       No       Yes (Provide code or statutory reference):         Climate Zone:       SIA       Id A       SA         Method of Compliance:       Energy Code       Performance       Prescriptive         ASHRAE ONL IS       Performance       Prescriptive       (If "Other" specify source here)COMcheck-See       Co         THERMAL ENVELOPE (Prescriptive method only)       Roof/ceiling Assembly (cach assembly)       Description of assembly:       0.57         R-Value of total assembly:       0.057       R-Value of insulation:       22.2         Openings (windows or doors with glazing)       U-Value of skylights in each assembly:       n/o         U-Value of insulation:       22.2       Openings (windows or doors with glazing)       0.24         Description of assembly:       .29       Solar heat gain coefficient:       .22         Openings (windows or doors with glazing)       0.24       .23       .24         Dor R-Values:
<section-header><section-header><section-header></section-header></section-header></section-header>	ENERCY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for from the following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for from the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (Provide code or stantatory reference):         Climate Zone:       A       A       A         Climate Zone:       A       A       A         Method of Compliance:       Energy Code       Performance       Prescriptive         ASHRAE 90.1       Deformance       Climate Zone:       ASHRAE 90.1       Porformance       Prescriptive         ASHRAE 90.1       Description of assembly:       0.057       Key and the code assembly:       0.07       Key and the code assembly:       0.07         Nation of assembly:       0.057       Key and to total assembly:       0.02       Key and to total assembly:       0.02         Value of insulation:       16.8       Sky lights in each assembly:       0.02       Key and to total assembly:       0.02         U-Value of total assembly:       0.02       Sky and total assembly:       0.02       Sky and total assembly:       0.02<
	ENERGY REQUIREMENTS:         The following data shall be considered minimum and any special attribute required to meet the also be provided. Each Designer shall furnish the required portions of the project information for if performance method, state the annual energy cost for the standard reference design vs annual proposed design.         Existing building envelope complies with code:       No       Yes (The remainder of this set         Exempt Building:       No       Yes (Provide code or statutory reference):         Climate Zone:       Mo       A da         A det A       SA       Method of Compliance:       Energy Code         Climate Zone:       Mo       A da       SA         Method of Compliance:       Energy Code       Performance       Prescriptive (If "Other" specify source here)         Climate Zone:       Mo       Os assembly:       Cont. Polyiso Rigid insulation on rescription of assembly:         Description of assembly:       0.01       Performance       Prescriptive (If "Other" specify source here)         Collar det assembly:       0.70       Notalue of insulation:       16.8         Skylights in each assembly:       0.70       Notalue of insulation:       16.8         U-Value of insulation:       16.8       Stud frome w/ Open Cell Spr         U-Value of insulation:       .22.5       .25       .25         Openings (windowso

1 1 2	Office				STORY OR UNLIMITED <sup>2,3</sup>
	0.1	6,943	69,000	n/a	69,000
	Storage	6,943	52,500	n/a	52,500
	Office	6,994	69,000	n/a	69,000
e. Perce <sup>2</sup> Unlimited ar <sup>3</sup> Maximum B <sup>4</sup> The maximu control tow	Minimum width of pu ent of frontage increase rea applicable under c suilding Area = total n um area of open parkin ers must comply with rease is based on the t	se $I_f = 100[F/P - 0]$ onditions of Section number of stories in ng garages must co Table 412.3.1.	$0.25] \ge W/30 =$ on 507. In the building $\ge$ omply with Tabl	D (maximum3 stories e 406.5.4. The maxir	s) (506.2). num area of air traffic
		ALLOW	ABLE HEIGH	IT	
			LOWABLE	SHOWN ON PLANS	CODE REFERENCI
Building He	ight in Feet (Table 504.)	3)	75	32	
Building He	ight in Stories (Table 50	04.4)	3	2	

	FIKE	KOIE	CTION REQU	INEMIENT	3	
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/* REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION
Structural Frame, including columns, girders, trusses						
Bearing Walls						
Exterior						
North	>30	0				
East	>30	0				
West	>30	0				
South	>30	0				
Interior						
Nonbearing Walls and Partitions						
Exterior walls		_				
North	>30	0				
East	>30	0				
West	>30	0				
South	>30	0				
Interior walls and partitions						
Floor Construction						
Including supporting beams						
and joists		0				
Floor Ceiling Assembly		0				
Columns Supporting Floors		0				
Roof Construction, including		0				
supporting beams and joists		0				
Roof Ceiling Assembly		-				
Columns Supporting Roof		0	1	2/T-4	UL U465	
Shaft Enclosures - Exit		-	-	2/1-4		
Shaft Enclosures - Other		1	1	1/T-4	UL U469	
Corridor Separation		0				
Occupancy/Fire Barrier Separat	ion	n/a				
Party/Fire Wall Separation		n/a				
Smoke Barrier Separation		n∕a n∕a				
Smoke Partition		11/0				
Tenant/Dwelling Unit/ Sleeping Unit Separation		n/a n/a				
Incidental Use Separation		17.0				

2018 APPENDIX B

MECHANICAL DESIGN

MECHANICAL SUMMARY

See Sheet M-3

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2018 NC Administrative Code and Policies

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN hall (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE) a sheet. (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE) DESIGN LOADS: or the 
 Importance Factors:
 Snow
 (Is)
 1.0

 Seismic
 (Ie)
 1.0
 able) MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT 20 Live Loads: Roof Thermal Zone Mezzanine winter dry bulb: Floor 50/80/100 psf summer dry bulb: Ground Snow Load: <u>15</u> psf Interior design conditions 
 Wind Load:
 Basic Wind Speed
 115
 mph (ASCE-7)

 Exposure Category
 B
 115
 115
 winter dry bulb: Report Sheet T-3 summer dry bulb: relative humidity: Building heating load: SEISMIC DESIGN CATEGORY: A B C D Provide the following Seismic Design Parameters: **Risk Category** (Table 1604.5)  $\square$  I  $\blacksquare$  II  $\square$  III  $\square$  IV **Spectral Response Acceleration**  $S_s$  <u>.218</u> %g  $S_1$  <u>.097</u> %g Building cooling load: Mechanical Spacing Conditioning System Site Classification (ASCE 7) A B C Z D E F Data Source: Z Field Test Presumptive Historical Data Unitary description of unit: 

 Basic structural system
 Bearing Wall
 Dual w/Special Moment Frame

 Building Frame
 Dual w/Intermediate R/C or Special Steel

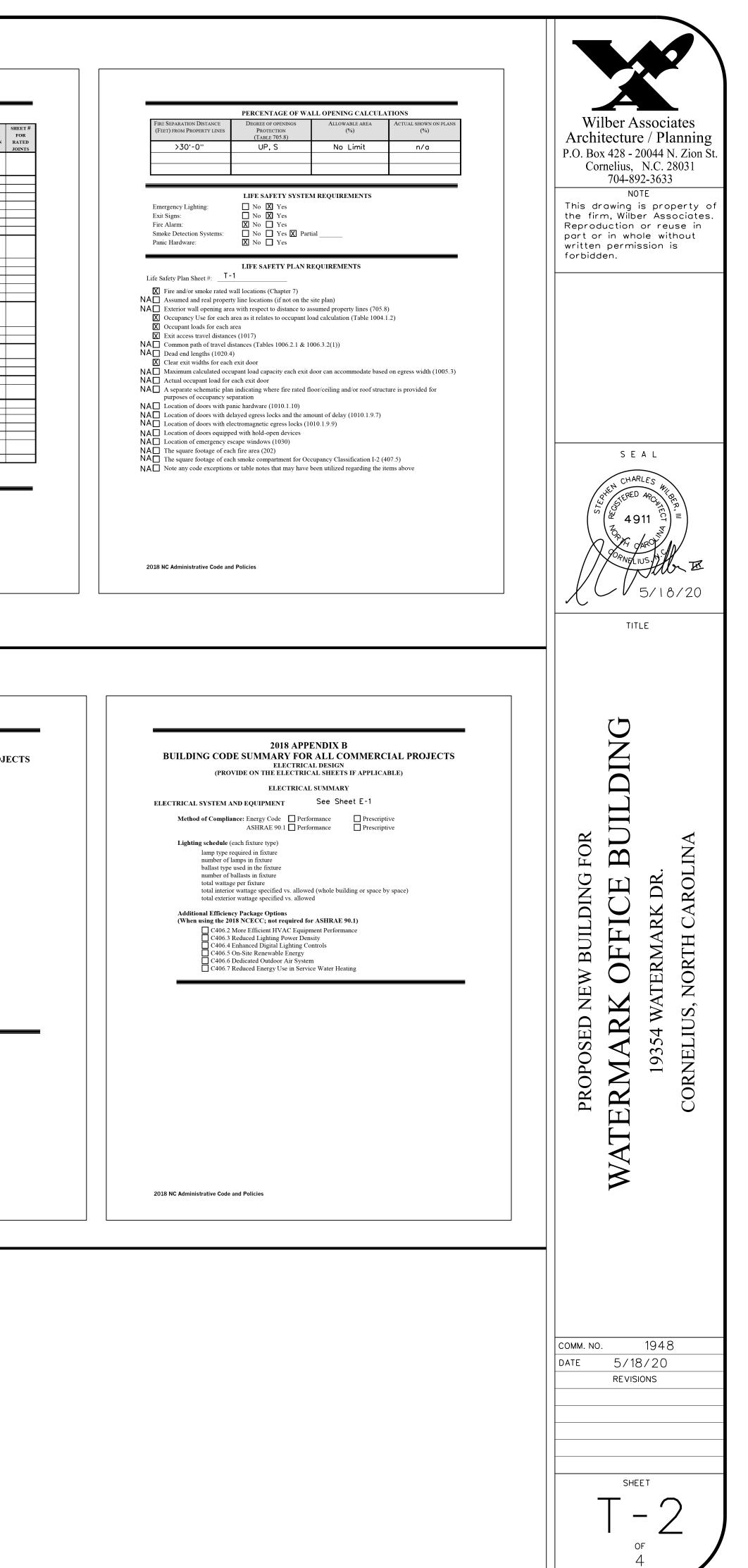
 heating efficiency: cooling efficiency: size category of unit: X Moment Frame Inverted Pendulum Insulation Boiler Analysis Procedure: 🗌 Simplified 🕅 Equivalent Lateral Force 🔲 Dynamic Size category. If oversized, state reason.: Architectural, Mechanical, Components anchored? Xes 🗌 No Chiller Size category. If oversized, state reason.: LATERAL DESIGN CONTROL: Earthquake 🕅 Wind 🗌 List equipment efficiencies: SOIL BEARING CAPACITIES: 

 Field Test (provide copy of test report)
 n/a
 psf

 Presumptive Bearing capacity
 2,500
 psf

 Pile size, type, and capacity
 n/a
 psf

 Pile size, type, and capacity 2018 NC Administrative Code and Policies 2018 NC Administrative Code and Policies



Project Information Energy Code:	2015 IECC					
Project Title: Location: Climate Zone: Project Type:	Watermark Condos Cornelius, North Carolina 3a New Construction					
Vertical Glazing / Wall Area:	37%					
Construction Site: 19734 Kunkleman Dr. Cornelius, NC 28031	Designer/Contractor: Charles Wilber Dr. Wilber Associates 31 20044 Zion St. Cornelius, NC 28031					
Additional Efficiency Packa	ge(s)			1-892-3633 Iber303@ao	ol.com	
Reduced interior lighting power. Req	uirements are implicitly enforced within	n interior lighting	allowance c	alculations.		
Building Area		Floor /	Area			
1-Office (Office) : Nonresidentia			937			
Asser	mbly	Gross Area		Cont.	Proposed	
		Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor <sub>(a)</sub>
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment:	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d),	or Perimeter 6994			<b>U-Factor</b> 0.057	<b>Factor</b> (a)
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade:Unheated, [f (c)	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d),	or Perimeter	R-Value	R-Value	U-Factor	Factor <sub>(a)</sub>
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade:Unheated, [f (c) <u>NORTH</u> Exterior Wall 1: Steel-Framed, 24" o	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d), Bldg. Use 1 - Office] : Comment:	or Perimeter 6994	R-Value	R-Value	<b>U-Factor</b> 0.057	<b>Factor</b> (a)
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade:Unheated, [I (c) <u>NORTH</u> Exterior Wall 1: Steel-Framed, 24" o Comment: Window 1: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.12	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d), Bldg. Use 1 - Office] : Comment: .c., [Bldg. Use 1 - Office] : al Break:Fixed, Perf. Specs.:	or Perimeter 6994 353	R-Value	<b>R-Value</b> 16.8	U-Factor 0.057 0.730	Factor <sub>(a)</sub> 0.039 0.730
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade:Unheated, [I (c) <u>NORTH</u> Exterior Wall 1: Steel-Framed, 24" o Comment: Window 1: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.12 (b) Window 2: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.21	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d), Bldg. Use 1 - Office] : Comment: .c., [Bldg. Use 1 - Office] : al Break:Fixed, Perf. Specs.: ; [Bldg. Use 1 - Office] : Comment: al Break:Fixed, Perf. Specs.:	or Perimeter 6994 353 3284	<b>R-Value</b>  22.2	<b>R-Value</b> 16.8	U-Factor 0.057 0.730 0.086	Factor <sub>(a)</sub> 0.039 0.730 0.064
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade:Unheated, [f (c) <u>NORTH</u> Exterior Wall 1: Steel-Framed, 24" o Comment: Window 1: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.12 (b) Window 2: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.21 (b) Window 3: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.50	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d), Bldg. Use 1 - Office] : Comment: .c., [Bldg. Use 1 - Office] : al Break:Fixed, Perf. Specs.: c. [Bldg. Use 1 - Office] : Comment: al Break:Fixed, Perf. Specs.: , [Bldg. Use 1 - Office] : Comment: al Break:Fixed, Perf. Specs.:	or Perimeter 6994 353 3284 450	<b>R-Value</b>  22.2	<b>R-Value</b> 16.8	U-Factor 0.057 0.730 0.086 0.290	Factor <sub>(a)</sub> 0.039 0.730 0.064 0.460
Roof 1: Insulation Entirely Above De Year-Aged Solar Reflectance = 0.83 [Bldg. Use 1 - Office] : Comment: Floor 1: Slab-On-Grade:Unheated, [f (c) <u>NORTH</u> Exterior Wall 1: Steel-Framed, 24" o Comment: Window 1: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.12 (b) Window 2: Metal Frame with Therma Product ID n/a, SHGC 0.25, PF 0.21 (b) Window 3: Metal Frame with Therma	ck: High Albedo Roof Required, 3- , Thermal Emittance = 0.83 (d), Bldg. Use 1 - Office] : Comment: .c., [Bldg. Use 1 - Office] : al Break:Fixed, Perf. Specs.: c., [Bldg. Use 1 - Office] : Comment: al Break:Fixed, Perf. Specs.: , [Bldg. Use 1 - Office] : Comment: al Break:Fixed, Perf. Specs.: b, [Bldg. Use 1 - Office] : Comment: al Break:Fixed, Perf. Specs.:	or Perimeter 6994 353 3284 450 450	<b>R-Value</b>  22.2	<b>R-Value</b> 16.8	U-Factor 0.057 0.730 0.086 0.290 0.290	Factor <sub>(a)</sub> 0.039 0.730 0.064 0.460 0.460

COMcheck COMPLIANCE REPORT

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor <sub>(a)</sub>
<u>EAST</u> Exterior Wall 4: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment:	1472	22.2	0.0	0.086	0.064
Window 13: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment:	180			0.290	0.460
<ul> <li>(b)</li> <li>Window 14: Metal Frame with Thermal Break:Fixed, Perf. Specs.:</li> <li>Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment:</li> <li>(b)</li> </ul>	270			0.290	0.460
Door 4: Insulated Metal, Swinging, [Bldg. Use 1 - Office] : Comment:	21			0.350	0.610
Door 5: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Office] : Comment:	120			0.057	0.179
<u>SOUTH</u> Exterior Wall 2: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment:	3158	22.2	0.0	0.086	0.064
Window 5: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment: (b)	340			0.290	0.460
Window 6: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment: (b)	360			0.290	0.460
Window 7: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	150			0.290	0.460
(b) (b) (c) (c) (c) (c) (c) (c) (c) (c) (c) (c	135			0.290	0.460
Door 2: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.18, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	63			0.350	0.770
<u>WEST</u> Exterior Wall 3: Steel-Framed, 24" o.c., [Bldg. Use 1 - Office] : Comment:	2650	22.2	0.0	0.086	0.064
Window 9: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.12, [Bldg. Use 1 - Office] : Comment: (b)	360			0.290	0.460
Window 10: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.21, [Bldg. Use 1 - Office] : Comment: (b)	360			0.290	0.460
Window 11: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	122			0.290	0.460
Window 12: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.25, PF 0.17, [Bldg. Use 1 - Office] : Comment: (b)	230			0.290	0.460
Door 3: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.18, PF 0.50, [Bldg. Use 1 - Office] : Comment: (b)	21			0.350	0.770

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

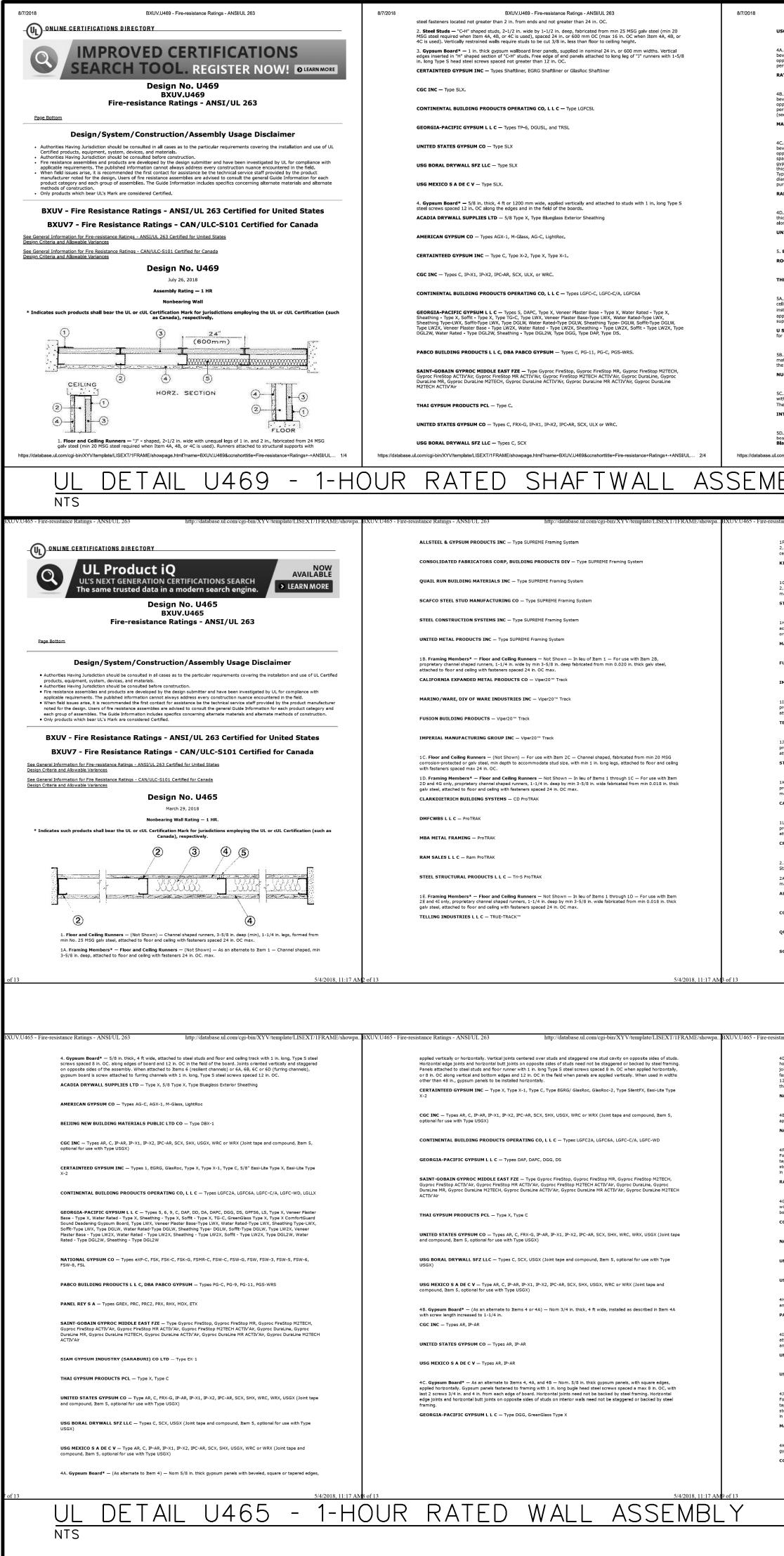
(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.
 (d) High albedo roof requirement options: 1) 3-year aged solar reflectance >= 0.55 thermal emittance >= 0.75, 2) 3-year aged solar reflectance index >= 64.0, 3) Initial year aged solar reflectance >= 0.70 thermal emittance >= 0.75, 4) Initial year aged solar reflectance >= 82.0.

Project ⊤itle: Watermark Condos Data filename: G:\Old Dell\Share\PROJECTS\wmkoffice-1948\WaterMark Office COMcheck.cck Report date: 05/19/20 Page 2 of 11 Project Title: Watermark Conc Data filename: G:\Old Dell\Share

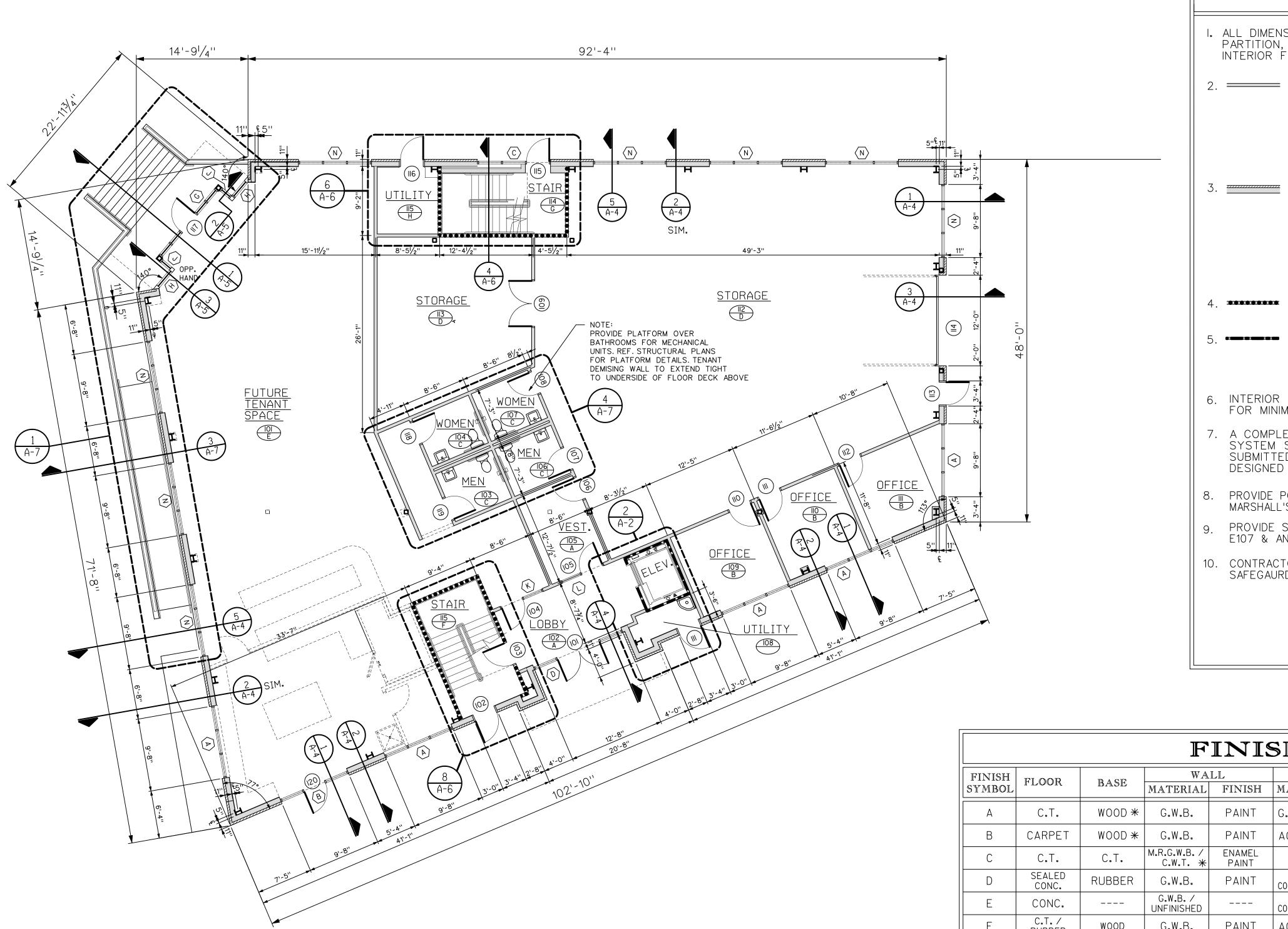
Envelope PASSES: Design 6 Envelope Compliance Statem Compliance Statement: The prop specifications, and other calculation designed to meet the 2015 IECC r requirements listed in the Inspect

Name - Title

6% better than code ement popsed envelope design represented in this document is consistent with the building plans, titons submitted with this permit application. The proposed envelope systems have been requirements in COM <i>check</i> Version 4.1.2.2 and to comply with any applicable mandatory ction Checklist		Wilber Associates Architecture / Planning P.O. Box 428 - 20044 N. Zion St. Cornelius, N.C. 28031 704-892-3633 NOTE This drawing is property of the firm, Wilber Associates. Reproduction or reuse in port or in whole without written permission is forbidden.
		S E A L
dos Report date: 05/19/20 Page 3 of 11		PROPOSED NEW BUILDING FOR WATERMARK OFFICE BUILDING 19354 WATERMARK DR. CORNELIUS, NORTH CAROLINA
		COMM. NO. 1948 DATE 5/18/20 REVISIONS



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<pre>aming Members* - Floor and Celling Rummers - Not Shown - Is have if among 1 bhough 1E - For use with Rum mind shaped normer, 1-10 mind by min 3-10 m, wiek attended to floor and oaling with fustames special 24 m. Or CO BUILDING SYSTEMS - CROCTUD Track Developed Celling Rummers - (Not Shown - In heur of Rum 1 bhough 1E - For use with Rum mind labeed normer, 1-11 mind deep by min 3-10 m, wiek, attended to floor and oaling with fustames special 24 m. Or CO BUILDING SYSTEMS - CROCTUD Track Developed Celling Rummers - (Not Shown - Channel shaped, fubricated from min 0.02 m, gat steel, min with to mind clase at dial dev. you with statements agreed mass 24 m. Or. NOV WARE, DV OF WARE INDUSTRIES INC - Uper20<sup>m</sup> Track VI:00 DEBUILDING PRODUCTS - Uper20<sup>m</sup> Track VI:00 RUMLING PRODUCTS - Uper20<sup>m</sup> Track RUMLING PRODUCTS LIC - Uper20<sup>mm</sup> - Not 28 MSG Qu0 Steel space 24 h. O.C. max. RUMLING PRODUCTS LIC - Uper SUMPERE Praming System RUMLING PRODUCTS LIC - Type SUMPERE Praming System RUMLING PRODUC</pre>	STEEL CONSTRUCTION SYSTEMS INC - Type SUPREME Framing System         UNITED METAL PRODUCTS INC - Type SUPREME Framing System         28. Framing Members* - Steel Studs - Not Shown - In Neu of Dam 2 - For use with Team 15, proprietary channal shaped steel studs, 1:1/4 in. viels by mh 3:5/6 in. deep fabricated from min 0.020 in. thick gaby steel. Studs cut 3/4 in. less in height than assembly height.         CALIFORNIA EXPANDED METAL PRODUCTS CO - Vipe/20**         CRACO MFG INC - SmartStud20**         MARINO/WARE, DIV OF WARE INDUSTRIES INC - Vipe/20**         FUSION BUILDING PRODUCTS - Vipe/20**         IMPERIAL MANUFACTURING GROUP INC - Vipe/20**         2.: Sheed Studs - (Ae an alternatio to Zon 2, For use with Team 45) - Channel shaped, fabricated from min 20 MSG constructed to min 10 in fact), spind at min 451 in 5.0C. Stude factorad from min 20 MSG constructed to the study 3: 4/2 in. less than assembly height.         2.: Sheed Studs - (Ae an alternatio to Zon 2, For use With Team 51 in 5.0C. Stude factorad from min 20 MSG constructed to constructed from min 20 MSG constructed to constructed to construct 20 in thick gaby steel, spaced a max of 24 in .0C. Stude steel steel steel stude - A an alternate to Zon 20 in. thick gaby steel, spaced a max of 24 in .0C. Stude steel steel stude - 2 in use step height 20 in the steel steel stude - A an alternate to Zon 20 in. thick gaby steel, spaced a max of 24 in .0C. Stude steel steel stude - 2 in use step height 20 in the steel s	<ul> <li>24. Framing Members* — Steel Studs — Not Shown — In like of Rem 2 — For use with Rem 11, elsy steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>24. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 0.020 in. thick gaiv steel. 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Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, fricti the studs and floor and celling runners. See Batts and Blankets (BZJZ) category for names of manufacturers. 3E. Batts and Blankets* — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.	And LINEAT/TERAME/showpar ton ft between r isulation BU DU DU DU DU DU DU DU DU DU D
<pre>maning Members* - Floor and Colling Rummers - Not Shown - In Neu of Rums 1 through 1E - For use with Rum mining Angele 24 - 10 - 10 - 10 - 10 - 10 - 10 - 10 - 1</pre>	STEEL CONSTRUCTION SYSTEMS INC - Type SUPREME Framing System         UNITED METAL PRODUCTS INC - Type SUPREME Framing System         28. Framing Members* - Steel Studs - Not Shown - In Neu of Dam 2 - For use with Team 15, proprietary channal shaped steel studs, 1:1/4 in. viels by mh 3:5/6 in. deep fabricated from min 0.020 in. thick gaby steel. Studs cut 3/4 in. less in height than assembly height.         CALIFORNIA EXPANDED METAL PRODUCTS CO - Vipe/20**         CRACO MFG INC - SmartStud20**         MARINO/WARE, DIV OF WARE INDUSTRIES INC - Vipe/20**         FUSION BUILDING PRODUCTS - Vipe/20**         IMPERIAL MANUFACTURING GROUP INC - Vipe/20**         2.: Sheed Studs - (Ae an alternatio to Zon 2, For use with Team 45) - Channel shaped, fabricated from min 20 MSG constructed to min 10 in fact), spind at min 451 in 5.0C. Stude factorad from min 20 MSG constructed to the study 3: 4/2 in. less than assembly height.         2.: Sheed Studs - (Ae an alternatio to Zon 2, For use With Team 51 in 5.0C. Stude factorad from min 20 MSG constructed to constructed from min 20 MSG constructed to constructed to construct 20 in thick gaby steel, spaced a max of 24 in .0C. Stude steel steel steel stude - A an alternate to Zon 20 in. thick gaby steel, spaced a max of 24 in .0C. Stude steel steel stude - 2 in use step height 20 in the steel steel stude - A an alternate to Zon 20 in. thick gaby steel, spaced a max of 24 in .0C. Stude steel steel stude - 2 in use step height 20 in the steel s	<ul> <li>24. Framing Members* — Steel Studs — Not Shown — In like of Rem 2 — For use with Rem 11, elsy steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>24. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 0.020 in. thick gaiv steel. Studs cut 3/4 in. less than assembly height.</li> <li>25. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 0.576 in. Geop Geophysical Steel, 3:5/8 in. Geop (min), speced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>26. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 25 MSG corrosino-protected steel, 3:5/8 in. Geop (min), speced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>27. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 18 (3:5/8 in. Geop, speced a max of 24 in . OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>28. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 18 (3:5/8 in. Geop, speced a max of 24 in . OC max. Studs to be cut 3/4 in less than assembly height.</li> <li>29. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 11, channel shaped studs, fabricated from min 25 MSG corrosino-protected at teel, 1:1/4 in. wide by 3:5/8 in. Geop, speced a max of 24 in . OC max. Studs to be cut 3/4 in less than assembly height.</li> <li>31. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 11, channel shaped studs, min 3:5/8 in. Geop, fabricated from min 25 MSG (0:010 in. min. bare metal thicknes). Stoed 24 in. OC Studs to be cut 3/4 in. less than assembly height.</li> <li>31. Framing Members* — Steel Studs — Not Shown — In liku of Rem 2 — For use with Rem 11, proprietary channel shaped steel studs, min 3:1/4 in. wide by min 3:5/8 in. Geop, fabricated from min 0:20 In thick gaiv steel. St</li></ul>	paBXUV.U465 - Fire-resistance Ratings - ANSI/UL 263 INTERNATIONAL CELLULOSE CORP — Celbar-RL 3D. Batts and Blankets* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, fricti the studs and floor and celling runners. See Batts and Blankets (BZJZ) category for names of manufacturers. 3E. Batts and Blankets* — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.	The function of the between it is a large from the between it
<pre>rams Members* - Poor and Celling Runners - Not Shown - In hiss of Rams 1 through 1E - for use with Rem mini shaped runnes, 1:1/4 h. deep by min 3:5/0 h. wide, hatched from min 2:5 MSG teal, attached to Roor and Celling Runnes, 1:1/4 h. deep by min 3:5/0 h. wide, attached to Roor and Celling With fasteners spaced 24 h. OC COC GUILLING SYSTEMS - CROCTUD Track Nor and Celling Runners - (Info Shown) - Channel spaced, fabricated from min 0.02 h. gaiv steel, min with to minischare and dieu, with in 1: hoop leg run with statistasteels below and babicated from min 0.02 h. gaiv steel, Nor and Celling Runners - (Info Shown) - Channel spaced, fabricated from min 0.02 h. gaiv steel, min with to minischare and dieu, brut hat statistastic spaced are with statistasteels below and babicated from min 0.02 h. gaiv steel, Nor and Celling Runners - (Info Shown) - Channel spaced, fabricated from min 0.02 h. gaiv steel, Nor and Celling Runners - (Info Runners - Info Shown - Info Nor Ban 1 - for use with Barn 2 fth through the Runners - How and Celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for for and celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for for and celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for for and celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for for and celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for for and celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for format celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for format celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for format celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for format celling Runners - Not Shown - In his of Barn 1 - for use with Barn 2 fth the for format. Lift A mit Key Yim 3.93 fth. deep Runner Barn 1 - for use with Barn 2 fth the for formas, Lift A mit Key Yim 3.93 ft</pre>	STEEL CONSTRUCTION SYSTEMS INC - Type SUPREME Framing System         UNITED METAL PRODUCTS INC - Type SUPREME Framing System         28. Framing Members* - Steel Studs - Not Shown - In Neu of Dam 2 - For use with Team 15, proprietary channal shaped steel studs, 1:1/4 in. viels by mh 3:5/6 in. deep fabricated from min 0.020 in. thick gaby steel. Studs cut 3/4 in. less in height than assembly height.         CALIFORNIA EXPANDED METAL PRODUCTS CO - Vipe/20**         CRACO MFG INC - SmartStud20**         MARINO/WARE, DIV OF WARE INDUSTRIES INC - Vipe/20**         FUSION BUILDING PRODUCTS - Vipe/20**         IMPERIAL MANUFACTURING GROUP INC - Vipe/20**         2.: Sheed Studs - (Ae an alternatio to Zon 2, For use with Team 45) - Channel shaped, fabricated from min 20 MSG constructed to min 10 in fact), spind at min 451 in 5.0C. Stude factorad from min 20 MSG constructed to the study 3: 4/2 in. less than assembly height.         2.: Sheed Studs - (Ae an alternatio to Zon 2, For use With Team 51 in 5.0C. Stude factorad from min 20 MSG constructed to constructed from min 20 MSG constructed to constructed to construct 20 in thick gaby steel, spaced a max of 24 in .0C. Stude steel steel steel stude - A an alternate to Zon 20 in. thick gaby steel, spaced a max of 24 in .0C. Stude steel steel stude - 2 in use step height 20 in the steel steel stude - A an alternate to Zon 20 in. thick gaby steel, spaced a max of 24 in .0C. Stude steel steel stude - 2 in use step height 20 in the steel s	<ul> <li>24. Framing Members* — Steel Studs — Not Shown — In like of Rem 2 — For use with Rem 11, elsy steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>24. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 0.020 in. thick gaiv steel. Studs cut 3/4 in. less than assembly height.</li> <li>25. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 0.576 in. Geop Geophysical Steel, 3:5/8 in. Geop (min), speced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>26. Framing Members* — Steel Studs — In like of Rem 2 — For use with Rem 1, channel shaped studs, fabricated from min 25 MSG corrosino-protected steel, 3:5/8 in. Geop (min), speced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>27. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 18 (3:5/8 in. Geop, speced a max of 24 in . OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>28. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 18 (3:5/8 in. Geop, speced a max of 24 in . OC max. Studs to be cut 3/4 in less than assembly height.</li> <li>29. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 11, channel shaped studs, fabricated from min 25 MSG corrosino-protected at teel, 1:1/4 in. wide by 3:5/8 in. Geop, speced a max of 24 in . OC max. Studs to be cut 3/4 in less than assembly height.</li> <li>31. Framing Members* — Steel Studs — As an alternate to Rem 2 — For use with Rem 11, channel shaped studs, min 3:5/8 in. Geop, fabricated from min 25 MSG (0:010 in. min. bare metal thicknes). Stoed 24 in. OC Studs to be cut 3/4 in. less than assembly height.</li> <li>31. Framing Members* — Steel Studs — Not Shown — In liku of Rem 2 — For use with Rem 11, proprietary channel shaped steel studs, min 3:1/4 in. wide by min 3:5/8 in. Geop, fabricated from min 0:20 In thick gaiv steel. St</li></ul>	INTERNATIONAL CELLULOSE CORP — Celbar-RL 3D. Batts and Blankets* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, fricti the studs and floor and celling runners. See Batts and Blankets (BZJZ) category for names of manufacturers. 3E. Batts and Blankets* — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.	Internet in the between Intern
<pre>inde inspace numbers - 1-14 in. takes by min 3-56 in. wide fabricated from min 25 M5G steel, attached to floor and with headwarg acceleration of the steel o</pre>	UNITED METAL PRODUCTS INC — Type SUPREME Framing System  28. Framing Members* — Steel Studs — Not Shown — In leu of Rem 2 — For uss with Rem 18, proprietary channel shaped steel studs, 1:1/4 in. wide by min 3:5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in hight than assembly hight.  CALIFORNIA EXPANDED METAL PRODUCTS CO — Vper20**  CRACO MFG INC — SmartStud20**  MARINO/WARE, DIV OF WARE INDUSTRIES INC — Vper20**  FUSION BUILDING PRODUCTS — Vper20**  IMPERIAL MANUFACTURING GROUP INC — Vper20**  21. Steel Studs — (As an atemate to Rem 2, For use with Rem 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 15 in. O.C. Studs fiction-fit into floor and celling runnes. Studs to cut 3/4 in 3/5 (8) n. wide Shortadot fom min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs for Gorl, how a steel shaped to the steel state assembly height.  22. Steel Studs — (As an atemate to Rem 2, For use with Rem 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 15 in. O.C. Studs fiction-fit into floor and celling runnes. Studs to be (x) to 3/4 n. ins shapesh begint.  23. Framing Members* — Steel Studs — As an atemate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  24. CHARKDIETRICH BUILDING SYSTEMS — CD ProSTUD  25. Framing Members* — Steel Studs — A to a themate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  24. Framing Members* — Steel Studs — A to a themate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  25. Framing Members* — Steel Studs — A to an atemate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  26. Framing Members* — Steel Studs — A to an atemate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  27. Here Studs = L C — Rem ProSTUD  28. Framing Members* — Steel Studs — A to an atemate to Rem 2 br	<ul> <li>shaped steel study, 1-1/4 h, wide by min 3-5/8 h, deep fabricated from min 0.020 h, thick galv steel. Studs cut 3/4 h, less h h anght han assembly height.</li> <li>TELLING INDUSTRIES L L C - Viper20"</li> <li>21. Framing Members* - Steel Studs - In leu of Itam 2 - For use with Itam 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 h, deep (min), spaced 24 h. OC max. Studs to be cut 3/4 h, less than assembly height.</li> <li>EB HETAL INC - NITROSTUD</li> <li>22. Framing Members* - Steel Studs - In leu of Itam 2 - For use with Itam 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 h, deep (min), spaced 24 h. OC max. Studs to be cut 3/4 h, less than assembly height.</li> <li>OLMAR THOM (MARE JOBUST)</li> <li>23. Framing Members* - Steel Studs - As an alternate to Itam 2 - For use with Itam 18 (3-5/8 h, wide track), channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 h, wide by 3-3/8 h, deep, spaced a max of 24 h. OC. Studs to be cut 3/4 h, less than assembly height.</li> <li>CLARTINO (WARE JOV OF WARE INDUSTRIES INC - Studikte"''</li> <li>24. Framing Members* - Steel Studs - As an alternate to Itams 2 - For use with Itam 18, class, than assembly height.</li> <li>DTELL INVESTMENT GROUP L L C - AlphaSTUD</li> <li>25. Found to be cut 3/6 h or 3/4 h, less than assembly height.</li> <li>CALIFORNIA EXPANDED METAL GROUP L L C - AlphaSTUD</li> <li>27. Framing Members* - Steel Studs - Not Shown - In leu of Itam 2 - For use with Item 1K, proprietary channel shaped studs, min 3-5/8 h, deep, fabricated from min 0.25 h, hith kills witsel. Studs cut 3/4 h, less than assembly height.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO - Vipar X</li> <li>28. Framing Members* - Steel Studs - Not Shown - In leu of Itam 2 - For use with Item 1L, proprietary channel shaped stud, 1/4 h, wits by min 3-5/8 h, deep fabricated from min 0.25 MSG (0.018 h, min, bare metal thickness). Studs cut 3/4 h, less h length than assembly height.<td>3D. Batts and Blankets* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, fricti the studs and floor and celling runners. See Batts and Blankets (BZJZ) category for names of manufacturers. 3E. Batts and Blankets* — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.</td><td>r resultion TITLE TITLE DR. DR. DR. DR. DR. DR. DR. DR. DR. DR.</td></li></ul>	3D. Batts and Blankets* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, fricti the studs and floor and celling runners. See Batts and Blankets (BZJZ) category for names of manufacturers. 3E. Batts and Blankets* — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.	r resultion TITLE TITLE DR.
y with missions spaced 24 in. OC max. I (HONG KONG) LTD — Type KIREI Training Members* — Floor and Colling Runners — Not Shown — In his of Items 1 through 1F — For use with item mindel shaped numbers, 1 - (An et al. yho mi 3-5/n in. with, statesheet by Nov and Colling Numbers = (Rot Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min within to models and Colling Runners — (Rot Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min within to models and dual stee, with min 1 in. km j age, for use with dual specified below and fabricated from min 0.02 in. galv steel, with a state for and colling Runners = (Rot Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min within to models and dual stee, with min 1 in. km j age, for use with dual specified below and fabricated from min 0.02 in. galv steel, with a state for and colling Runners = hot 0.0000 min 0.020 h. those shaped steels the for and colling Runners = (Rot Shown) — Channel shaped, fabricated from min 0.020 h. those galv steel, the for and colling Runners = hot 95/8 n. deep fabricated from min 0.020 h. those galv steel, the for a steel shaped runners, 1.1/4 h. wide by min 5/6 n. deep fabricated from min 0.020 h. those galv steel, the for a steel shaped runners, 1.1/4 h. wide by min 5/6 n. deep fabricated from min 0.010 h. those galv steel, the for a steel shaped runners, 1.1/4 h. wide by min 5/6 n. deep fabricated from min 0.010 h. those galv steel, the for a steel shaped runners, 1.1/4 h. wide by min 5/6 n. deep fabricated from min 0.010 h. those galv steel, the for and colling Runners — Not Shown — in Isu of Item 1 — For use with Item 21/4, theory channels haped runners, 1.1/4 h. wide by min 3/6 n. deep fabricated from min 0.010 h. those galv steel, the for and colling Runners — Not Shown — in Isu of Item 1 — For use with Item 21/4, theory channels haped runners, 1.1/4 h. wite ja min 3/6 fabricated from min 0.020 h. those galv steel, the for and colling Runners — Not Shown — in Isu of Item	UNITED METAL PRODUCTS INC — Type SUPREME Framing System  28. Framing Members* — Steel Studs — Not Shown — In leu of Rem 2 — For uss with Rem 18, proprietary channel shaped steel studs, 1:1/4 in. wide by min 3:5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in hight than assembly hight.  CALIFORNIA EXPANDED METAL PRODUCTS CO — Vper20**  CRACO MFG INC — SmartStud20**  MARINO/WARE, DIV OF WARE INDUSTRIES INC — Vper20**  FUSION BUILDING PRODUCTS — Vper20**  IMPERIAL MANUFACTURING GROUP INC — Vper20**  21. Steel Studs — (As an atemate to Rem 2, For use with Rem 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 15 in. O.C. Studs fiction-fit into floor and celling runnes. Studs to cut 3/4 in 3/5 (8) n. wide Shortadot fom min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs for Gorl, how a steel shaped to the steel state assembly height.  22. Steel Studs — (As an atemate to Rem 2, For use with Rem 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 15 in. O.C. Studs fiction-fit into floor and celling runnes. Studs to be (x) to 3/4 n. ins shapesh begint.  23. Framing Members* — Steel Studs — As an atemate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  24. CHARKDIETRICH BUILDING SYSTEMS — CD ProSTUD  25. Framing Members* — Steel Studs — A to a themate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  24. Framing Members* — Steel Studs — A to a themate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  25. Framing Members* — Steel Studs — A to an atemate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  26. Framing Members* — Steel Studs — A to an atemate to Rem 2 brough 2C — For use with Rem 1D and 4G only, channel shaped stude.  27. Here Studs = L C — Rem ProSTUD  28. Framing Members* — Steel Studs — A to an atemate to Rem 2 br	<ul> <li>In length than assembly height.</li> <li>TELLING INDUSTRIES LL C – V[par20"</li> <li>21. Framing Members* – Steel Studs – In leu of Item 2 – For use with Item 1, channel shaped studs, fabricated from min 25 MSG consisten-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>ED METAL INC – NITROSTUD</li> <li>21. Framing Members* – Steel Studs – In leu of Item 2 – For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>OLMAR SUPPLY INC – PRIMESTUD</li> <li>23. Framing Members* – Steel Studs – As an alternate to Item 2 – For use with Item 18 (15:5/8 in. wide track), channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.</li> <li>CHAR SUPPLY INC – PRIMESTUD</li> <li>24. Framing Members* – Steel Studs – As an alternate to Item 2 – For use with Item 13, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.</li> <li>CHEL INVESTMENT GROUP LL C – AphaSTUD</li> <li>24. Framing Members* – Steel Studs – Not Shown – In leu of Rum 2 – For use with Item 11, proprietary channel shaped studs, fabricated from min 0.028 in. thick gab steel, spaced a max 0724 in. OC. Studs to be cut 3/4 in. less than assembly height.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO – Vipar X</li> <li>24. Framing Members* – Steel Studs – Not Shown – In leu of Rum 2 – For use with Item 11, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick gab steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO – Vipar X</li> <li>24. Framing Members* – Steel Studs – No</li></ul>	the studs and floor and ceiling runners. See <b>Batts and Blankets</b> (BZJZ) category for names of manufacturers. 3E. <b>Batts and Blankets*</b> — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.	r resultion TITLE TITLE DR.
ame i apage unmers, 1-1/4 in deep by im 3-5/8 in, wide, attachted to floor and ceiling with flatteners spaced 24 in .0C COG BUILDING SYSTEMS — CROCSTUD Track Inter and Ceiling Runners — (Not Shown) — Channel shaped, fabricated from min 0.02 in, gab steel min with to how attached to make the provide steep with the provide max 24 in .0C IND/WARE, DIV OF WARE INDUSTRIES INC — VUP2D" Track VT100 INTER INDUSTRIES INC — VUP2D" Track INTER INDUSTRIES INC — VUP2D INTER INTER INDUSTRIES INC — TYPE SUPREME Framing System INTER INDUSTRIES INTER INTER INTER INTER INTER I	<ul> <li>28. Framing Members* – Steel Studs – Not Shown – In lieu of Rem 2 – For use with Rem 18, proprietary channel shaped steel studs, 11/4 h., wide by min 3-5/8 h., deep fabricated from min 0.020 h. thick galv steel. Studs cut 3/4 h. less in length than assembly hight.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO – Viper20"*</li> <li>CRACO MFG INC – SmartStud20"*</li> <li>MARINO/WARE, DIV OF WARE INDUSTRIES INC – Viper20"*</li> <li>FUSION BUILDING PRODUCTS – Viper20"*</li> <li>IMPERIAL MANUFACTURING GROUP INC – Viper20"*</li> <li>20. Steel Studs – (As an alternate to Rem 2, For use with Rem 4E) – Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in, min digth, ispaced a max of 1 s in. O.C. Studs intchor-fit into floor and celling numers. Studs to be cut 3/4 in. J. Stude Steel Studs – A sin alternate to Rem 2, For use with Rem 4E) – Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in, min digth, ispaced a max of 1 s in. O.C. Studs intchor-fit into floor and celling numers. Stude Sto be cut 3/4 in. J. Stude Steel Studs – A sin alternate to Rem 2, through 2C – For use with Rem 1D and 4G only, channel shaped steel shaped steel studes – D CD ProSTUD</li> <li>DMFCWBS LL C – PrOSTUD</li> <li>IMBA METAL FRAMING – PrOSTUD</li> <li>IMBA METAL FRAMING – PrOSTUD</li> <li>STEEL STRUCTURAL PRODUCTS LL C – Tri-S ProSTUD</li> <li>STEEL STRUCTURAL PRODUCTS LL C – Tri-S ProSTUD</li> <li>ZE, Framing Members* – Steel Studs – A an alternate to Rem 3 2 through 2D – For use with Rem 1E and 41 only, channel shaped stud, in 3-5/8 n, wide stockarded from min 0.018 in, thick galv steel, spaced a max of 24 in. O.C. Stude to be cut 1/2 in. less than assembly height.</li> <li>ZE, Framing Members* – Steel Studs – A an alternate to Rem 3 2 through 2D – For use with Rem 1E and 41 only, channel shaped stude, into 3-5/8 n, wide fabricated from min 0.018 in, thick galv steel, spaced a max of 24 in. O.C. Stude to be cut 1/2 in. less than assembly height.</li> <li>ZE, Framin</li></ul>	<ul> <li>mi 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>EB METAL INC - NITROSTUD</li> <li>21. Framing Members* - Steel Studs - In leu of Item 2 - For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.</li> <li>OLMAR SUPPLY INC - PRIMESTUD</li> <li>24. Framing Members* - Steel Studs - As an alternate to Item 2 - For use with Item 18 (3-5/8 in. wide track), channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 to 3/4 to 3/4 to 185G corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 to 3/4 t</li></ul>	See <b>Batts and Blankets</b> (BZJZ) category for names of manufacturers. 3E. <b>Batts and Blankets*</b> — For use with Item 4P. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.	ING FOR THE DR. DR.
CO BUILDING SYSTEMS - CROCETUD Tack         Incomparison Calling Runners - (lot Shown) - Channel habed, fickated form min 0.02 in. gain stead         Core and Calling Runners - (lot Shown) - Channel habed, fickated form min 0.02 in. gain stead         Core and Calling Runners - (lot Shown) - Channel habed, fickated form min 0.02 in. gain stead         Core and Calling Runners - (lot Shown) - Channel habed, fickated form min 0.02 in. gain stead         Core and Calling Runners - (lot Shown) - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. gain stead         Core and Calling Runners - (lot Shown) - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed         Introduction of Calling Runners - Not Shown - Dhu of Barn 1 - For use with Barn 24, fickated form min 0.02 in. thick gain steed <t< td=""><td>shapad steal study, 1-1/4 in, wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CALIFORNIA EXPANDED METAL PRODUCTS CO – V[per20"* CRACO MFG INC – SmartStud20"* MARINO/WARE, DIV OF WARE INDUSTRIES INC – V[per20"* FUSION BUILDING PRODUCTS – V[per20"* IMPERIAL MANUFACTURING GROUP INC – V[per20"* 2C. Steel Studs – (As an alternate to Item 2, For use with Item 4E) – Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 n. min depth, spaced a max of 16 in. OC. Studs friction-fk into floor and celling runners. Studs to be cut 5/8 to 3/4 in. kas than assembly height. 2D. Framing Members* – Steel Studs – As an alternate to Item 2 through 2C – For use with Item 1D and 4G only, channel shaped studia, min 3-5/8 in. Wind Fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. CLARKDIETRICH BUILDING SYSTEMS – CD ProSTUD DMFCWBS LL C – ProSTUD MBA METAL FRAMING – ProSTUD STEEL STRUCTURAL PRODUCTS LL C – Tri-S ProSTUD 2E. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studia, min 3-5/8 in. Wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. TELLING INDUSTRIES LL C – TRI-S TROSTUD 25. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studia, min 3-5/8 in. Wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. TELLING INDUSTRIES LL C – TRI-S STUD" 27. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1F, channel shaped study, min 3-5/8 in. Wide fabricated from min 0.25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</td><td>essembly height. EB METAL INC – NITROSTUD  1). Framing Members* – Steel Studs – In lieu of Item 2 – For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 h. deep (mN), spaced 24 h. OC max. Studs to be cut 3/4 in. less than assembly height.  ILE Studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.  ARRINO/WARE, DIV OF WARE INDUSTRIES INC – StudRea<sup>™</sup>  2. Framing Members* – Steel Studs – As an abarnate to Item 2 – For use with Item 13, channel shaped atuds, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.  ARRINO/WARE, DIV OF WARE INDUSTRIES INC – StudRea<sup>™</sup>  2. Framing Members* – Steel Studs – As an abarnate to Item 2 – For use with Item 13, channel shaped studs, min 3-5/6 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.  STEEL INVESTMENT GROUP LL C – AlphaSTUD  2M. Framing Members* – Steel Studs – Not Shown – In leu of Item 2 – For use with Item 1K, proprietary channel shaped steel studs, in 1-1/4 in. wide by min 3-5/9 in. deep, fabricated from min 0.20 (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.  CALIFORNIA EXPANDED METAL PRODUCTS CO – Viper X  2N. Framing Members* – Steel Studs – Not Shown – In leu of Item 2 – For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/9 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.  CALIFORNIA EXPANDED METAL PRODUCTS CO – Viper X  2N. Framing Members* – Steel Studs – Not Shown – In leu of Item 2 – For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/9 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in l</td><td></td><td>NG FOR NG FOR E BUILDING DR. ROLINA</td></t<>	shapad steal study, 1-1/4 in, wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CALIFORNIA EXPANDED METAL PRODUCTS CO – V[per20"* CRACO MFG INC – SmartStud20"* MARINO/WARE, DIV OF WARE INDUSTRIES INC – V[per20"* FUSION BUILDING PRODUCTS – V[per20"* IMPERIAL MANUFACTURING GROUP INC – V[per20"* 2C. Steel Studs – (As an alternate to Item 2, For use with Item 4E) – Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 n. min depth, spaced a max of 16 in. OC. Studs friction-fk into floor and celling runners. Studs to be cut 5/8 to 3/4 in. kas than assembly height. 2D. Framing Members* – Steel Studs – As an alternate to Item 2 through 2C – For use with Item 1D and 4G only, channel shaped studia, min 3-5/8 in. Wind Fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. CLARKDIETRICH BUILDING SYSTEMS – CD ProSTUD DMFCWBS LL C – ProSTUD MBA METAL FRAMING – ProSTUD STEEL STRUCTURAL PRODUCTS LL C – Tri-S ProSTUD 2E. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studia, min 3-5/8 in. Wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. TELLING INDUSTRIES LL C – TRI-S TROSTUD 25. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studia, min 3-5/8 in. Wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. TELLING INDUSTRIES LL C – TRI-S STUD" 27. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1F, channel shaped study, min 3-5/8 in. Wide fabricated from min 0.25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.	essembly height. EB METAL INC – NITROSTUD  1). Framing Members* – Steel Studs – In lieu of Item 2 – For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 h. deep (mN), spaced 24 h. OC max. Studs to be cut 3/4 in. less than assembly height.  ILE Studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.  ARRINO/WARE, DIV OF WARE INDUSTRIES INC – StudRea <sup>™</sup> 2. Framing Members* – Steel Studs – As an abarnate to Item 2 – For use with Item 13, channel shaped atuds, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.  ARRINO/WARE, DIV OF WARE INDUSTRIES INC – StudRea <sup>™</sup> 2. Framing Members* – Steel Studs – As an abarnate to Item 2 – For use with Item 13, channel shaped studs, min 3-5/6 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.  STEEL INVESTMENT GROUP LL C – AlphaSTUD  2M. Framing Members* – Steel Studs – Not Shown – In leu of Item 2 – For use with Item 1K, proprietary channel shaped steel studs, in 1-1/4 in. wide by min 3-5/9 in. deep, fabricated from min 0.20 (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.  CALIFORNIA EXPANDED METAL PRODUCTS CO – Viper X  2N. Framing Members* – Steel Studs – Not Shown – In leu of Item 2 – For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/9 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.  CALIFORNIA EXPANDED METAL PRODUCTS CO – Viper X  2N. Framing Members* – Steel Studs – Not Shown – In leu of Item 2 – For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/9 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in l		NG FOR NG FOR E BUILDING DR. ROLINA
<pre>mmodes tude study active with much speed for use with study appending below and fabricated from min 0.02 h, get steel skeet, attached to form and celling with steeness append must 24 h, 0C. INP/WARE, DIV OF WARE INDUSTRIES INC - Uper20<sup>=+</sup> Track VT100 ERIAL MANUFACTURING GROUP INC - Uper20<sup>++</sup> Track ERIAL STATEMENT GROUP ILC - Uper20<sup>++</sup> Track ERIAL STATEMENT GROUP ILC - AlphaTRAK Framing Members<sup>+</sup> - Floor and Celling Rumers - Not Shown - In leu of Zem 1 - For use with Zem 24, histore, standard for groups - 1.0<sup>+</sup> h, wide by Imin 3-5/5 h, deep, habitated from Imin 0.020 h, thick galv steel, her of normal Celling With Statemers appeed 24 h. O C max. ERIAL STATEMENT GROUP ILC - AlphaTRAK Framing Members<sup>+</sup> - Floor and Celling Rumers - Not Shown - In leu of Zem 1 - For use with Zem 24, histore, standard for groups - 1.1<sup>+</sup> h, wide by Imin 3-5/5 h, deep, habitated from Imin 0.020 h, thick galv steel, her of state and celling With Statemers appeed 24 h. O C max. Co MFG INC - SmattTrack20<sup></sup> Eriel Studs - Channel shaped J, Jin Geng Abbitated from Imin 0.020 h, thick galv steel, her of 324 h, less than assembly height. Training Members<sup>+</sup> Steel Studs - As an absemate To Dem 7 Lype SUPREME Framing System ERIAL STUD MANUFACTURING CO - Type S</pre>	CRACO MFG INC – SmartStud20 <sup>III</sup> MARINO/WARE, DIV OF WARE INDUSTRIES INC – Viper20 <sup>III</sup> FUSION BUILDING PRODUCTS – Viper20 <sup>IIII</sup> FUSION BUILDING PRODUCTS – Viper20 <sup>IIIII</sup> C. Steel Studs – (As an alternate to Item 2, For use with Item 4E) – Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and celling runners. Studs to be cut 5/8 to 3/4 in. ites than assembly height. 20. Framing Members* – Steel Studs – As an alternate to Item 2 through 2C – For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. CLARKOITERICH BUILDING SYSTEMS – CD ProSTUD DMFCWBS LL C – ProSTUD MBA METAL FRAMING – ProSTUD STEEL STRUCTURAL PRODUCTS LL C – Tri-S ProSTUD 22. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. CLARKOITERICH BUILDING SYSTEMS – CD ProSTUD MEGA METAL FRAMING – ProSTUD STEEL STRUCTURAL PRODUCTS LL C – Tri-S ProSTUD 24. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. 25. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. 26. Framing Members* – Steel Studs – As an alternate to Items 2 through 2E – For use with Item 1F, channel shaped stude, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. O	min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height. OLMAR SUPPLY INC — PRIMESTUD 2X, Framing Members* — Steel Studs — As an alternate to Tam 2 — For use with Tem 18 (3-5/8 in. wide track), channel shaped studs, fibritated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 to be c		NG FOR NG FOR E BUILDING DR. ROLINA
IND/WARE, DIV OF WARE INDUSTRIES INC — Uper20 <sup>11</sup> Track VT100 EXALL MANUFACTURING GROUP INC — Uper20 <sup>11</sup> Track VT100 EXALL MANUFACTURING GROUP INC — Uper20 <sup>11</sup> Track VT100 Inter group of the states as a state of the state o	MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20 <sup>III</sup> FUSION BUILIDING PRODUCTS — Viper20 <sup>IIII</sup> MPERIAL MANUFACTURING GROUP INC — Viper20 <sup>IIIII</sup> 2C. Steel Studs — (As an alternate to Item 2, For use with Item 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or gain steel, 3-1/2 in. min depth, speed a max of 16 in. OC. Studs friction-fit into floor and celling runnes. Studs to be ut 5/8 to 3/4 in. less than assembly height. 2.0. Framing Members* — Steel Studs — As an alternate to Items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. Wide fabricated from min 0.018 in. thick gain steel, spaced a max of 24 in. OC. Studs to the cut 1/2 in. less than assembly height. 2.0. Framing Members* — Steel Studs — A sa nalternate to Items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. Wide fabricated from min 0.018 in. thick gain steel, spaced a max of 24 in. OC. Studs to the cut 1/2 in. less than assembly height. 3.0. Framing Members* — Steel Studs — A sa nalternate to Items 2 through 2D — For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick gain steel, spaced a max of 24 in. OC. Studs to to to 1/2 in. less than assembly height. 3.0. Framing Members* — Steel Studs — A sa an alternate to Items 2 through 2D — For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick gain steel, spaced a max of 24 in. OC. Studs to the to 1/2 in. less than assembly height. 3.0. Framing Members* — Steel Studs — A sa an alternate to Items 2 through 2D — For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick gain steel, spaced a max of 24 in. OC. Studs to be to 1/2 in. less than assembly height. 3.0. Framing Members* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped steel, min 3-5/8 in. wide fabricated from min 0.518 in. thick gain steel, spaced	OLMAR SUPPLY INC - PRIMESTUD         2X, Framing Members* - Steel Studs - As an alternate to Itam 2 - For use with Item 18 (3:5/8 in. wide track), channel shaped studs, finitated from min 2.5 M SG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 to 3/4 in. less than assembly height.         MARINO/WARE, DIV OF WARE INDUSTRIES INC - StudRite**         2L. Framing Members* - Steel Studs - As an alternate to Items 2 - For use with Item 13, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.016 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.         STEEL INVESTMENT GROUP LL C - AlphaSTUD         2M. Framing Members* - Steel Studs - Not Shown - In lieu of Item 2 - For use with Item 1K, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 2.5 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in lengt than assembly height.         CALIFORNIA EXPANDED METAL PRODUCTS CO - Viper X         2N. Framing Members* - Steel Studs - Not Shown - In lieu of Item 2 - For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in lengt than assembly height.         CALIFORNIA EXPANDED METAL PRODUCTS CO - Viper X         2N. Framing Members* - Steel Studs - Not Shown - In lieu of Item 2 - For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.         CRACO MFG INC - SmartStud20**       3. Batts and Bla		NG FO.
RIAL MANUFACTURING GROUP INC - Vper20 <sup>m</sup> Track VT100         raming Members* - Floor and Colling Runners - Not Shown - in lew of Item 1 - For use with Item 2H, testing the indexing speed 24 in .0 C max.         INF DIAL C - Vper20 <sup>m</sup> Track         raming Members* - Floor and Colling Runners - Not Shown - in lew of Item 1 - For use with Item 2 L, testing the indexing speed 24 in .0 C max.         INFESTIONE         INFORMET - Floor and Colling Runners - Not Shown - in lew of Item 1 - For use with Item 2 L, testing the indexing speed 24 in .0 C max.         INFESTIONE         INFORMET - Floor and Colling Runners - Not Shown - in lew of Item 1 - For use with Item 2 L, testing themps who is \$25 is .0 c max.         INFESTIONE         INFORMET - Floor and Colling Runners - Not Shown - in lew of Item 1 - For use with Item 2M, testing themps is speed 24 in .0 C max.         INFERTIONE         INFERTIONE         INFERTIONE         INFORMET - Floor and Colling Runners - Not Shown - in lew of Item 1 - For use with Item 2M, testing the index is passed 24 in .0 C max.         INFERTIONE	IMPERIAL MANUFACTURING GROUP INC - V per20**         2C. Steal Studs - (As an alternate to Itam 2, For use with Item 4E) - Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-ft into floor and celling numers. Studs to be cut 5/8 to 3/4 in. less than assembly height.         2D. Framing Members* - Steel Studs - As an alternate to Items 2 through 2C - For use with Item 10 and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         CLARKDIETRICH BUILDING SYSTEMS - CD ProSTUD         DMFCWBS L L C - ProSTUD         MBA METAL FRAMING - ProSTUD         STEEL STRUCTURAL PRODUCTS L L C - Tri-S ProSTUD         2E. Framing Members* - Steel Studs - As an alternate to Items 2 through 2D - For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         2E. Framing Members* - Steel Studs - As an alternate to Items 2 through 2D - For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         TELLING INDUSTRIES L L C - TRUE-STUD**         2F. Framing Members* - Steel Studs - As an alternate to Items 2 through 2E - For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.	shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. O.C. Studs to be cut 3/8 to 3/4 in. less than assembly height. MARINO/WARE, DIV OF WARE INDUSTRIES INC — StudRte <sup>**</sup> 2L. Framing Members* — Steel Studs — As an alternate to Items 2 — For use with Item 11, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height. STEEL INVESTMENT GROUP L L C — AlphaSTUD 2M. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height. CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X 2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X 2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CRACO MFG INC — SmartStud20 <sup>**</sup> 3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filing stud cavity. See Batts and Blankets (B2J2) category for names of Classified companies. 3. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Bortes Formulation) — Syray applied cellulose material. The fiber is applied with water to completely fil the enclosed cavity in accordance with the application instructions supplied with the product. Whout water or adhesive at a nominal dry density of 3.5 lb/ft <sup>3</sup>		NG FO.
<pre>aming Members* - Floor and Ceiling Runners - Not Shown - in leu of Rem 1 - For use with Rem 2H, teary channel shaped runners, 1-1/4 h. wide by min 3-5/8 h. deep fabricated from min 0.020 h. thick galv steel, hed to four and celling with fasteners spaced 24 h. OC max. ING INDUSTRIES LL C - Viger20" Track aming Members* - Floor and Ceiling Runners - Not Shown - in leu of Rem 1 - For use with Rem 2 L, teary channel shaped runners, 1-1/4 h. deep by min 3-5/8 h. wide fabricated from min 0.018 in. thick galv steel, hed to four and celling with fasteners spaced 24 h. OC max. LINVESTMENT GROUP LL C - AlphaTRAK training Members* - Floor and Ceiling Runners - Not Shown - in leu of Rem 1 - For use with Rem 2M, teary channel indep runnes, 1-1/4 h. wide by min 3-5/8 h. deep fabricated from min 25 MSG (0.018 in. min. bare linkkness), attached to floor and ceiling Runners - Not Shown - in leu of Rem 1 - For use with Rem 2N, teary channel indep runnes, 1-1/4 h. wide by min 3-5/8 h. deep fabricated from min 0.020 in. thick galv steel, linkkness), attached to floor and ceiling Runners - Not Shown - in leu of Rem 1 - For use with Rem 2N, teary channel indep runnes, 1-1/4 h. wide by min 3-5/8 h. deep fabricated from min 0.020 in. thick galv steel, linkkness), attached to floor and seeling with fasteners spaced 24 h. OC max. FORMA EXPANDED METAL PRODUCTS CO - Viger X Track rating Members* - Floor and Ceiling Runners - Not Shown - in leu of Rem 1 - For use with Rem 2N, teatry channel shaped runnes, 1-1/4 h. wide by min 3-5/8 h. deep fabricated from min 0.020 in. thick galv steel, let for on an deing with fasteners spaced 24 h. OC max. To MFG INC - SmartTrack20" Rel Stude - Channel shaped, 3-5/8 h. deep (min), formed from min No. 25 MSG galv steel spaced 24 h. OC max. Li to bot ci 3/4 h. less than assembly height. TREL &amp; GYPSUM PRODUCTS INC - Type SUPREME Framing System LI RUN BUILDING MATERIALS INC - Type SUPREME Framing System CO STEEL STUD MANUFACTURING CO - Type SUPREME Framing System SU/2018, 11:17 AM of 13</pre>	2C. Steel Studs — (As an alternate to Item 2, For use with Item 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and celling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height.         2D. Framing Members* — Steel Studs — As an alternate to Items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         CLARKDIETRICH BUILDING SYSTEMS — CD ProSTUD         DMFCWBS L L C — ProSTUD         MBA METAL FRAMING — ProSTUD         RAM SALES L L C — Ram ProSTUD         Steel Studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         CLINK SALES L L C — ProSTUD         MBA METAL FRAMING — ProSTUD         XE. Framing Members* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         TELLING INDUSTRIES L L C — TRUE-STUD <sup>™</sup> 2F. Framing Members* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 41 only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         TELLING INDUSTRIES L L C — TRUE-STUD <sup>™</sup> 2F. Framing M	<ul> <li>2L. Framing Members* — Steel Studs — As an alternate to Items 2 — For use with Item 11, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.</li> <li>STEEL INVESTMENT GROUP LLC — AlphaSTUD</li> <li>2M. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X</li> <li>2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>CRACO MFG INC — SmartStud20<sup>™</sup></li> <li>3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filing stud cavity. See Batts and Blankets (B212) category for names of Classified companies.</li> <li>3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (tem 3) — (100% Borate Formulation) — Spray appled cellulose material. The fiber is applied with the product with a nominal dry density of 2.7 lb/t<sup>3</sup>. Atternate Application Method: The fiber is applied without water or completely fil the enclosed eavity in accordance with the eproduct.</li> <li>U S GREENFIBER L L C — INS735 &amp; INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for</li> </ul>		NG FO.
<pre>istary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick gaiv steel, held for on af deeling with fasteners spaced 24 h. OC max.</pre> ING INDUSTRIES L L C - Viper20 <sup>TH</sup> Track Traming Members* - Floor and Celling Runners - Not Shown - In leu of Rams 1 - For use with Ram 2 L, withay channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick gaiv steel, held to floor and celling Runners - Not Shown - In leu of Rams 1 - For use with Ram 2M, Mistary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 2.5 MSG (0.018 in. min. bare thiskey channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 2.5 MSG (0.018 in. min. bare thiskeys), attached to floor and celling Runners - Not Shown - In leu of Ram 1 - For use with Ram 2M, Mistary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 0.020 lin. thick gaiv steel, held to floor and celling Runners - Not Shown - In leu of Ram 1 - For use with Ram 2M, Mistary channel shaped runner, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 lin. thick gaiv steel, held to floor and celling Runners - Not Shown - In leu of Ram 1 - For use with Ram 2M, Mistary channel shaped runner, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 lin. thick gaiv steel, held to floor and celling Runners - Not Shown - In leu of Ram 1 - For use with Ram 2M, Mistary channel shaped runner, 1-1/4 in. wide by min 3-5/8 lin. deep fabricated from min 0.020 lin. Thick gaiv steel, held to floor and celling Runners - Not Shown - In leu of Ram 1 - For use with Ram 2M, Mistary channel shaped runner, 1-1/4 in. wide by min 3-5/8 lin. deep fabricated from min 0.020 lin. Thick gaiv steel, held for Go - Studies than assembly held. The Co. Studies to be cut 3/4 lin. Mas an Amarate to Itam 2 - Channel shaped studs, min 3-5/8 lin. deep, spaced a of 24 h. OC. Studies to be cut 3/4 lin. Miss than assembly held. THE RUN BUILDING	<ul> <li>corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and celling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height.</li> <li>20. Framing Members* — Steel Studs — As an alternate to items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>CLARKDIETRICH BUILDING SYSTEMS — CD ProSTUD</li> <li>DMFCWBS L L C — ProSTUD</li> <li>MBA METAL FRAMING — ProSTUD</li> <li>RAM SALES L L C — Ram ProSTUD</li> <li>STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProSTUD</li> <li>2E. Framing Members* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>2F. Framing Members* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>7F. Framing Members* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>7F. Framing Members* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> </ul>	<ul> <li>3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.</li> <li>STEEL INVESTMENT GROUP L L C — AlphaSTUD</li> <li>2M. Framing Members* — Steel Studs — Not Shown — In leu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X</li> <li>2N. Framing Members* — Steel Studs — Not Shown — In leu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>CRACO MFG INC — SmartStud20™</li> <li>3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (B2J2) category for names of Classified companies.</li> <li>3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/t<sup>3</sup>. Alternate Application Method: The fiber is applied with the product.</li> <li>U S GREENFIBER L L C — INS735 &amp; INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for</li> </ul>		NG FO.
raming Members* — Floor and Ceiling Runners — Not Shown — In leu of Berns 1 — For use with Bern 2 L tistary channel shaped runners, 1-1/4 h. deep by min 3-5/6 h., wilde fabricated from min 0.018 in. thick galv steel, hed to floor and ceiling with fasteners spaced 24 in. OC max. It INVESTMENT GROUP L L C — AlphaTRAK traming Members* — Floor and Ceiling Runners — Not Shown — In leu of Rem 1 — For use with Rem 2M, tetary channel shaped runners, 1-1/4 h., wide by min 3-5/6 h., deep, fabricated from min 25 MSG (0.018 ln. min. bare thickness), stated to floor and ceiling Runners a paced 24 in. OC max. IFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track traming Members* — Floor and Ceiling Runners — Not Shown — In leu of Rem 1 — For use with Item 2N, tetary channel shaped runners, 1-1/4 h., wide by min 3-5/8 ln. deep fabricated from min 0.020 ln. thick galv steel, hed to floor and ceiling with fasteners spaced 24 in. OC max. IFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track traming Members* — Floor and Ceiling Runners — Not Shown — In leu of Xem 1 — For use with Item 2N, tetary channel shaped runners, 1-1/4 h., wide by min 3-5/8 ln. deep fabricated from min 0.020 ln. thick galv steel, hed to floor and ceiling with fasteners spaced 24 in. OC max. IFOR INC — SmartTrack20 <sup>20</sup> eel Studs — Channel shaped, 3-5/8 h. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. Ito be cut 3/4 in, less than assembly height. ITERIE & GYPSUM PRODUCTS INC — Type SUPREME Framing System SOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System It RUN BUILDING MATERIALS INC — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System SV4/2018, 11:17 AM t of 13	<ul> <li>20. Framing Members* - Steel Studs - As an alternate to Items 2 through 2C - For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>CLARKDIETRICH BUILDING SYSTEMS - CD ProSTUD</li> <li>DMFCWBS L L C - ProSTUD</li> <li>MBA METAL FRAMING - ProSTUD</li> <li>RAM SALES L L C - Ram ProSTUD</li> <li>STEEL STRUCTURAL PRODUCTS L L C - Tri-S ProSTUD</li> <li>2E. Framing Members* - Steel Studs - As an alternate to Items 2 through 2D - For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>7F. Framing Members* - Steel Studs - As an alternate to Items 2 through 2E - For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> <li>7F. Framing Members* - Steel Studs - As an alternate to Items 2 through 2E - For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.</li> </ul>	<ul> <li>2M. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min 1.1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.</li> <li>CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X</li> <li>2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>CRACO MFG INC — SmartStud20™</li> <li>3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (BZJZ) category for names of Classified companies.</li> <li>3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Brate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/t<sup>3</sup>. Alternate Application Method: The fiber is applied with the product.</li> <li>U S GREENFIBER L L C — INS735 &amp; INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for</li> </ul>		NG FO.
<pre>interry channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, held to floar and ceiling with fastemers spaced 24 in. OC max. St INVESTMENT GROUP L L C - AlphaTRAK Framing Members* - Floor and Ceiling Runners Not Shown In leu of Item 1 For use with Item 2M, fistary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare I thickness), attached to floor and ceiling Runners Not Shown In leu of Item 1 For use with Item 2N, fistary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, held to floor and ceiling with fastemers spaced 24 in. OC max. For MFG INC SmartTrack20<sup>III</sup> eel Studs Channel shaped, 3-5/8 in. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. to be cut 3/4 in. kess than assembly height. Framing Members* Steel Studs As an alternate to Item 2 Channel shaped studs, min 3-5/8 in. deep, spaced a of 24 in. OC. Studs to be cut 3/4 in. kess than assembly height. STEEL &amp; GYPSUM PRODUCTS INC Type SUPREME Framing System SOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV Type SUPREME Framing System IL RUN BUILDING MATERIALS INC Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO Type SUPREME Framing System SOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO Type SUPREME Framing System</pre>	CLARKDIETRICH BUILDING SYSTEMS – CD ProSTUD         DMFCWBS L L C – ProSTUD         MBA METAL FRAMING – ProSTUD         RAM SALES L L C – Ram ProSTUD         STEEL STRUCTURAL PRODUCTS L L C – Tri-S ProSTUD         2E. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         2F. Framing Members* – Steel Studs – As an alternate to Items 2 through 2E – For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MISG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.	shaped steel studs, min 1-1/4 in, wide by min 3-5/8 in, deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height. CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X 2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height. CRACO MFG INC — SmartStud20™ 3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (BZJZ) category for names of Classified companies. 3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft <sup>3</sup> . Alternate Application Supplied with the product. U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS76SLD and INS770LD are to be used for		NG FO.
Framing Members* — Floor and Colling Runners — Not Shown — In lieu of Rem 1 — For use with Rem 2M, fretary channel shaped runners, 1-1/4 in, wide by min 3-5/8 in, Geng 24 in, OC max. IFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track Framing Members* — Floor and Colling Runners — Not Shown — In lieu of Rem 1 — For use with Rem 2N, netary channel shaped runners, 1-1/4 in, wide by min 3-5/8 in, deep fabricated from min 0.020 in, thick galv steel, thed to floor and colling with fasteners spaced 24 in. OC max. CO MFG INC — SmartTrack20 <sup>m</sup> teel Studs — Channel shaped, 3-5/8 in, deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. s to be cut 3/4 in, less than assembly height. Framing Members* — Steel Studs — As an alternate to Rem 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a of 24 in. OC. Studs to be cut 3/4 in, less than assembly height. STEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System ISOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System ILI RUN BUILDING MATERIALS INC — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System	MBA METAL FRAMING — ProSTUD         RAM SALES L L C — Ram ProSTUD         STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProSTUD         2E. Framing Members* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         TELLING INDUSTRIES L L C — TRUE-STUD™         2F. Framing Members* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.	<ul> <li>2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.</li> <li>CRACO MFG INC — SmartStud20™</li> <li>3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (BZJZ) category for names of Classified companies.</li> <li>3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft<sup>3</sup>. Alternate Application Method: The fiber is applied with the product.</li> <li>U S GREENFIBER L L C — INS735 &amp; INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for</li> </ul>		NG FO.
al thickness), attached to floor and ceiling with fasteners spaced 24 in. OC max. IFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2N, rietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, thed to floor and ceiling with fasteners spaced 24 in. OC max. CO MFG INC — SmartTrack20 <sup>™</sup> teel Studs — Channel shaped, 3-5/8 in. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. Is to be cut 3/4 in. less than assembly height. Framing Members* — Steel Studs — As an alternate to Item 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a of 24 in. OC. Studs to be cut 3/4 in. less than assembly height. STEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System ISOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System ISOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System	RAM SALES L L C – Ram ProSTUD         STEEL STRUCTURAL PRODUCTS L L C – Tri-S ProSTUD         2E. Framing Members* – Steel Studs – As an alternate to Items 2 through 2D – For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wikle fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.         TELLING INDUSTRIES L L C – TRUE-STUD <sup>™</sup> 2F. Framing Members* – Steel Studs – As an alternate to Items 2 through 2E – For use with Item 1F, channel shaped studs, min 3-5/8 in. wike fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.	in length than assembly height. CRACO MFG INC — SmartStud20™ 3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (B2JZ) category for names of Classified companies. 3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/t <sup>3</sup> . Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/t <sup>3</sup> , in accordance with the application instructions supplied with the product. U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for		NG FO.
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CO MFG INC — SmartTrack20 <sup>™</sup> reel Studs — Channel shaped, 3-5/8 in. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max.         s to be cut 3/4 in. less than assembly height.         rraming Members* — Steel Studs — As an alternate to Item 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a         of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.         STEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System         SOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System         IL RUN BUILDING MATERIALS INC — Type SUPREME Framing System         FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System         FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System         S/4/2018, 11:17 AM4 of 13	channel shaped studs, mi 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height. <b>TELLING INDUSTRIES L L C</b> — TRUE-STUD™ 2F. <b>Framing Members* — Steel Studs</b> — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. CC. Studs to be cut 1/2 in. less than assembly height.	3A. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft <sup>3</sup> , Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft <sup>3</sup> , in accordance with the application instructions supplied with the product. U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for		NG H DR. DR.
s to be cut 3/4 in. less than assembly height. rraming Members* — Steel Studs — As an alternate to Item 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a of 24 in. OC. Studs to be cut 3/4 in. less than assembly height. STEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System SOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System IL RUN BUILDING MATERIALS INC — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System S/4/2018, 11:17 AM4 of 13	be cut 1/2 in. less than assembly height. TELLING INDUSTRIES L L C - TRUE-STUD™ 2F. Framing Members* - Steel Studs - As an alternate to Items 2 through 2E - For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.	without water or adhesive at a nominal dry density of 3.5 lb/ft <sup>3</sup> , in accordance with the application instructions supplied with the product. U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for		
of 24 in. OC. Studs to be cut 3/4 in. less than assembly height. STEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System SOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System IL RUN BUILDING MATERIALS INC — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System 5/4/2018, 11:17 AM of 13	studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. CC. Studs to be cut 1/2 in. less than assembly height.			
IL RUN BUILDING MATERIALS INC — Type SUPREME Framing System FCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System 5/4/2018, 11:17 AM4 of 13				
FCO STEEL STUD MANUFACTURING CO – Type SUPREME Framing System 5/4/2018, 11:17 AM4 of 13		3B. <b>Fiber, Sprayed*</b> — As an alternate to Batts and Blankets (Item 3) and Item 3A — Spray applied cellulose insulation material. The fiber is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed cavity. Minimum dry density of 4.3 pounds per cubic ft.		
5/4/2018, 11:17 AN4 of 13	2G. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 through 2F — For use with Item 1G. Proprietary channel shaped studs, minimum 3-5/8 in. wide, Studs to be cut 1/2 in. less than the assembly height.	NU-WOOL CO INC – Cellulose Insulation		
	STUDCO BUILDING SYSTEMS - CROCSTUD	3C. Fiber, Sprayed* — As an alternate to Batts and Blankets (Item 3) — Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 lbs/ft <sup>3</sup> .		OR ERIO
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Ratings - ANSI/UL 263       http://database.ul.com/cgi-bin/XYV/template/LISEXT/1FRAME/showpaBXUV.U465 - ]	- Fire-resistance Ratings - ANSI/UL 263 http://database.ul.com/cgi-bin/XYV/template/LISEXT/1FRAME/showpaB	BXUV.U465 - Fire-resistance Ratings - ANSI/UL 263 http://database.ul.com/cgi-bin/XYV/template/LISEXT/1FRAME/show	pa	
Sypsum Board* — As an alternate to Items 4, 4A, 4B, and 4C — Nom. 5/8 in. thick gypsum panels applied vertically or ontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Gypsum panels	UNITED STATES GYPSUM CO - Type ULX	4N. Wall and Partition Facings and Accessories* — (As an alternate to Item 4) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically and secured as described in Item 4.		
ned to framing with 1 in. long Type S steel screws 12 in. OC along vertical edges and in the field. Screws spaced a max along the top and bottom edges of the wall for both vertical and horizontal applications. When used in widths other 48 in., gypsum panels to be installed horizontally.	USG MEXICO S A DE C V - Type ULX	PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock 527		C C C C C C C C C C C C C C C C C C C
ONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSL, FSW-C, FSW-G, FSW, FSW-3, FSW-5, FSW-6, FSMR-C	4L. Gypsum Board* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C). Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type 5-12 steel screws gypsum panel steel screws spaced 8 in. OC at	40. Gypsum Board* — As an alternate to Items 4, 44, 4B, and 4C — Two layers Nom. 5/16 in. thick gypsum panels applied vertically or horizontally. Horizontal adge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Horizontal joints on the same side need not be staggered. When applied horizontally, both layers of gypsum board fastened to each side of framing with 1 in. long Type 5 steel screws spaced 8 in. OC and staggered 4 in. OC between layers. When applied vertically, horizontal yoursum backford steel framing. Type 5 steel screws spaced 8 in. OC and staggered 4 in. OC		
vpsum Board* — (As an altemate to Items 4 through 4D) — Installed as described in Item 4. 5/8 in. thick, 4 ft. wide, ed vertically only and fastened to the studs and plates with 1 in. long, Type S steel screws spaced, 12 in. OC. IONAL GYPSUM CO — SoundEreak XP Type X Gypsum Board	studs. Wallooard secured to studs with 1-1/4 m. long 1ype 5-12 steel screws gypsum panel steel screws spaced 8 m. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 8 ft long with a max thickness of 0.14 in. placed on the face of studs and attached to the stud with construction adhesive and two 1 in. long Type 5-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs, nominal 3/8 in. diam by max 0.085 in. thick.	between layers. When applied vertically, both layers of gypsum board fastened to each side of framing with 1 in. long Type S steel screws spaced 8 in. OC along vertical edges and 12 in. OC in the field, staggered 4 in. OC between layers. Screws spaced a max 12 in. along the top and bottom edges of the wall. NATIONAL GYPSUM CO — Type FSW		
<b>ypsum Board*</b> — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. rect attachment only to steel studs Item 2C) - Nom 5/8 in. thick lead backed gypsum panels with beveled, square or	one at the top of the strip and one at the bottom of the strip. Lead discs, nominal 3/8 in. diam by max 0.085 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips and discs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". RADIATION PROTECTION PRODUCTS INC — Type RPP - Lead Lined Drywall	4P. Gypsum Board* — As an alternate to Item 4. For use with Item 3E, Batts and Blankets* — 5/8 in. thick, 4 ft wide,		
ed edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of . Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC field.	4M. Gypsum Board* — (For use with Item 8) — 5/8 in. thick, 4 ft wide, applied vertically over Mineral and Fiber Board (Item	Installed as described in the 4.		
BAR ENGINEERING CORP — Type RB-LBG	8) with vertical joints located anywhere over stud cavities. Secured to mineral and fiber boards with 1-1/2 in. Type G Screws spaced 8 in. OC along edges of each vertical joint and 12 in. OC in intermediate field of the Mineral and Fiber Board (Item 8). Secured to outermost studs and fibor and foror and ceiling runners with 2 in. hog Type S screws spaced 8 in. OC. Gypsum Board joints covered with paper tape and joint compound. Screw heads covered with joint compound.	4Q. Gypsum Board* — 3/4 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track as described in Item 4 with screw length increased to min. 1- 1/8 in.		
attached to steel studs and floor and celling track with 1 in long, Type 5 steel screew spaced 8 in. OC. along edges of I and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly.	AMERICAN GYPSUM CO — Type AG-C	PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type PG-13		
ONAL GYPSUM CO — Types FSW	CERTAINTEED GYPSUM INC — Type FRPC, Type C	5. Joint Tape and Compound — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw heads; paper tape, 2 in. wide, embedded in first layer of compound over all joints. As an alternate, nominal 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced. Paper tape and joint compound may be omitted when gypsum boards are supplied with square edges.		
ED STATES GYPSUM CO - Τγρε SCX	CGC INC — Types C, IP-X2, IPC-AR CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Type LGFC-C/A	6. Resilient Channel — (Optional — Not Shown) — 25 MSG galv steel resilient channels spaced vertically max 24 in. OC, flange portion attached to each intersecting stud with 1/2 in. long type S-12 pan head steel screws. May not be used with Item 4F, 4J or 4L.		
BORAL DRYWALL SFZ LLC - Type SCX	GEORGIA-PACIFIC GYPSUM L L C - Types 5, DAPC, TG-C	6A. <b>Steel Framing Members*</b> — (Not Shown) — As an alternate to Item 6, furring channels and Steel Framing Members as described below: <b>a. Furring Channels</b> — Formed of No. 25 MSG galv steel. 2-9/16 in. or 2-23/32 in. wide by 7/8 in.		
ypsum Board* — (As an alternate to Items 4 through 4G) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically cured as described in Item 4.	NATIONAL GYPSUM CO — Types eXP-C, FSK-C, FSW-C	deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long		
D BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock ES	PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type PG-C	at the midpoint of the overlap, with one screw on each flange of the channel. Not for use with Items 4F, 4J, or 4L. b. <b>Framing Members*</b> — Used to attach furring channels (Item a) to studs (Item 2). Clips spaced		сомм. №. 1948
psum Board* — (As an alterrate to Items 4 through 4F) — For use with Items IE and 2E only, 5/8 in. thick, 4 ft wide, ed to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly. ED STATES GYPSUM CO — Type SCX	PANEL REY S A — Types PRC, PRC2	48 in. OC., and secured to studs with 1-5/8 in. wafer or hex head Type S steel screw through the center grommet. Furring channels are friction fitted into clips. RSIC-1 clip for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) clip for use with 2-23/32 in. wide furring channels.		DATE 5/18/20
ED STATES GYPSUM CO - Type SCX BORAL DRYWALL SFZ LLC - Type SCX	SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV/Air, Gyproc FireStop MR ACTIV/Air, Gyproc FireStop M2TECH ACTIV/Air, Gyproc DuraLine, Gyproc DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV/Air, Gyproc DuraLine MR ACTIV/Air, Gyproc DuraLine M2TECH	PAC INTERNATIONAL L L C — Types RSIC-1, RSIC-1 (2.75) 6B. Framing Members* — (Not Shown) — (Optional on one or both sides) — As an alternate to Item 6, furring channel and		REVISIONS
<b>/psum Board*</b> — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall.	ACTIV'Air	Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Gypsum		
rect attachment only to steel studs Item 2C) — Nom 5/8 in. thick lead backed gypsum panels with beveled, square or ed edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of . Gypsum board secured to studs with 1-1/4 in. long Type S-12 steels screws spaced 8 in. OC at perimeter and 12 in. OC field. To be used with Lead Batten Strips (see Item 9A) or Lead Discs (see Item 10A).	THAI GYPSUM PRODUCTS PCL — Type C UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR	board attached to furring channels as described in Item 4. Not for use with Items 4F, 4J, or 4L. b. <b>Steel Framing Members*</b> — Used to attach furring channels (Item 6Ba) to studs (Item 2). Clips spaced max. 48 in. OC. GENIECLIPS secured to studs with No. 8 x 1-1/2 in. minimum self-drilling,		
CO INDUSTRIES INC — Type X-Ray Shielded Gypsum		S-12 steel screw through the center grommet. Furring channels are friction fitted into clips.		• •
ypsum Board* — (As an alternate to Item 4 and 4A, not for use with Items 1D, 1E, 2D and 2E) — Nom. 5/8 in. thick Im panels with beveled, square or tapered edges installed as described in Item 4 and 4A. INC — Type ULX	USG BORAL DRYWALL SFZ LLC - Type C	PLITEQ INC — Type Genie Clip		
	USG BORAL DRYWALL SFZ LLC — Type C USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR	6C. <b>Steel Framing Members*</b> — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below:		
5/4/2018, 11:17 AM10 of 13				SHEET
		6C. <b>Steel Framing Members*</b> — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied	AM	SHEET T - 4
	USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR	6C. <b>Steel Framing Members*</b> — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied	АМ	T - 4



GROSS BUILDING AREA FIRST FLOOR --- 6,943 SQ.FT SECOND FLOOR - 6,994 SQ.FT. TOTAL ----- 13,937 SQ.FT.



FINISH SCHEDULE							
FINISH	FLOOR	BASE		WALL		/ING	REMARKS
SYMBOL			MATERIAL	FINISH	MATERIAL	FINISH	
А	C.T.	WOOD *	G.W.B.	PAINT	G.W.B.* *	PAINT	米 7¼" MASONITE SPEED BASE, PAINTED 米 米 CROWN MOLDING
В	CARPET	WOOD *	G.W.B.	PAINT	ACOUS. T.		* 71/4" MASONITE SPEED BASE, PAINTED
С	C.T.	C.T.	M.R.G.W.B. / C.W.T. <del>*</del>	ENAMEL PAINT	G.W.B.	PAINT	* SEE ENLARGED TOILET PLANS SHEET A-9 FOR LOCATION OF C.W.T. WALLS.
D	SEALED CONC.	RUBBER	G.W.B.	PAINT	EXPOSED CONSTRUCTION	PAINT	
E	CONC.		G.W.B. / UNFINISHED		EXPOSED CONSTRUCTION		UNFINISHED FUTURE TENANT SPACE
F	C.T./ RUBBER 米	WOOD * *	G.W.B.	PAINT	ACOUS. T.		* C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS 米米 71/4" MASONITE SPEED BASE, PAINTED
G	V.C.T. / RUBBER 米	RUBBER	G.W.B.	PAINT	G.W.B.	PAINT	* V.C.T. @ LOWER LANDING, PRE-MOLDED RUBBER STAIR TREADS @ STAIRS, SHEET RUBBER TILES @ INTERMEDIATE & UPPER LANDINGS
Н	SEALED CONC.		G.W.B. / CONC.		EXPOSED CONSTRUCTION		
J	C.T.	WOOD *	G.W.B.	PAINT	ACOUS.T.		₩ 7¼" MASONITE SPEED BASE, PAINTED
К	CARPET	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	* 7 <sup>1</sup> /4" MASONITE SPEED BASE, PAINTED
L	L.V.P.	WOOD *	G.W.B.	PAINT	G.W.B.	PAINT	7 <sup>1</sup> /4" MASONITE SPEED BASE, PAINTED
FINISH SCHEDULE ABBREVIATIONS							
C.T.		- VINYL COMF - CERAMIC TI - CERAMIC W/ - CONCRETE				L.V.P	CONCRETE MASONRY UNIT LINEAR VINYL PLANK FLOORING ACOUSTICAL CEILING TILE

G.W.B. GYPSUM WALL BOARD

## GENERAL NOTES

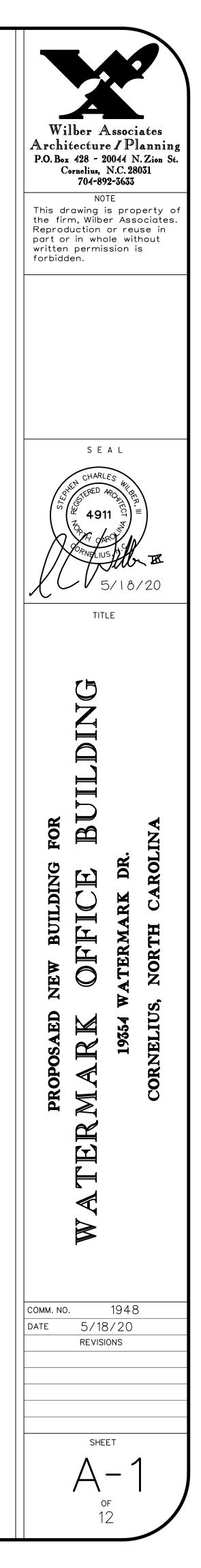
I. ALL DIMENSIONS GIVEN TO CENTERLINE OF INTERIOR STUD PARTITION, CENTERLINE OF STEEL, EXTERIOR FACE OF MASONRY & INTERIOR FACE OF STUD © EXTERIOR WALLS UNLESS OTHERWISE NOTED

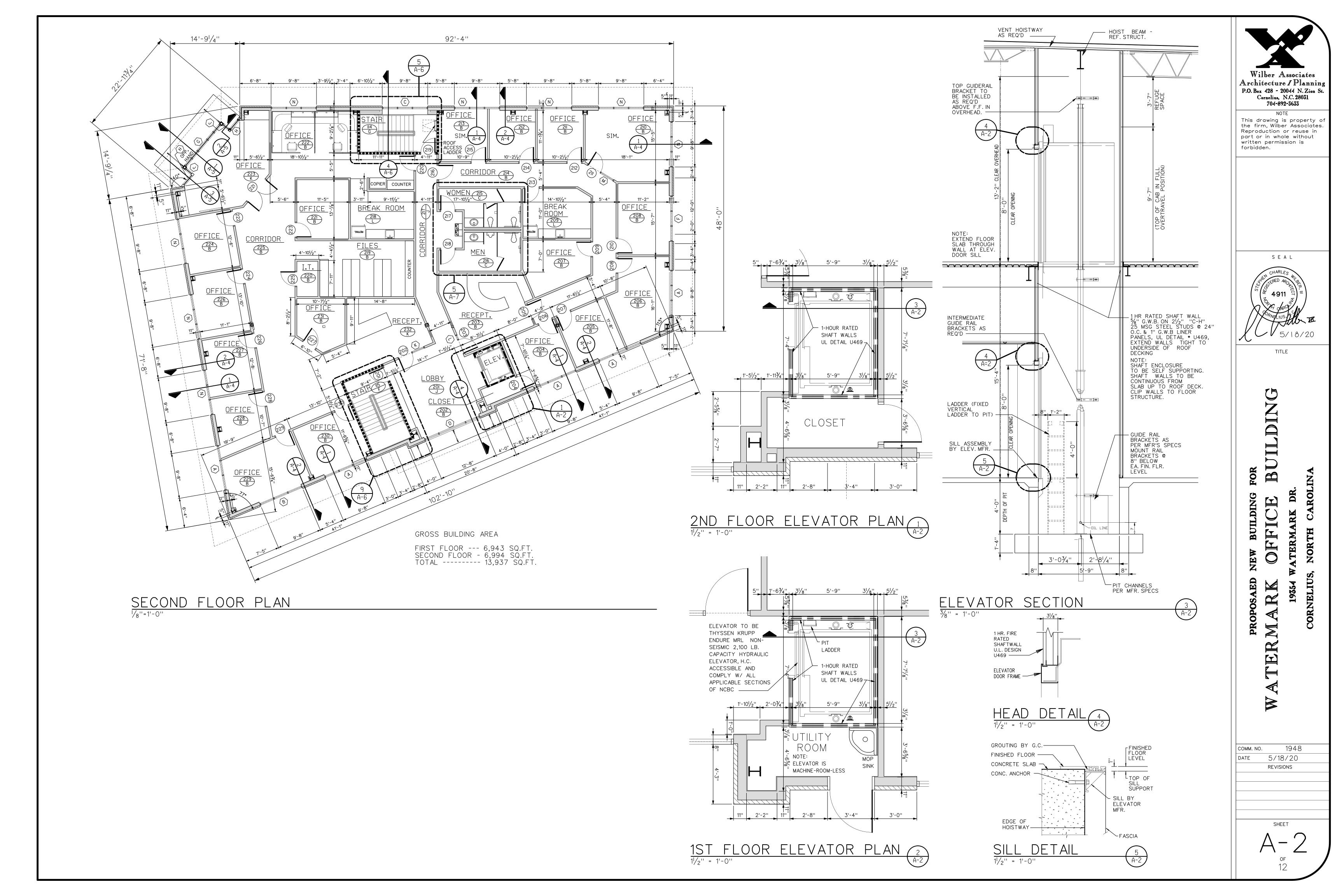
- 2. DENOTES TYP. INTERIOR PARTITION -5%" G.W.B. ON 35%" 25 GA. STEEL STUDS (UNLESS OTHERWISE NOTED ON PLAN) @ 24" O.C. PARTITION TO EXTEND 6" ABOVE CEILING IN AREAS WITH FINISHED CEILINGS, EXCEPT TENANT DEMISING WALLS AND PARTITIONS IN AREAS WITHOUT CEILING TO EXTEND TIGHT TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
  - DENOTES TYP. BRICK VENEER EXTERIOR WALL  $-\frac{5}{8}$ " G.W.B. (TO BE INSTALLED AT TIME OF UPFIT IN UNFINISHED SPACES) ON 6" STEEL STEEL STUDS (UNLESS OTHERWISE NOTED) @ 24" O.C.,  $\frac{1}{2}$ " DENSGLAS EXTERIOR SHEATHING, LIQUID APPLIED VAPOR BARRIER & BRICK VENEER. STUD CAVITY TO BE FILLED W/ OPEN-CELL FOAM INSULATION. WALL THICKNESS TO INSIDE FACE OF STUD + 11" UNLESS OTHERWISE NOTED.
  - DENOTES ONE HOUR RATED STUD PARTITION -5%'' G.W.B. ON 35%'' STEEL STUDS 362ST25 @ 16'' O.C., UL DETAIL # U465. EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY ABOVE.
  - DENOTES ONE HOUR RATED SHAFT WALL PARTITION  $-\frac{5}{8}$ " G.W.B. ON 2<sup>1</sup>/<sub>2</sub>" "C-H" 25 MSG STEEL STUDS @ 24" O.C. & 1" G.W.B LINER PANELS, UL DETAIL # U469, EXTEND WALLS TIGHT TO UNDERSIDE OF RATED ASSEMBLY OR ROOF DECK ABOVE.

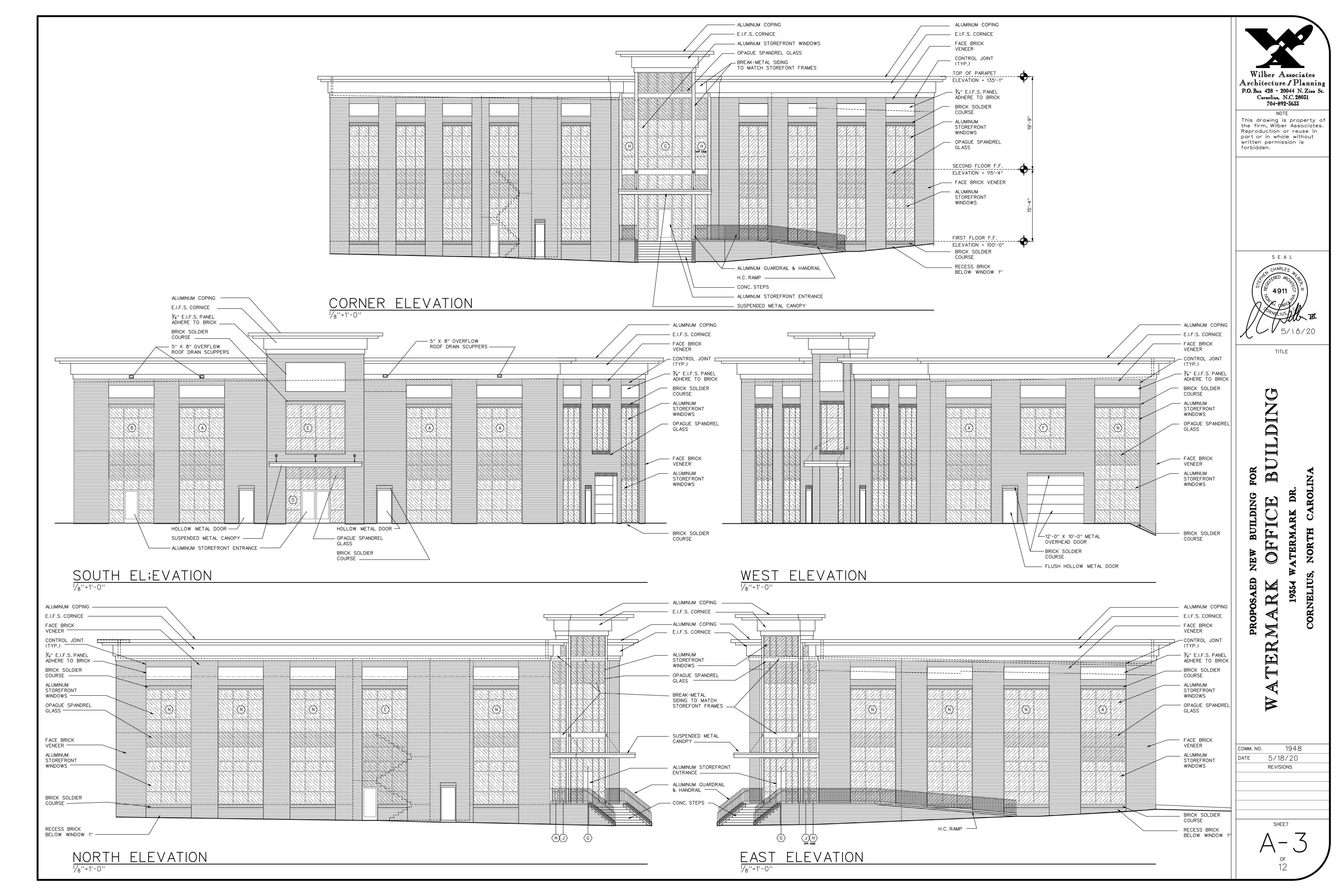
6. INTERIOR WALLS PARTITIONS MUST COMPLY WITH NCSBC SECTION 1607.13 FOR MINIMUM LATERAL LOAD RESISTANCE OF 5 PSF.

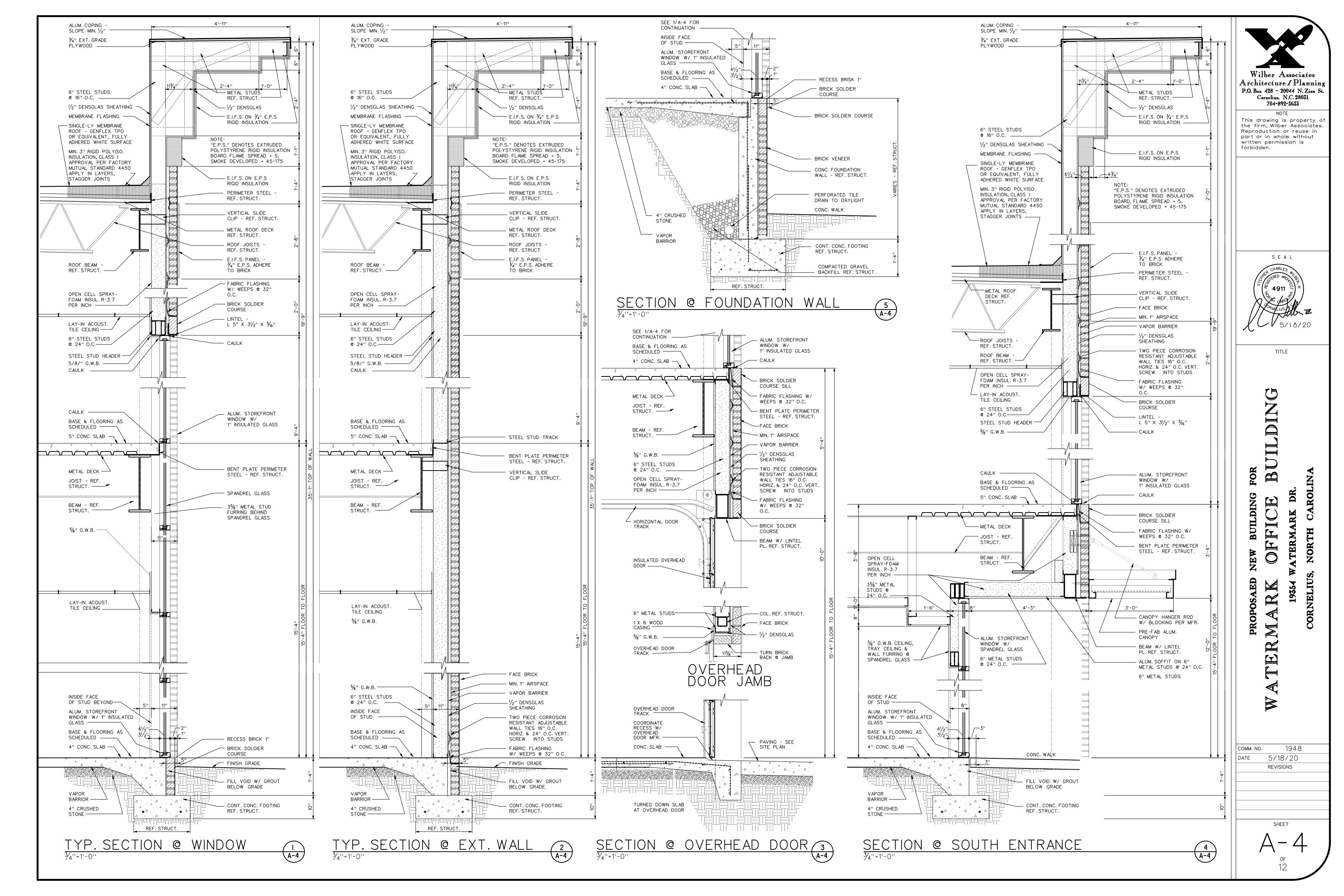
7. A COMPLETE, HYDRAULICALLY CALCULATED FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PROVIDED BY OWNER. SHOP DRAWINGS WILL BE SUBMITTED WITHIN 90 DAYS OF PERMIT ISSUANCE. SYSTEM SHALL BE DESIGNED FOR LIGHT HAZARD OCCUPANCY PER NFPA 13

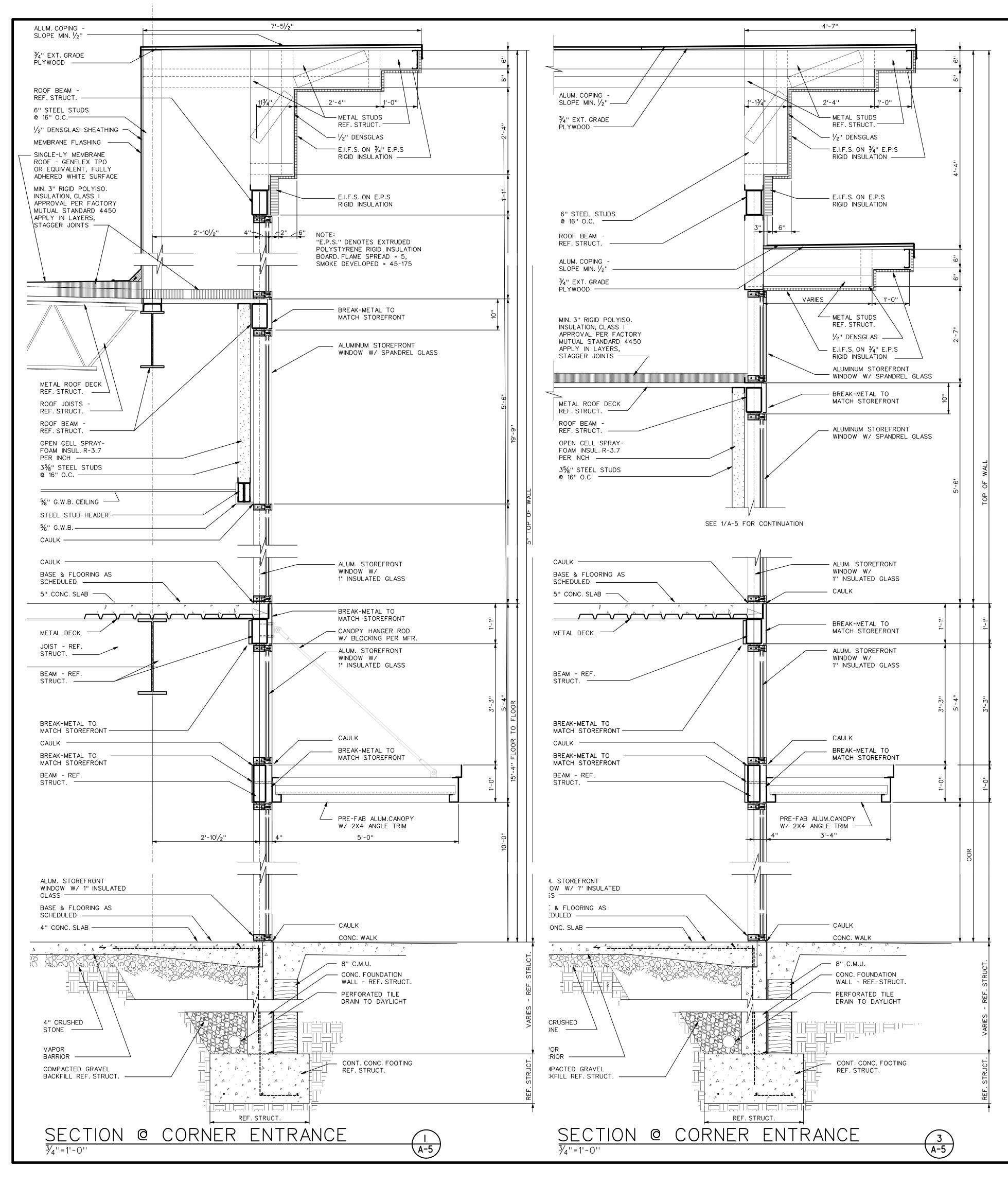
- 8. PROVIDE PORTABLE FIRE EXTINGUISHERS PER FIRE MARSHALL'S INSTRUCTIONS IN ACCORDANCE WITH NCBC 906. 9. PROVIDE SIGNAGE IN COMPLIANCE WITH NCBC 1011.3, 1110, E107 & ANSI A117.1 703
- 10. CONTRACTOR SHALL COMPLY WITH NCBC CHAPTER 33 SAFEGAURDS DURING CONSTRUCTION.

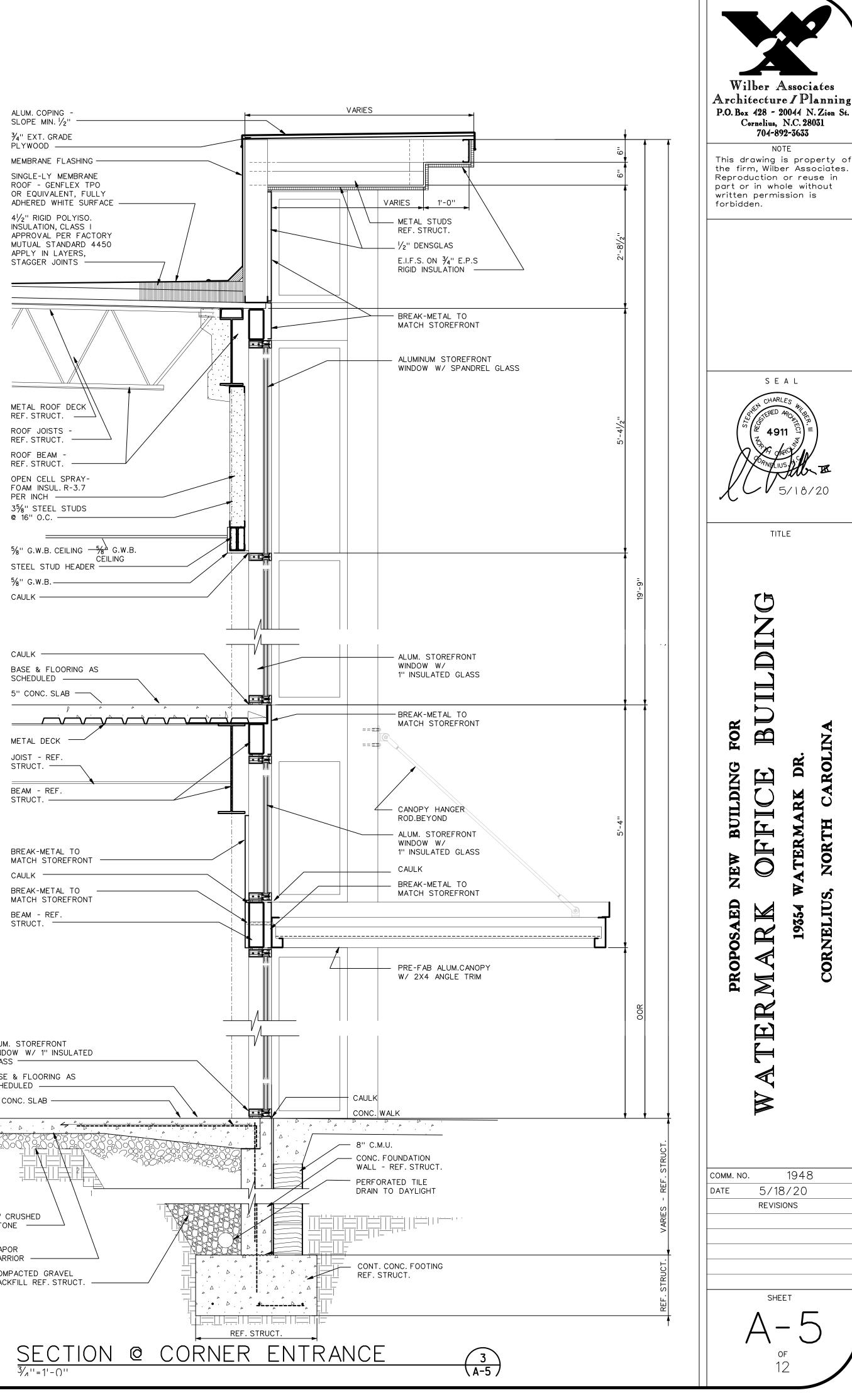


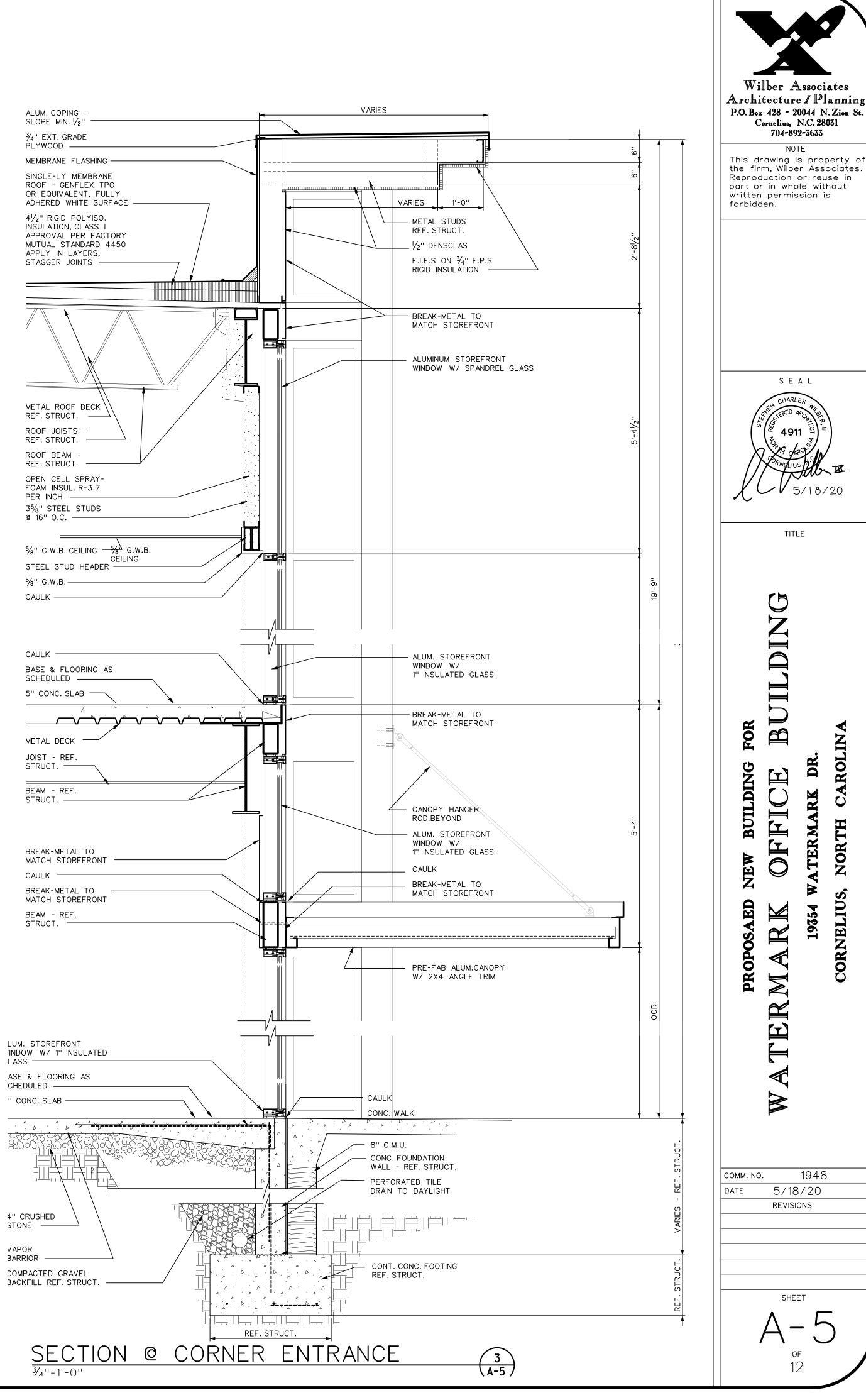


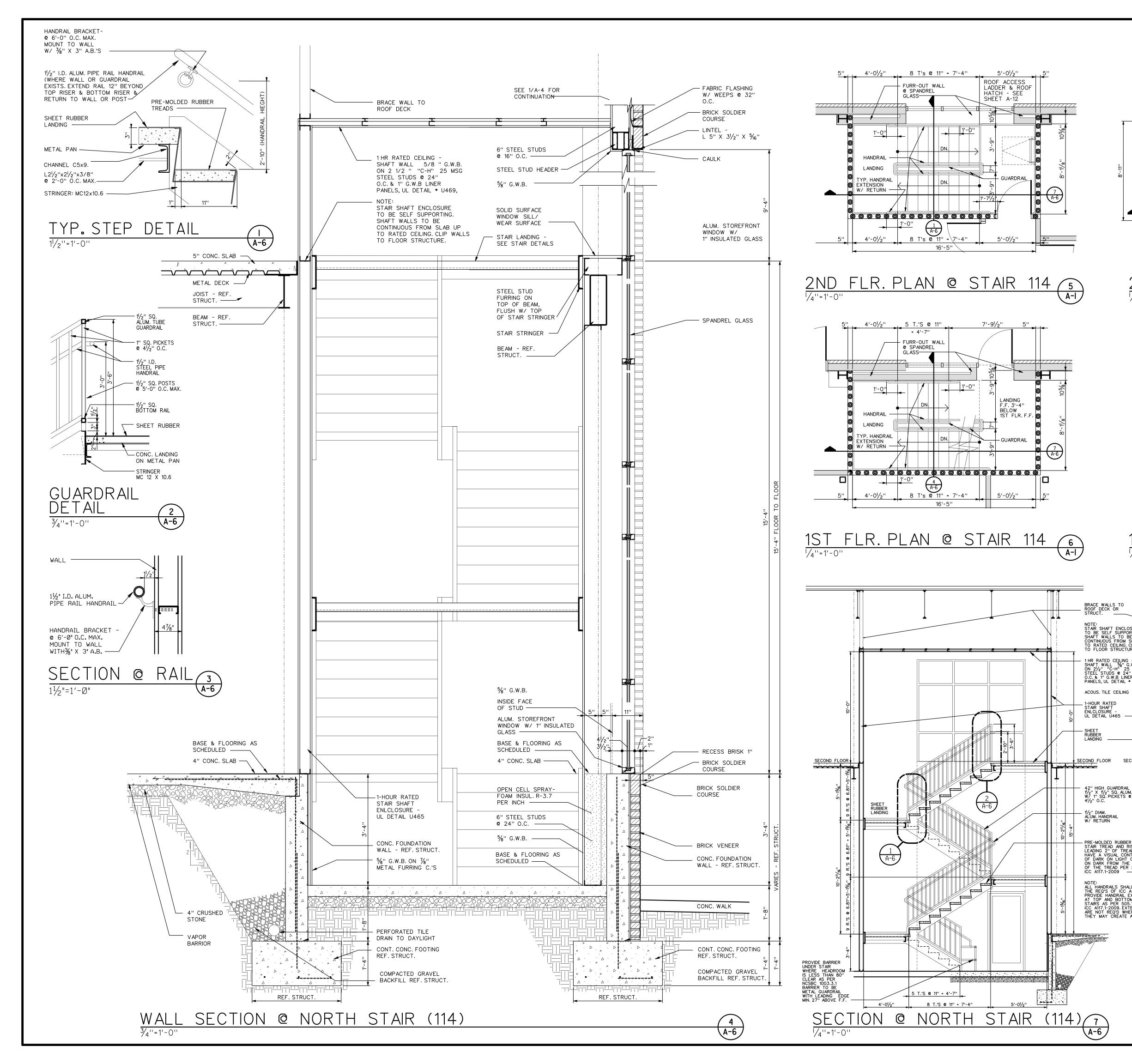


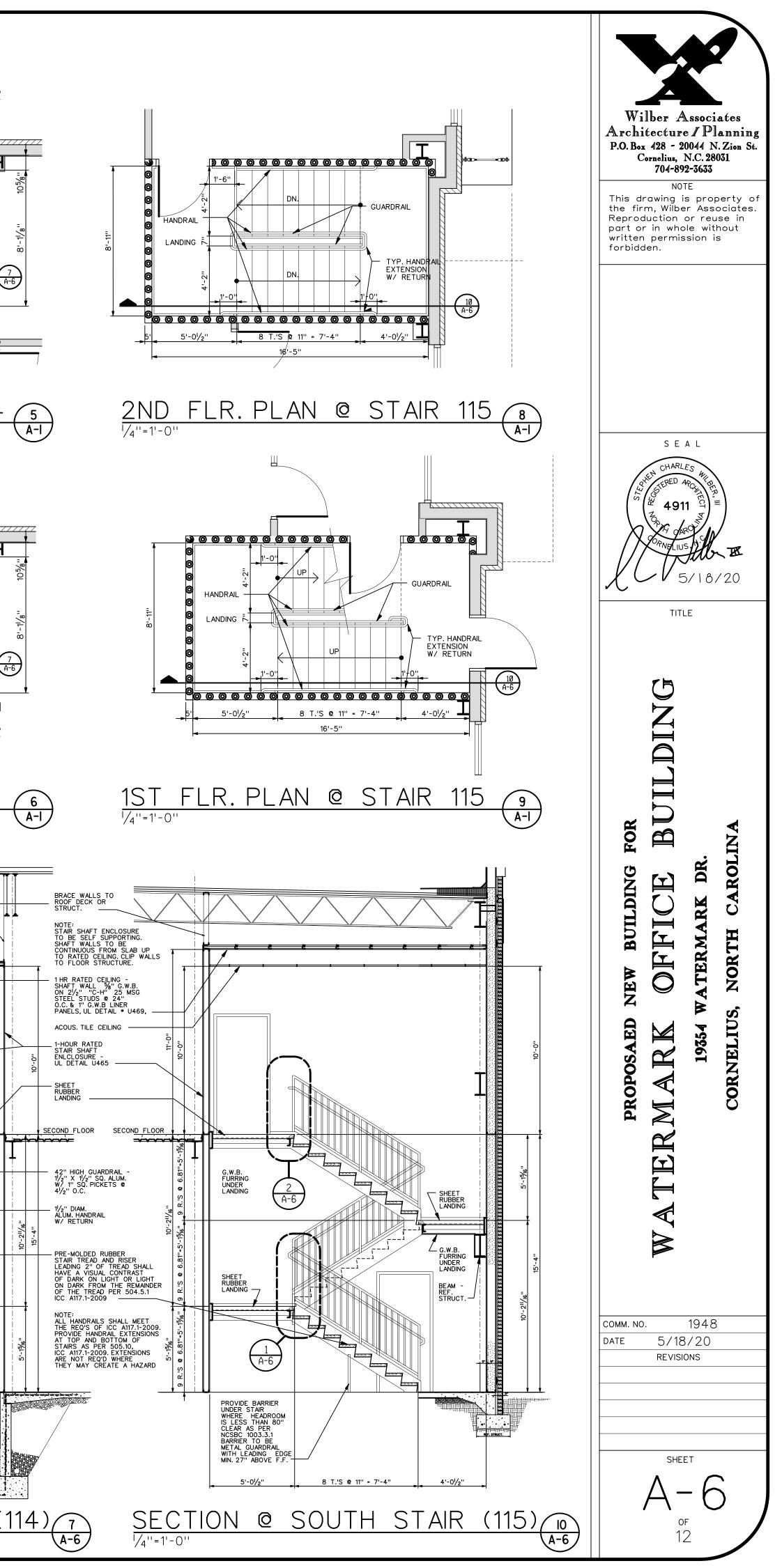


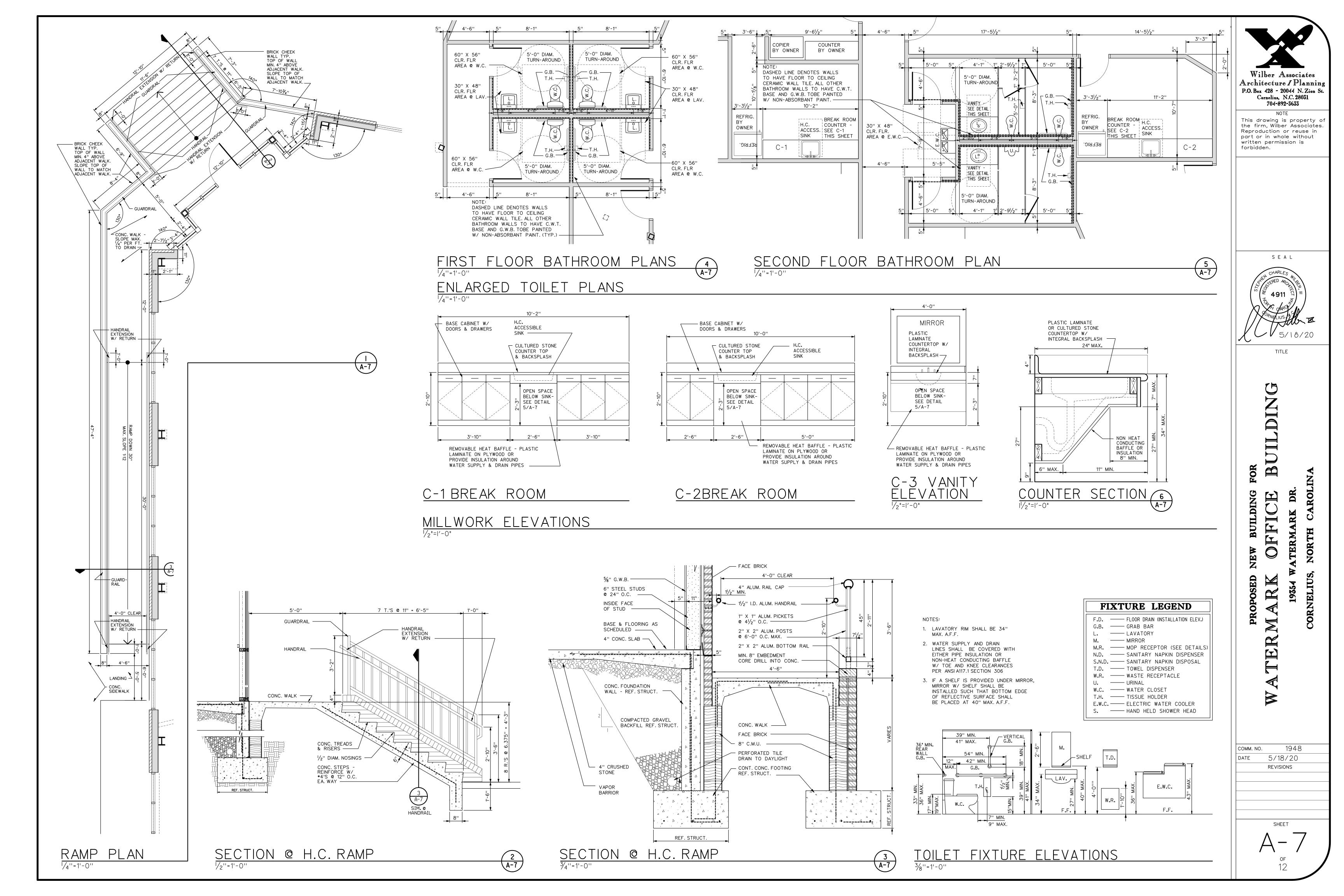


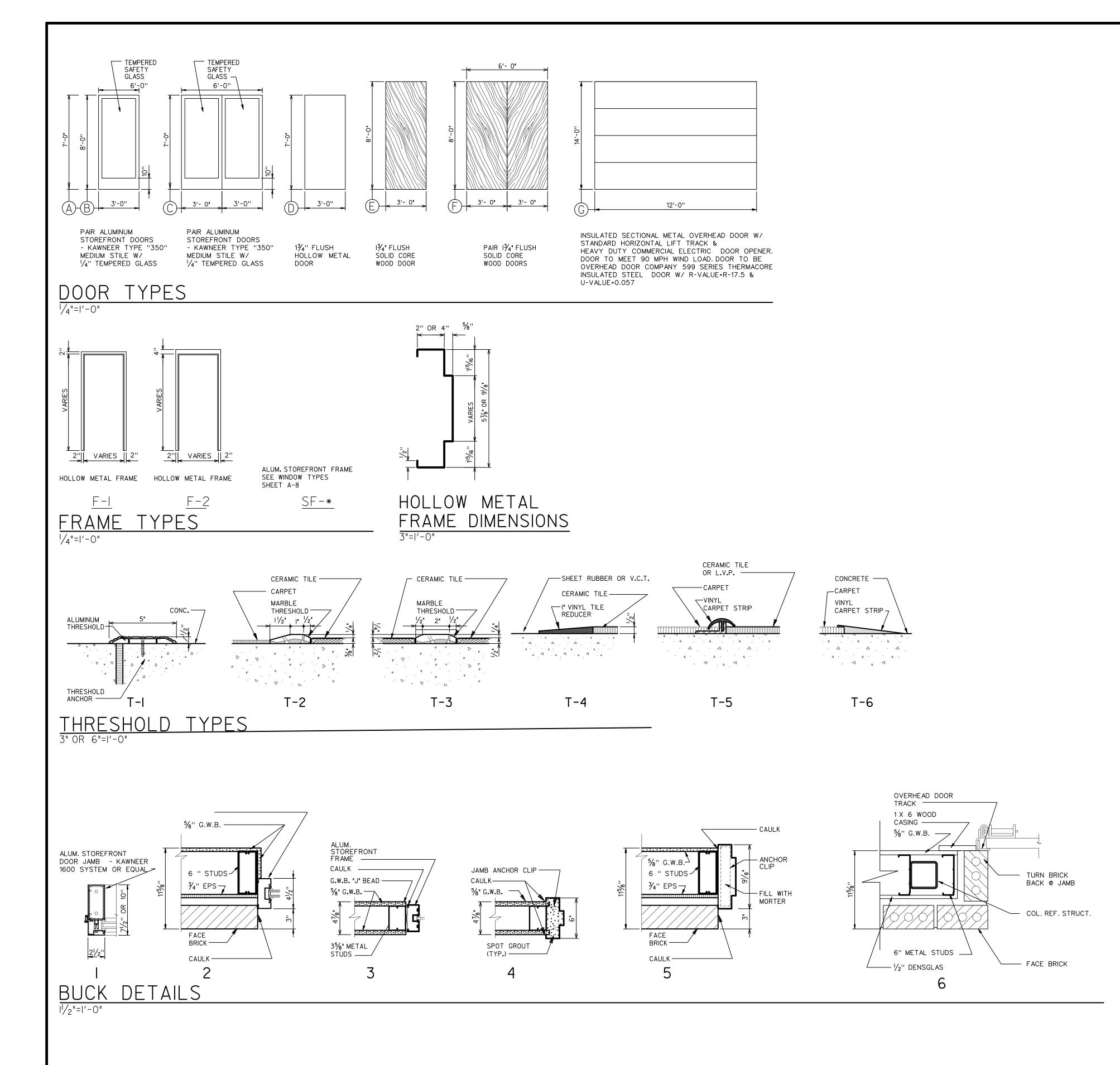




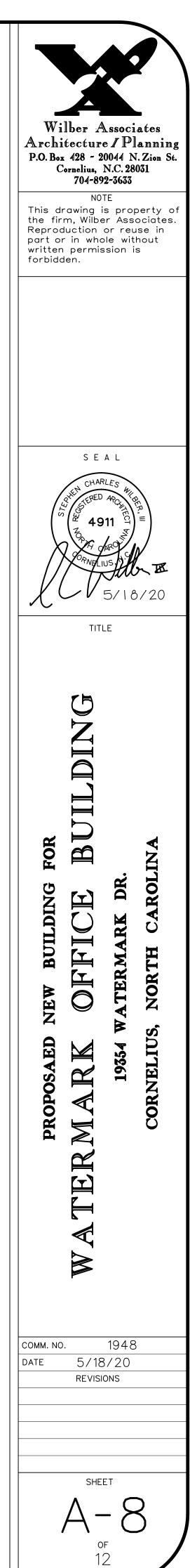


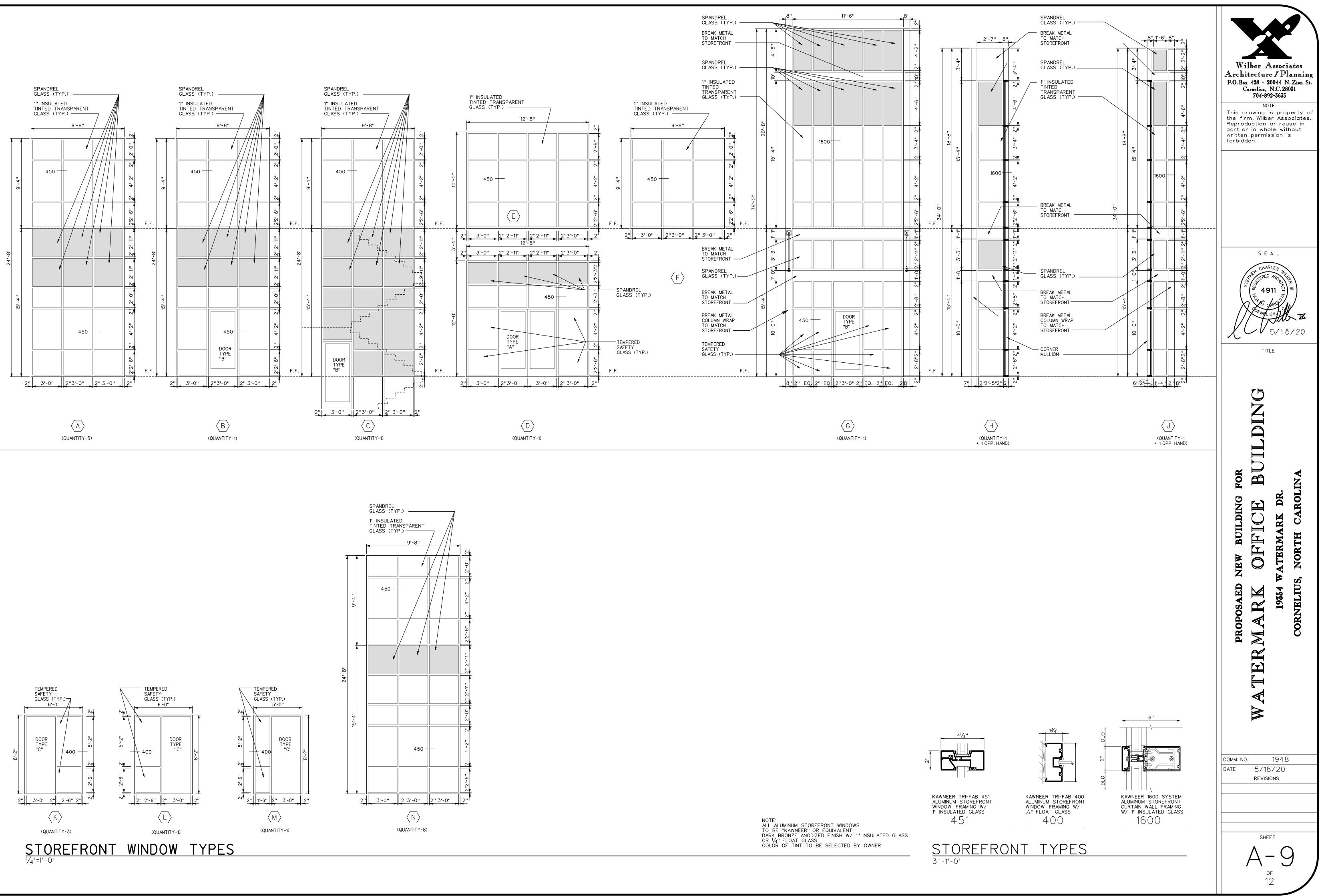


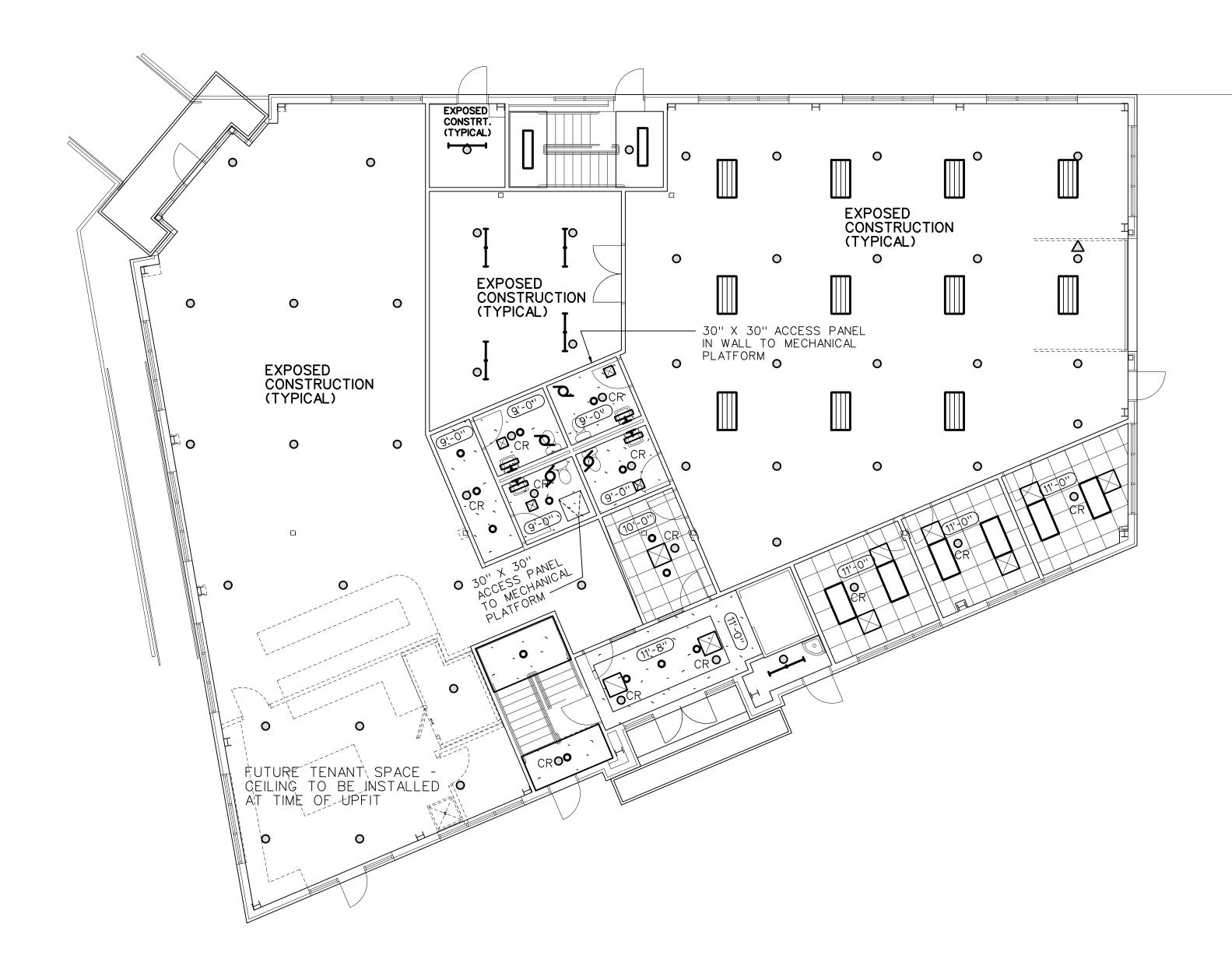




DOOR JUMBER		FRAME	BUCK DETAIL	LINTEL TYPE	THRESHOLD TYPE	LABEL	REMARKS
101	C	SF-D*			T-I		* STOREFRONT FRAME TYPE - SEE WINDOW TYPE "D" SHEET A-8
102	D	F-2	5	L 4" X 4" X <sup> </sup> / <sub>4</sub> "	T-1		SEE WINDOW TIPE D SHEET A-6
103	E	F-I	4		T-1	1-HR.	
104	B	SF-K*					* STOREFRONT FRAME TYPE -
105	B	SF-L*					* STOREFRONT FRAME TYPE -         SEE WINDOW TYPE "K" SHEET A-8         * STOREFRONT FRAME TYPE -         * SEE WINDOW TYPE "L" SHEET A-8
106	E	F-I	4		T-4		SEL WINDOW TIPE E SIEET AG
107	E	F-I	4		T-2		
108	E	F-I	4		T-2		
109	F	F-I	4				
110	E	F-I	4		T-3		
	E	F-I	4				
112	E	F-I	4				
113	D	F-2	5	L 4" X 4" X <sup> </sup> /4"	T-1		
4	G		6	REF. STRUCT.			
115	A	SF-C*	-	REF. STRUCT.	T-1		STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "C" SHEET A-8
 	D	51 C 本 F-2	5	$L 4" X 4" X \frac{1}{4}"$	T-I		SLE WINDOW HITE & STEEL A-8
 	A	SF-G*		/4	T-1		STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "G" SHEET A-8
18	E	F-I	4		T-2		TO SEE WINDOW TYPE "G" SHEET A-8
 	E	F-I	4		T-2		
120	A	SF-B*		REF. STRUCT.	T-1		STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "C" SHEET A-8
			۷				TO SEE WINDOW TYPE "C" SHEET A-8
201	E	F-I	4			1-HR.	
201	E	SF-K*	3		T-5		* STOREFRONT FRAME TYPE -
202	E	SF-K*	3		T-5		* STOREFRONT FRAME TYPE         * STOREFRONT FRAME TYPE -         * SEE WINDOW TYPE         * SEE WINDOW TYPE
203	E	 F−I	4				SEE WINDOW TYPE "L" SHEET A-8
204	E	F-I	4				
205	E	F-I	4				
200	E	F-I	4				
207	E	F-I	4				
208	E	F-I	4				
203	E	F-I	4				
210	E	SF-M*	3				* STOREFRONT FRAME TYPE - * SEE WINDOW TYPE "M" SHEET A-8
212	E	51 Wi木 F-I	4				本 SEE WINDOW TYPE "M" SHEET A-8
212	E	F-I	4		T-5		
213	E	F-I	4				
214	E	F-I	4				
215	E	F-I	4		T-5		
210	E	F-I	4		T-3		
217	E	F-I	4		T-3		
218	E	F-I	4			1-HR.	
220	E	F-I	4		T-5	1 1 11 1 1	
220	F	F-I	4				
222	E	F-I	4				
223	E	F-I	4				
223	E	F-I	4				
224	E	F-I	4				
225	E E	F-I	4				
226	E E	F -1 F -1	4				
221	E	F -1 F -1	4		 		
220	E E	F-I	4				
230	E	F-I	4				
200			т				
				<u> </u>			

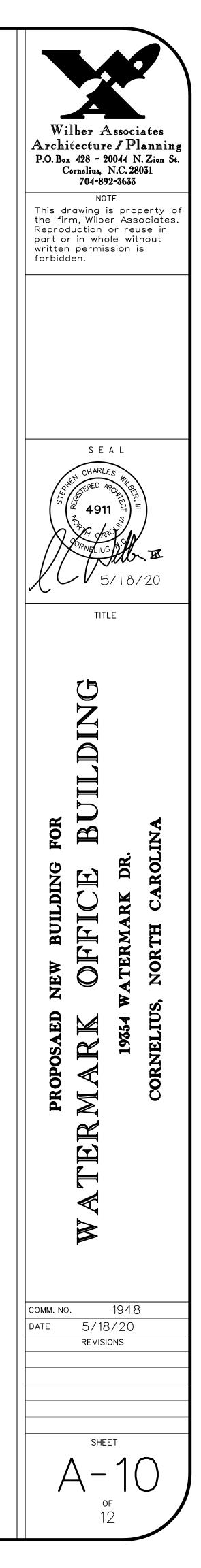








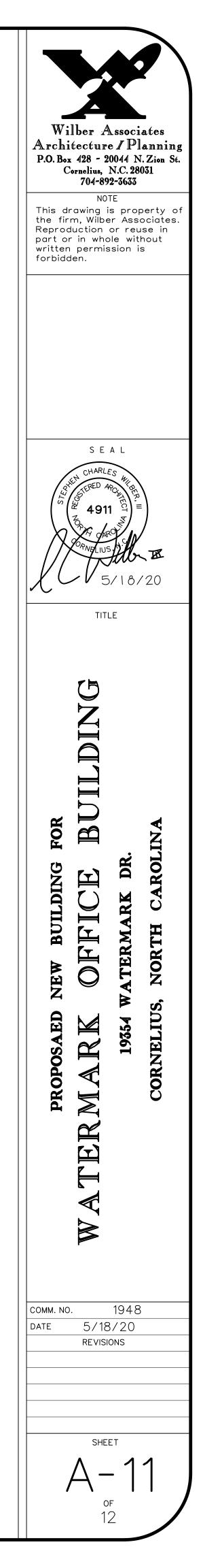
	'ED CEILING   LEGEND
	2 X 2 EXPOSED GRID LAY-IN ACOUSTICAL TILE CEILING - TEGULAR EDGE TILE
	G.W.B. CEILING
EXPOSED CONSTRUCTION (TYPICAL)	NO CEILING - EXPOSED CONSTRUCTION
	SUSPENDED HIGH BAY LED LIGHT FIXTURE
	2 X 4 LAY-IN LED LIGHT FIXTURE PENDANT MOUNTED LED STRIP LIGHT FIXTURE
	- SURFACE MOUNTED LED LIGHT FIXTURE
<b></b>	WALL MOUNTED VANITY LIGHT FIXTURE
۶	EXHAUST FAN
(10'-0'')	CEILING HEIGHT (ALL CEILINGS ARE 10'-0'' UNLESS OTHERWISE NOTED)
	CEILING SPLY AIR DIFFUSER (TYP.) SEE MECH. FOR SIZE
	CEILING RETURN AIR GRILLE (TYP.) SEE MECH. FOR SIZE
	HVAC SUPPLY/RETURN SEE MECH.FOR SIZE
◆	RECESSED LED LIGHT FIXTURE
0	SPRINKLER HEAD TYP SPRINKLER HEAD IN SPACES WITHOUT FINISHED CEILINGS ARE TO BE BRASS UPRIGHT STANDARD RESPONSE HEADS.
<b>O</b> CR ———	IN SPACES WITH A FINISHED CEILING, HEADS MARKED ''CR'' ARE TO BE CHROME RECESSED QUICK RESPONSE HEADS.
۹	STANDARD RESPONSE BRASS HORIZONTAL SIDEWALL SPRINKLER HEAD PROTECTING BELOW OVERHEAD DOOR

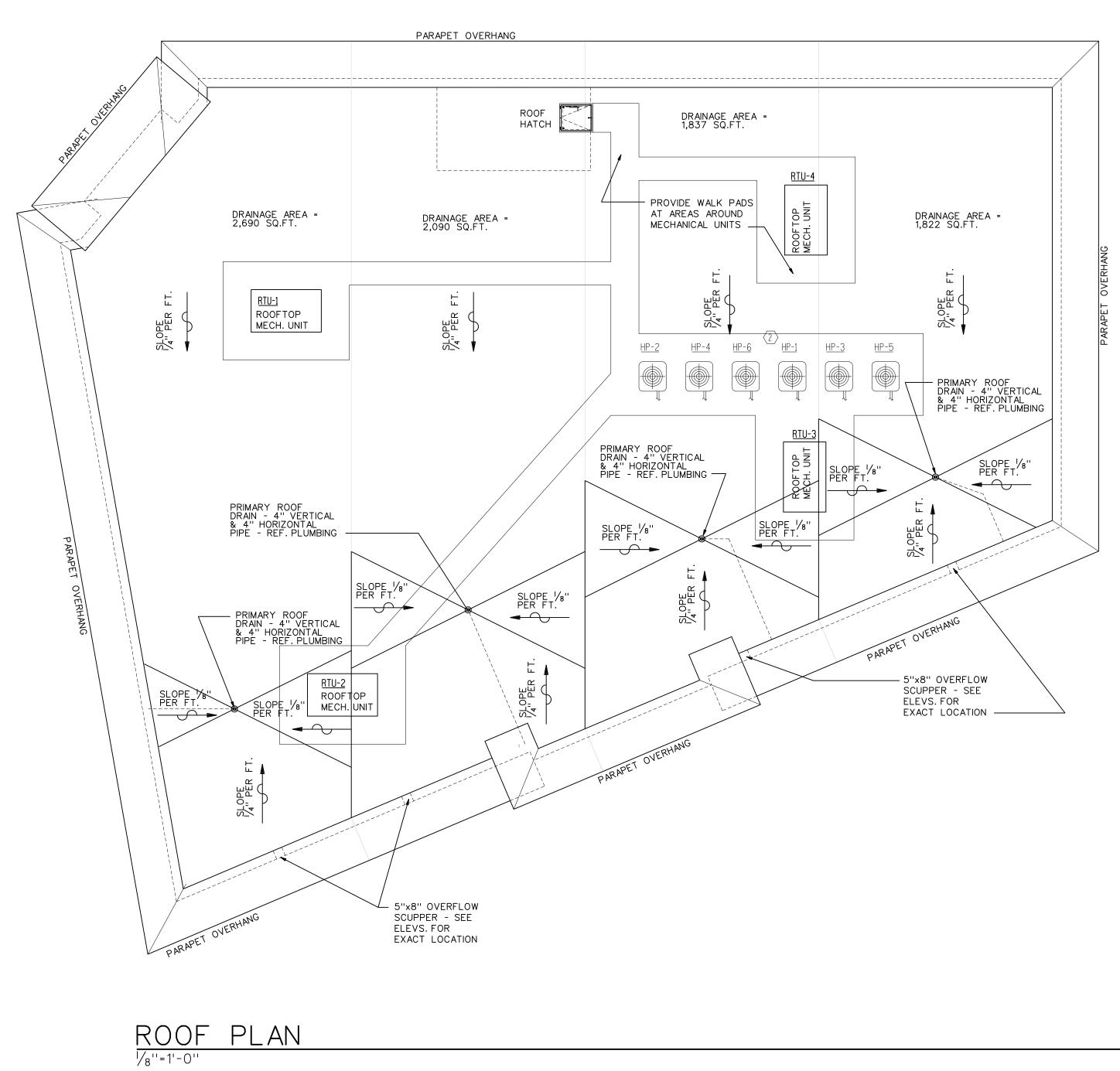




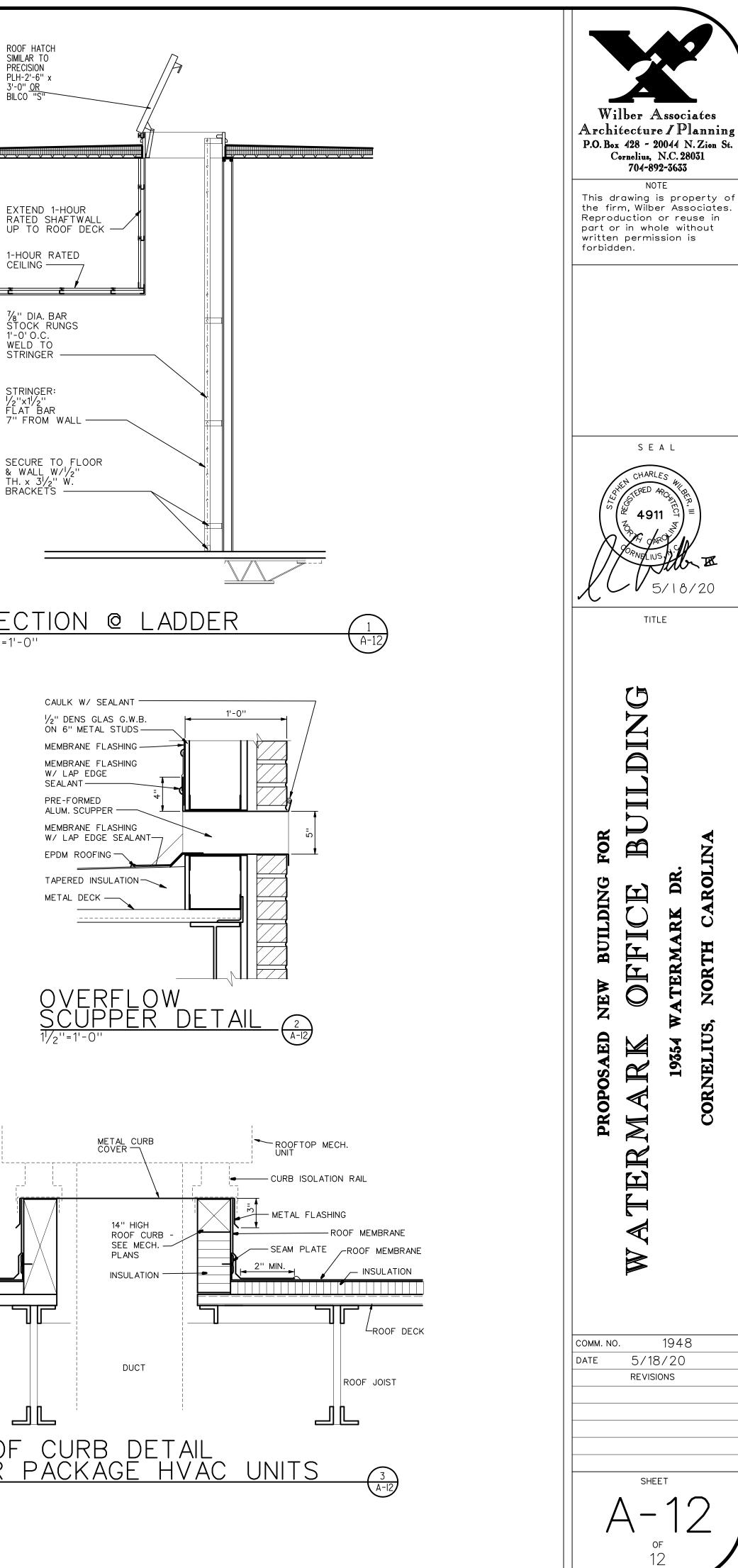
# SECOND FLOOR REFLECTED CEILING PLAN

	CEILING LEGEND
	2 X 2 EXPOSED GRID LAY-IN ACOUSTICAL TILE CEILING - TEGULAR EDGE TILE
	G.W.B. CEILING
EXPOSED CONSTRUCTION (TYPICAL)	NO CEILING - EXPOSED CONSTRUCTION
	- SUSPENDED HIGH BAY LED LIGHT FIXTURE
	_2 X 4 LAY-IN LED LIGHT FIXTURE
<b>▶→→→</b> 1	- PENDANT MOUNTED LED STRIP LIGHT FIXTURE
	– SURFACE MOUNTED LED LIGHT FIXTURE
<b></b>	_WALL MOUNTED VANITY LIGHT FIXTURE
<u> </u>	EXHAUST FAN
(10'-0'')	CEILING HEIGHT (ALL CEILINGS ARE - 10'-0'' UNLESS OTHERWISE NOTED)
	_CEILING SPLY AIR DIFFUSER (TYP.) SEE MECH. FOR SIZE
	_CEILING RETURN AIR GRILLE (TYP.) SEE MECH. FOR SIZE
	HVAC SUPPLY/RETURN SEE MECH.FOR SIZE
◆	-RECESSED LED LIGHT FIXTURE
o	- SPRINKLER HEAD TYP SPRINKLER HEAD IN SPACES WITHOUT FINISHED CEILINGS ARE TO BE BRASS UPRIGHT STANDARE RESPONSE HEADS.
<b>O</b> CR ———	- IN SPACES WITH A FINISHED CEILING, HEADS MARKED ''CR'' ARE TO BE CHROME RECESSED QUICK RESPONSE HEADS.
۹	- STANDARD RESPONSE BRASS HORIZONTAL SIDEWALL SPRINKLER HEAD PROTECTING BELOW OVERHEAD DOOR

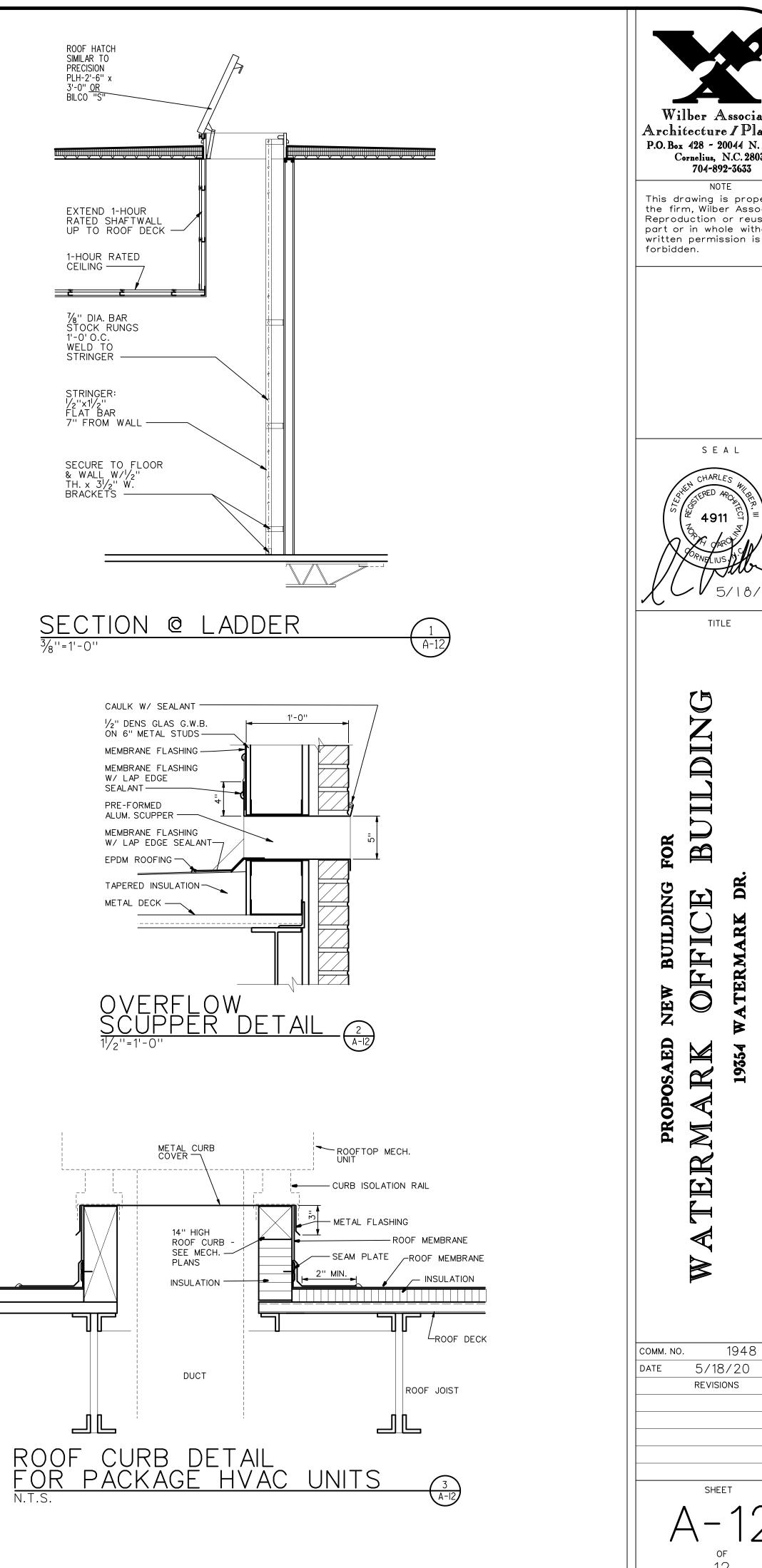


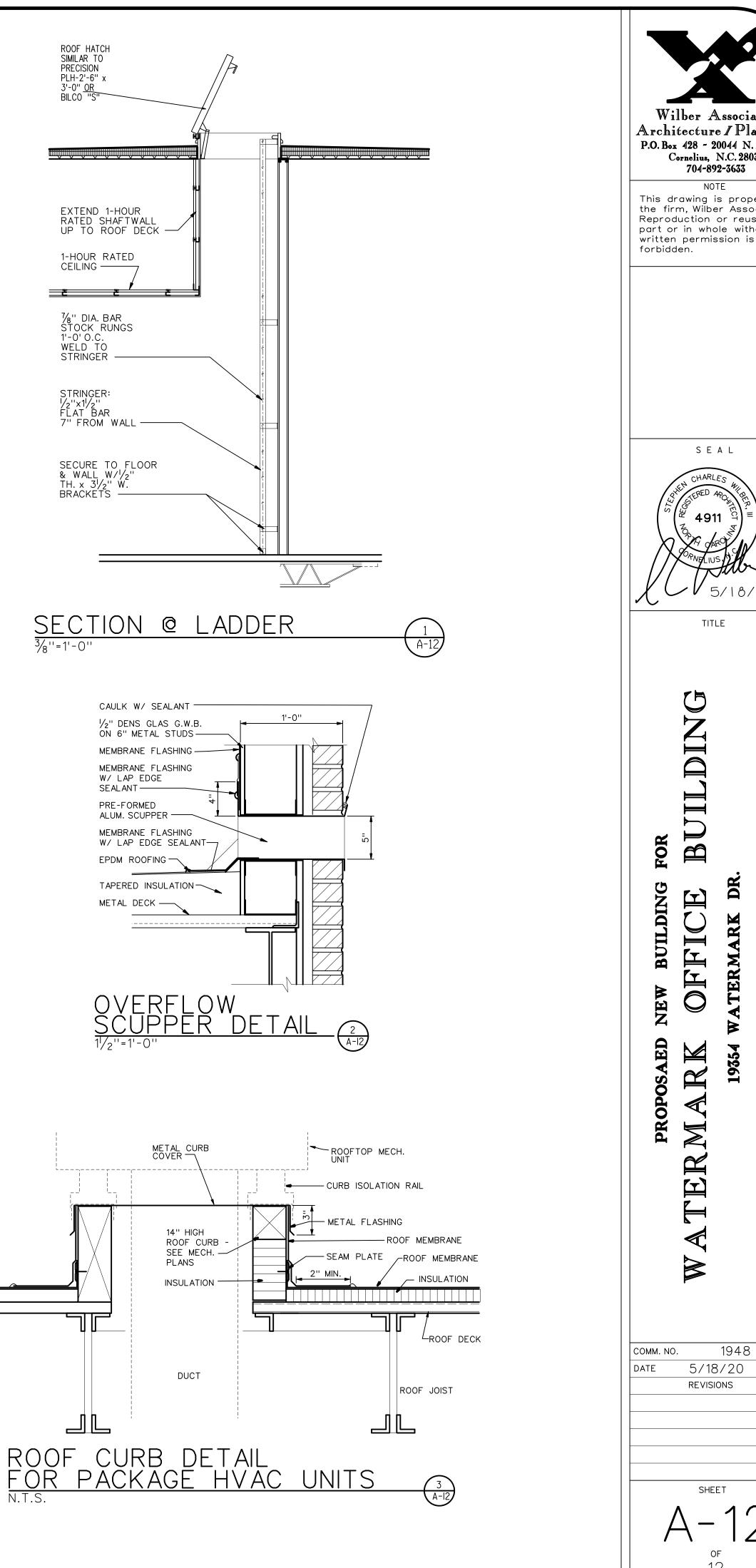






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#### **REQUEST FOR BOARD ACTION**

#### 💻 Print

Date of Meeting:

June 26, 2020

To:Architectural Review BoardFrom:Aaron Tucker,

Planning Director

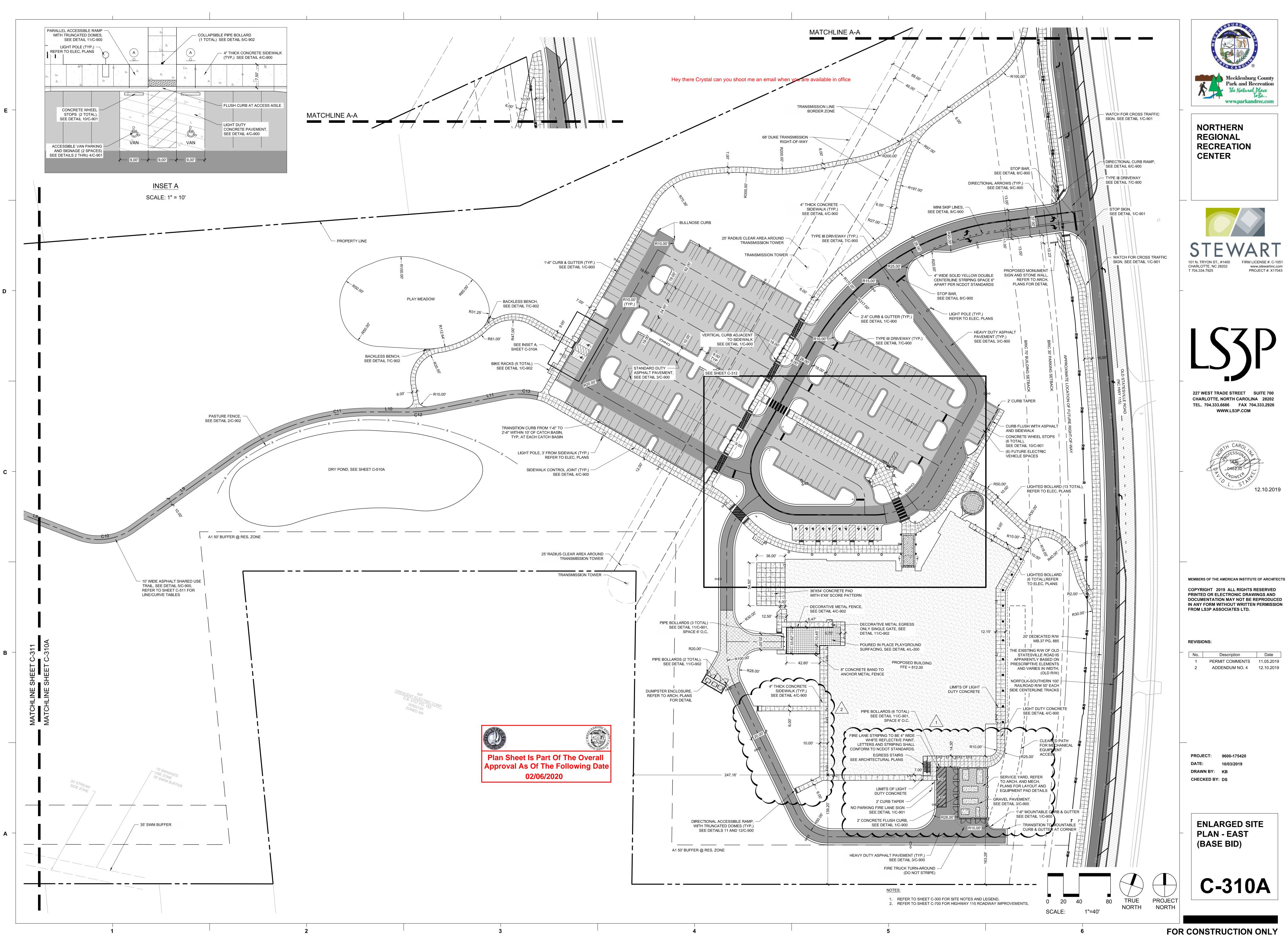
#### Action Requested:

The Northern Regional Recreation Center is currently under construction. The County is proposing a mural on the facade facing the parking lot to the north. A conceptual drawing of the mural is included in your packet as well as a rendering showing how it would be seen on the parking lot wall.

#### Manager's Recommendation:

Review and provide feedback on the proposed mural.

ATTACHMENTS:		
Name:	Description:	Туре:
D <u>5.pdf</u>	Site Plan	Cover Memo
<u>Mecklenburg_County_NRRC_Schematic_Design_Brief_Godlewska-</u> <u>min.pdf</u>	Proposed Mural	Cover Memo



# North County Regional Recreation Center – Mural

Mecklenburg County Concept Design Artist: Maja Godlewska Budget: \$70,119 Completion Date: Spring 2021

**Previous PAC Approval:** Concept Design approved February 26, 2020.



PAC Meeting on 05/27/2020

Culture For All.

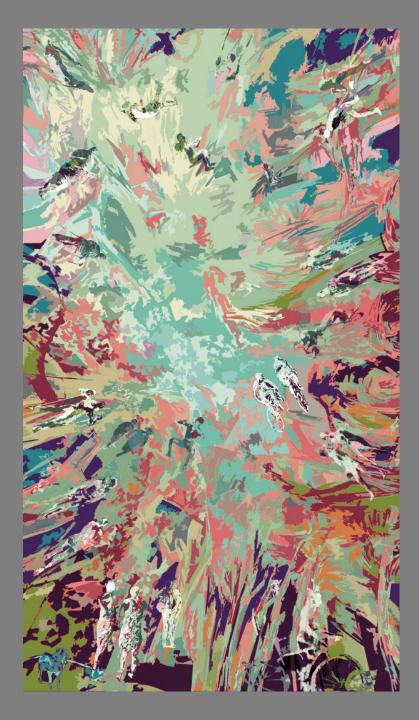
## **SCHEMATIC DESIGN CRITERIA**

X	Budget
X	Schedule, including installation
X	Updated renderings based on community, PAC, and project team feedback
X	Materials, dimensions, weight, and finish
X	List of subcontractors
X	Installation Method, including equipment
X	Preliminary Maintenance



# Maja Godlewska Mural

Schematic Design for Northern Regional Recreation Center



After the Community Engagement Event, which included a short workshop, I further refined the design, mostly by including more figures (now there are 27 more or less visible figures in the mural, including 4 animals). I also slightly altered the color palette. My initial goals have not changed, and these were to evoke feelings that we associate with recreation and well-being, those positive feelings you get when you:

- are surrounded by enchanting nature
- play a game with friends
- have a sense of belonging, are part of a community
- learn something new
- go for a swim, a bike ride, a dance class
- spot a rare bird
- take a walk in the park in a morning dew
- work in a garden tending to living things
- observe a sunset

I think that recreation is about:

- being in a moment
- being relaxed and happy
- a sense of wonder and discovery
- joy and awe
- rebuilding internal balance

#### CONCEPT

Proposed colors combine warm and cool hues, to evoke positive emotions, playfulness.

I included areas of higher intensity, cheerful and "happy", counterbalanced with neutral sections to provide the rest for the eye. Abstracted figures are engaged in activities broadly associated with recreation and leisure; they are partially visible, partially blended with the background to create a sense of belonging and interplay. My intention is for the viewer to discover them gradually. Shades of warm reddish or orangey brown will appear in some areas to tie the mural to the surrounding brick. Greenish and turquoise-bluish hues will complement the brick color.

Overall, through the use of form and color, I will strive to evoke a sense of cohesion, of an activity, of a space that invites us to enter and examine further. Directional, diagonal compositional elements are based on natural forms, on vegetation, and on the idea that we are looking up to the sky. They are also aimed at creating a sense of movement and activity, and are in conversation with the light design on the adjacent silo-like structure.

#### NIGHT LIGHTING

Lighting system will consist of three sconces installed above the mural, shooting downwards to provide night visibility of the mural without light spills, part of the construction budget.

### Mural Materials:

Exterior acrylic latex Sherwin Williams Resilience or Superpaint (used by muralists for their durability and lightfastness) and/or Benjamin Moore Aura (depending on a color palette), Montana Gold Spray Paint, Sherwin Williams Primer

### Subcontractors:

Holly Keogh Blaine Hurdle Michael Haag (potential) Marek Ranis

#### <u>Equipment:</u>

Articulation boom lift(s) Air compressor/painting gun, power wash

#### Installation Method:

The image will be transferred onto the wall with the projector and hand painted with brushes, rollers and sprays on primed brick wall (priming with painting gun)

#### Maintenance:

Trimming the bushes underneath the mural to ensure its visibility, maintaining the lights.



*Glissando, 12'x18', NASCAR Plaza, Charlotte, NC, 2009* 

## BUDGET

Artist Design and Project Management Fee	10,500.00
<b>Production Onsite:</b> Paints, sprays, primer and other miscellaneous materials (ie. tape, masking tape, tarp, plastic sheeting, rags, containers)	6,400.00
Tools (brushes, rollers etc.) Painting the mural, including priming the wall, design transfer Site preparation, daily onsite prep and cleanup, final cleanup Daily onsite production supervision and logistics, including commute to the site	2,700.00 21,200.00 2,800.00 1,900.00
Equipment rental (including projector, lifts, certificates, air compressor, paint gun, power wash) and transportation to the site Personal Protective Equipment and cleaning supplies	5,500.00 1,200.00
Professional Photo/Video documentation (including drone footage)	1,400.00
<b>Pre-Production and Studio-Based Work:</b> Project research and development, professional consultations, community workshop preparation, site visits	1,500.00
Preparation of final design and ready for the transfer detailed drawings and layouts,	1,500.00
indexing colors, color swatches, large-scale printouts with grid Materials and tools used in the design phase and material tests Art/Design studio expenses	1,400.00 1,000.00 1,900.00
Insurance Contingency	3,600.00 7,119.00
Total:	70, 119.00

Tentative Mural Painting Production Schedule:

- 3 May NRRC site inspection, equipment rental
- 4 May site preparation, equipment, tool and materials transported to the site, power washing of the wall
- 5-6 May protecting adjacent walls, priming and image outline transfer with the projector (after dark)
- 11-15 May image outline corrections and finalizing mural layout, applying first layers of paint
- 18-22 May painting, work in progress review with Project Manager (optional)
- 25-28 May painting, final details and decisions, corrections, final review with Project Manager and the Committee (optional)
- 29 May site cleanup
- 1-2 June Artist's final inspection of the site, equipment return

During mural installation, painting crew will need access to running water, electricity, bathroom and a safe storage.

LOCATION The mural will be seated at the wall facing the parking lot.



The mural will be visible on approach to the facility, from the parking lot and from the adjacent sidewalk.

#### NIGHT VISIBILITY

Lighting system will consist of three sconces installed above the mural, shooting downwards to provide night visibility of the mural without light spills, part of the construction budget.

## Mural, 29'4"x16'8"



### **REQUEST FOR BOARD ACTION**

#### 💻 Print

Date of Meeting:

June 26, 2020

To: Architectural Review Board From:

Aaron Tucker,

**Planning Director** 

#### Action Requested:

Boatyard Eats is looking to paint a mural on the south facade of the building (facing Westmoreland Road). There are two artists renderings of the proposed mural included in your packet.

#### Manager's Recommendation:

Review and provide feedback on the proposed mural.

ATTACHMENTS:						
Name:	Description:	Туре:				
D           Site_Plan_only_Boatyard_Eats_REZ_(2.23.17).pdf	Site Plan	Cover Memo				
<u>BYE_Background.JPG</u>	Mural Example 1	Cover Memo				
D Untitled_Artwork.JPG	Mural Example 2	Cover Memo				

ACCESSIBLE	PARKING	(FROM A	PPENDIX	B

Lot or Parking Area	Total # of Parking Spaces		# of Accessible Spaces Provided		Total =
	Required	Provided	Regular with 5' Access Aisle	Regular with 8' Access Aisle	Accessible Provided
Microbrewery & Reataurant/ Brewpub	59	60	0	1	3

a. Required number of parking spaces based on Cornelius Land Development Code.

b. MINIMUM (1 space per 3 seats) (175 seats)/(3) = 59 parking spaces required.

c. Required number of accessible spaces based on City of Charlotte Land Development Standards Manual Detail #50.10A.

d. 51-75 parking spaces requires 3 accessible spaces with 1 of the 3 being van accessible.

#### PRE-CONSTRUCTION NOTES:

1. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.

2. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978

WILL REQUIRE STORM DRAINAGE DETENTION.

3. SURVEYOR TO VERIFY RIGHT-OF-WAY LOCATION PRIOR TO CONSTRUCTION. ALL PROPOSED IMPROVEMENTS AND CONSTRUCTION WITHIN A MAINTAINED RIGHT-OF-WAY IS DONE IN ACCORDANCE WITH MECKLENBURG

COUNTY DEVELOPMENT STANDARDS.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL

CENTER AT 811.







- 1. ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY. ALL SIGNS MUST MEET THE REQUIREMENTS SET FORTH BY THE TOWN OF CORNELIUS ZONING ORDINANCE AND ANY COVENANCE THAT MAY APPLY FOR THE AREA
- 2. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,600 PSI CONCRETE AND SHALL BE 4 INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE 6 INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISH AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN 5 FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF (1/4) INCH PER FOOT.

3. ALL PARKING SPACES SHALL BE AT LEAST 9 FT WIDE AND 19 FT DEEP. SUBGRADE FOR PARKING LOT AND LOADING AREAS TO BE COMPACTED TO 100% MAXIMUM DENSITY OBTAINABLE WITH A STANDARD PROCTOR TEST. SEE DETAILS SHEET FOR PAVEMENT REQUIREMENTS IN LOADING AND PARKING AREAS.

4. ADDRESS MUST BE POSTED IN VISIBLE LOCATION WITH 6-INCH NUMBERS

5. HVAC AND SIMILAR TYPES OF INCIDENTAL MACHINERY OR EQUIPMENT SHALL BE SCREENED FROM VIEW OR LOCATED IN SUCH A MANNER AS TO NOT BE VISIBLE FROM THE STREET. TRASH RECEPTACLES, DUMPSTERS UTILITY METERS, ABOVE-GROUND TANKS, SATELLITE DISHES, AND ANTENNAS SHALL BE SIMILARLY SCREENED.

6. ALL MEASUREMENTS ARE TAKEN FROM BACK OF CURB, UNLESS OTHERWISE NOTED.

#### ADDITIONAL SITE PLAN AND LAYOUT NOTES:

THESE NOTES ARE STANDARD SITE DEVELOPMENT NOTES AND SOME OF THESE NOTES MAY NOT APPLY TO THIS SPECIFIC SITE.

1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.

2. ALL ROAD IMPROVEMENTS AT STATESVILLE ROAD AND WESTMORELAND ROAD TO BE COORDINATED WITH JURISDICTIONAL INSPECTIONS DEPARTMENT PRIOR TO CONSTRUCTION.

3. DEVELOPER WILL PROVIDE STREET SIGNS (IF REQUIRED) IN CONJUNCTION WITH STATE AND LOCAL

REQUIREMENTS. 4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED

ON FIELD CONDITIONS. 6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD

CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY **OWNERS.** 

7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB. 8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OR-WAY IF DEEMED NECESSARY BY THE LOCAL INSPECTOR

9. CURB AND GUTTER ON PLANS ALONG <u>STATESVILLE ROAD</u> AND <u>WESTMORELAND ROAD</u> MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY/COUNTY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

10. THE PURPOSE OF A STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY

STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.

11. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

12. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

13. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF LOCAL FLOODPLAIN REQUIREMENTS AND RESTRICTIONS.

14. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURE BUILT ON LOT SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS). 15. P.E. SEALED SHOP DRAWINGS FOR ANY RETAINING WALLS MUST BE SUBMITTED TO CITY/COUNTY ENGINEER

PRIOR TO CONSTRUCTION 16. "AS BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE

WITH THE CITY/COUNTY ZONING ORDINANCE. 18. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED FOR APPROVAL (IF APPLICABLE).

19. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED (IF APPLICABLE).

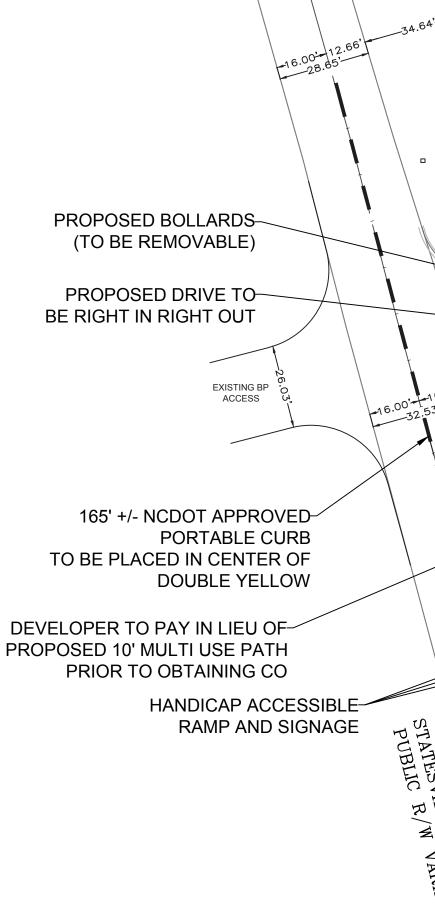
20. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

21. PER CHAPTER 6 OF CORNELIUS LAND DEVELOPMENT CODE: DRIVE-THROUGH FACILITIES LOCATED ON THE SIDE OF A BUILDING, WITH THE EXCEPTION OF BANKS, SHALL BE LIMITED TO ONE-LANE ONLY, AND SHALL BE SCREENED FROM OFF-SITE VIEW WITH A TYPE 'A' LANDSCAPED BUFFER PER CHAPTER 9.

22. ALL MENU BOARDS, DRIVE THROUGH SERVICE WINDOWS, OR OTHER DRIVE-THROUGH STRUCTURES MUST BE LOCATED ON THE REAR OR SIDE OF THE PRINCIPAL STRUCTURE. SHALL NOT CONFLICT WITH THE PRIMARY PUBLIC ENTRANCE, AND MUST BE SCREENED FROM OFF-SITE VIEW WITH A TYPE 'A' LANDSCAPED BUFFER PER CHAPTER 9.

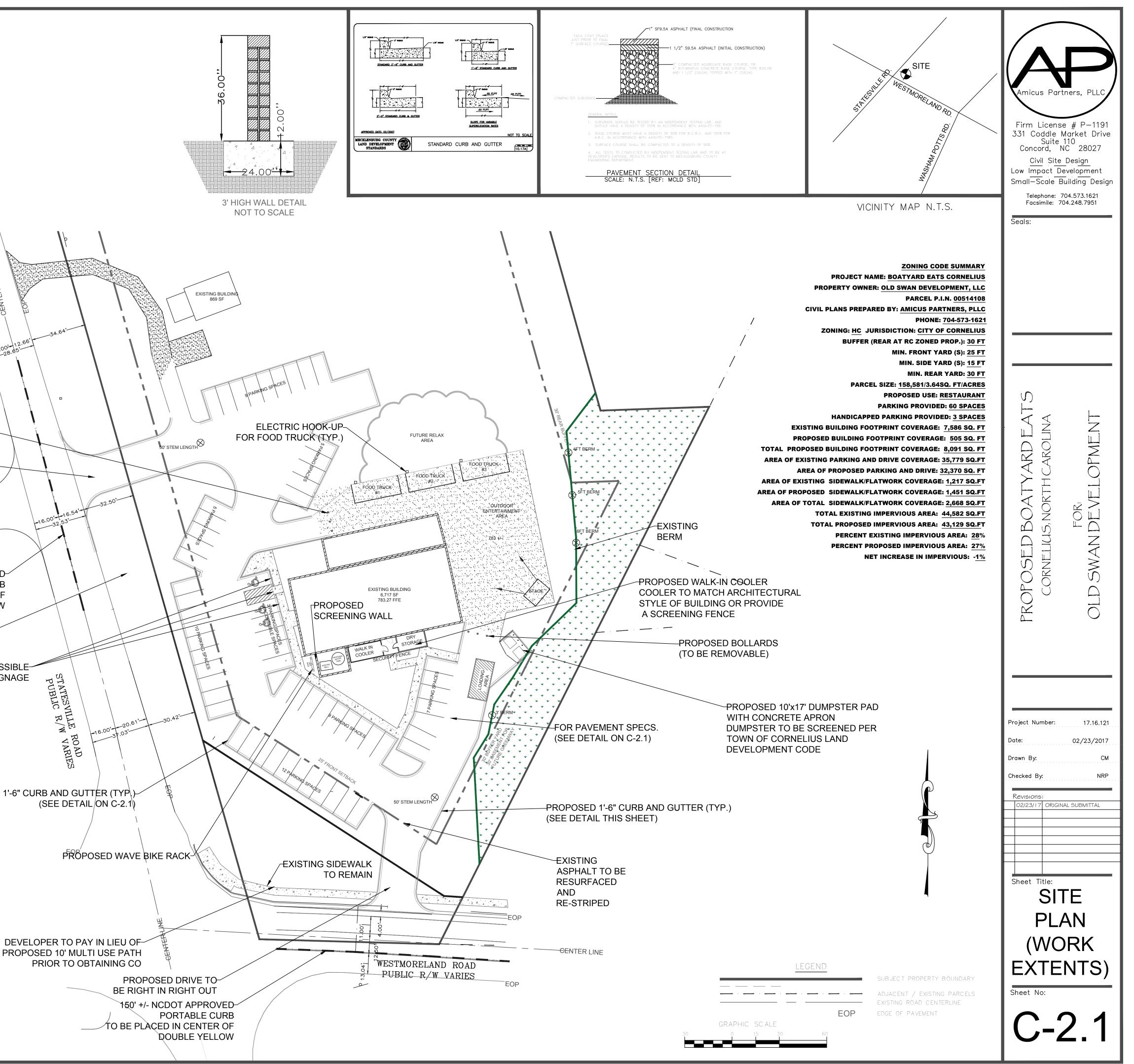
23. BUILDINGS THAT INCLUDE DRIVE THROUGH FACILITIES SHALL STILL CONFORM TO FRONTAGE BUILD OUT REQUIREMENTS. HOWEVER, THE BUILDING MAY BE SETBACK IN ORDER TO ALLOW ONE DRIVE-THROUGH EXIT LANE IN FRONT OF THE PRINCIPAL BUILDING IN ORDER FOR THE DRIVE THROUGH FACILITY TO BE PHYSICALLY SEPARATED FROM OTHER VEHICULAR TRAFFIC AND PEDESTRIANS. DRIVE-THROUGH EXIT LANES MAY BE WITHIN THE FRONT YARD AREA BUT CANNOT BE WITHIN THE STREET RIGHT-OF-WAY, AND MUST BE SCREENED FROM THE RIGHT-OF-WAY BY A WALL A MINIMUM OF 3-FEET IN HEIGHT. A HEDGEROW SHALL BE PROVIDED BETWEEN THE RIGHT-OF-WAY AND THE WALL. THE WALL MUST CONTAIN MATERIALS THAT MATCH THE PRINCIPAL BUILDING.

24. THE DRIVE-THROUGH LANE(S) MUST BE DISTINCTLY MARKED BY SPECIAL STRIPING, PAVEMENT MARKINGS, OR TRAFFIC ISLANDS AND PHYSICALLY SEPARATED FROM ONSITE PARKING AREAS.



PROPOSED 1'-6" CURB AND GUTTER (TYP)-

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# Welcome to

## Lake Norman, NC

